# Cherne, Curtis

From:

CCEAlbq@aol.com

Sent:

Wednesday, September 25, 2013 2:35 PM

To:

Cherne, Curtis

Cc:

Olson, Greg

Subject:

Re: L11-D067 Approved for Preliminary Plat - DRB # 1008926 (and Final)

Attachments: SPOTS Lots1\_2.jpg

Curtis,

It is my understanding that this project goes before DRB next week for Final Plat. The **attached** shows that the "GRO" requested spots were added to the plan (one year ago! coincidently). Hopefully, no surprises next week.

Also, I spoke with Alan and Jeremy, and the WUA acceptance letter is "in the file". thx again, Phil

Philip W. Clark, PE

# Clark Consulting Engineers

505.281-2444, c/t 505.264-6042

In a message dated 9/25/2012 3:05:16 P.M. Mountain Daylight Time, grolson@cabq.gov writes:

RE: Grading plan with P.E. Stamp of 9/21/2012

Phil,

Attached is my approval letter for Preliminary Plat.

Final Plat and Grading Permit approvals will require the grade revisions on the north lot lines. Building Permit(s) will require certification of the grading, at least for any lot requesting BP. Please call or email if you have any questions.

Sincerely,

Greg Olson 924-3994

From: CCEAlbq@aol.com [mailto:CCEAlbq@aol.com]

Sent: Monday, September 24, 2012 3:02 PM

To: Olson, Greg R.

**Subject:** L11\_D067 Eucariz DP spots

Greg,

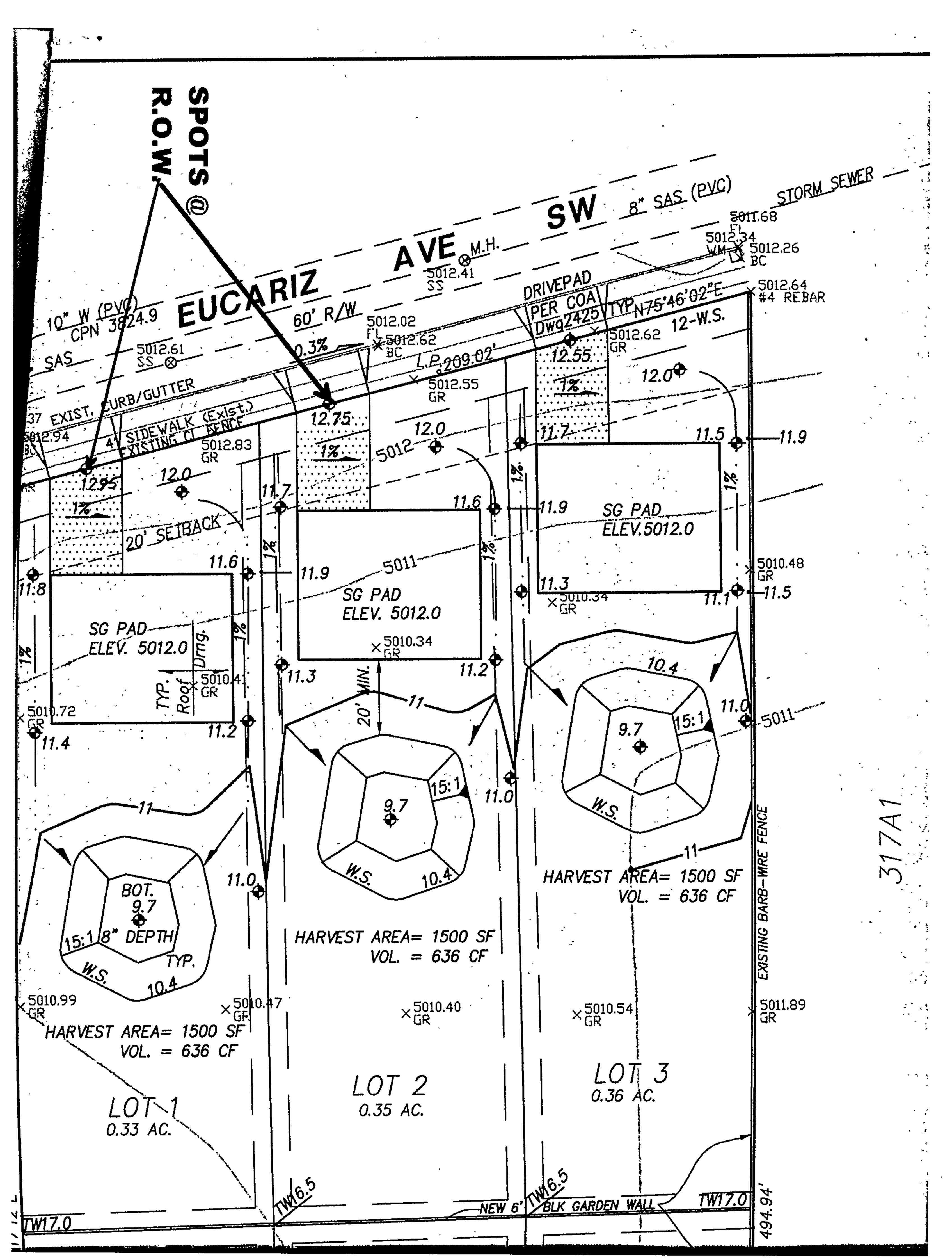
@ the ROW - I raised two spots on Lots 1/2 to 12.95 and 12.75 respectively, on my original. Good catch, thx Phil

Philip W. Clark, PE

19 Ryan Road, Edgewood, NM 87015

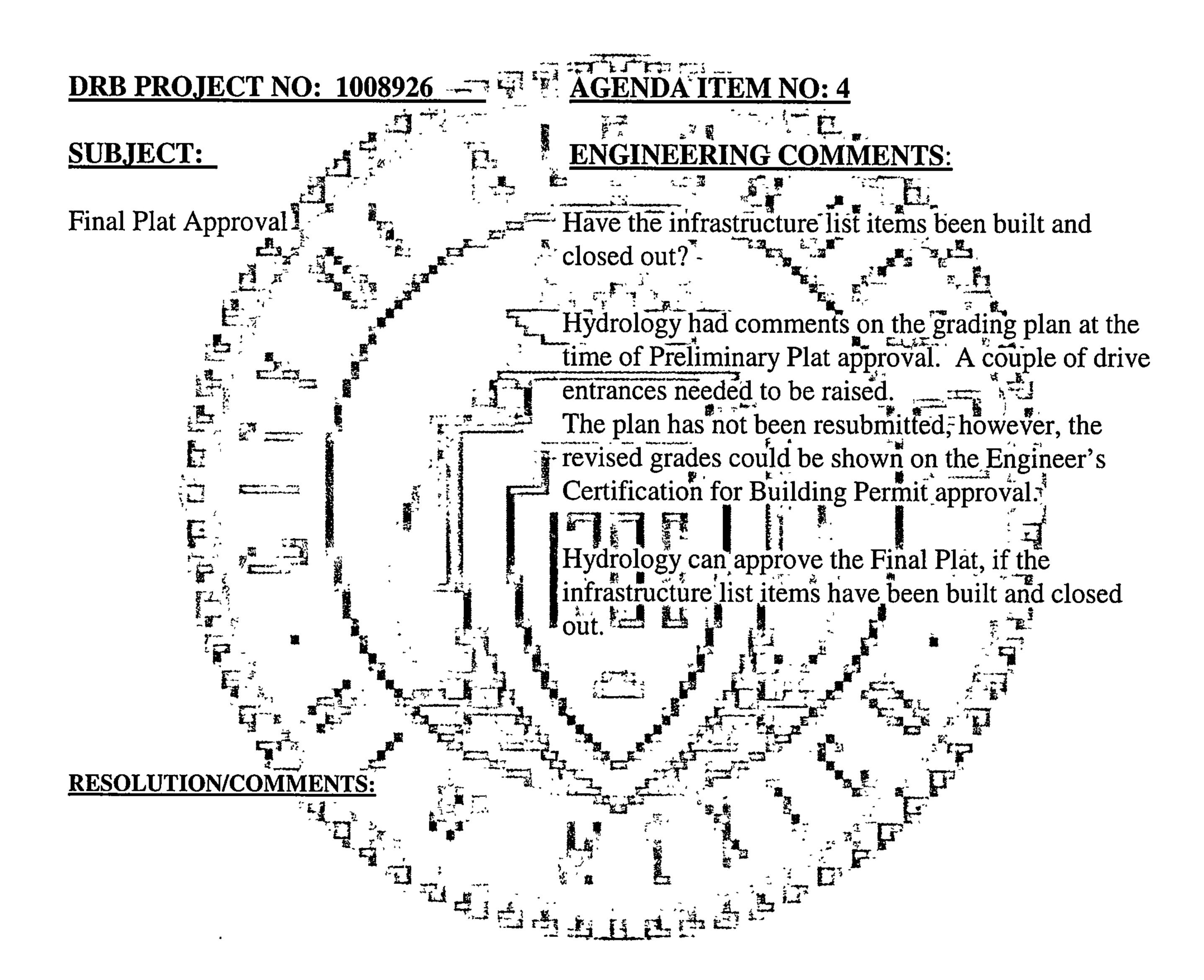
Clark Consulting Engineers

505.281-2444, 505.264-6042



# CITY OF ALBUQUERQUE PLANNING DEPARTMENT

# HYDROLOGY DEVELOPMENT SECTION DEVELOPMENT REVIEW BOARD MEMO



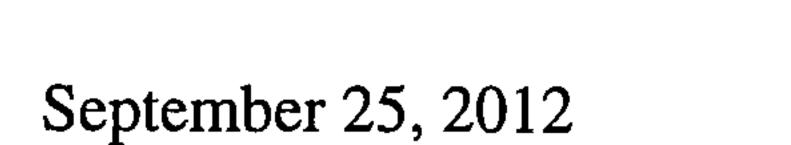
#### **SIGNED**:

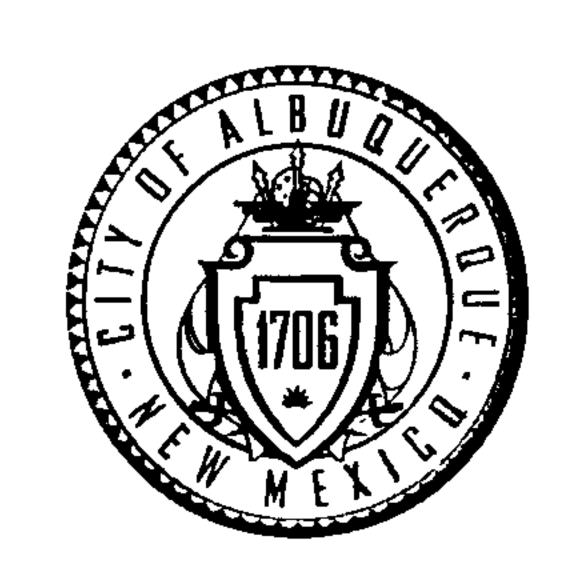
Curtis Cherne
Hydrology Section
City Engineer Designee
AMAFCA Designee
924-3986

**DATE**: 9-25-13

# CITY OF ALBUQUERQUE

# PLANNING DEPARTMENT - Development & Building Services





Philip W. Clark, P.E. Clark Consulting Engineers 19 Ryan Road Edgewood, NM 87015

Re: Francisco Lopez, Bridge/Eucariz Grading & Drainage Plan (L-11/D067)

Lot 316A, Unit 3, Town of Atrisco Grant Engineer's Stamp dated 09-21-12

Dear Mr. Clark,

Based upon the information provided in your submittal received September 21, 2012, the above referenced plan is approved for Preliminary Plat.

Prior to Final Plat approval or Grading Permit, as you proposed in a subsequent email, the spot elevations on the north lot line for Lots 1 & 2 should be raised to match their respective top of curb elevation to ensure an adequate water block.

Building Permit approval for this development will require an Engineer's certification of completion of the grading shown, or at least on any lot for which Building Permit is desired.

If you have any questions, you can contact me at 924-3994.

NM 87103

www.cabq.gov

PO Box 1293

Albuquerque

Sincerely,

Gregory R. Olson, P.E.

Senior Engineer

Orig: Drainage file L11/D067

c.pdf Addressee via Email ccealbq@aol.com

Curtis Cherne CCherne@cabq.gov

Affn: Greg 0. -11/0067 (Rev. 12/05)ZONE MAP/DRG. FILE # Z-11 PROJECT TITLE: \_ DRB#: 1008926 EPC#: WORK ORDER#: LOT 316A Unit 3 Town of Atrisco Grant LEGAL DESCRIPTION: CITY ADDRESS: EngineersCONTACT: Consulting Clark ENGINEERING FIRM 281-2444 PHONE: ADDRESS: \_ 19 Ryan Road IP CODE: CITY, STATE Edgewood, New Mexico 87015 .\_\_\_ trancisco CONTACT: OWNER: PHONE: ADDRESS: ZIP CODE: CITY, STATE: CONTACT: ARCHITECT: PHONE: ADDRESS: ZIP CODE: CITY, STATE: \_ CONTACT: SURVEYOR: PHONE: ADDRESS: ZIP CODE: CITY, STATE: CONTACT: CONTRACTOR: PHONE: ADDRESS: ZIP CODE: CITY, STATE: \_ CHECK TYPE OF APPROVAL SOUGHT: TYPE OF SUBMITTAL: SLA/FINANCIAL GUARANTEE RELEASE DRAINAGE REPORT Y PRELIMINARY PLAT APPROVAL 50% X DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL S. DEV. PLAN FOR SUB'D APPROVAL DRAINAGE PLAN RESUBMITTAL S. DEV. FOR BLDG. PERMIT APPROVAL CONCEPTUAL G & D PLAN **GRADING PLAN** SECTOR PLAN APPROVAL FINAL PLAT APPROVAL **EROSION CONTROL PLAN** FOUNDATION PERMIT APPROVAL ENGINEER'S CERT (HYDROLOGY) X BUILDING PERMIT APPROVAL CLOMR/LOMR CERTIFICATE OF OCCUPANCY (PERM) TRAFFIC CIRCULATION LAYOUT CERTIFICATE OF OCCUPANCY (TEMP) ENGINEER/ARCHITECT CERT (TCL) GRADING PERMIT APPROVAL ENGINEER/ARCHITECT CERT (DRB S.P.) PAVING PERMIT APPROVAL ENGINEER/ARCHITECT CERT (AA) WORK ORDER APPROVAL OTHER (SPECIFY) OTHER (SPECIE) WAS A PRE-DESIGN CONFERENCE ATTENDED: YES SEP 2 1 2012 NO COPY PROVIDED LAND DEVELOPMENT SECTION ) SUBMITTED BY: Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following 6+3-9da levels of submittal may be required based on the following: Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.

11/30

Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.

Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

# Cherne, Curtis

From: CCEAlbq@aol.com

Sent: Monday, September 24, 2012 3:02 PM

To: Olson, Greg R.

Subject: L11\_D067 Eucariz DP spots

Greg,

@ the ROW - I raised two spots on Lots 1/2 to 12.95 and 12.75 respectively, on my original.

Good catch, thx Phil

Philip W. Clark, PE 19 Ryan Road, Edgewood, NM 87015

Clark Consulting Engineers 505.281-2444, 505.264-6042

From: CCEAlbq@aol.com

Sent: Saturday, September 22, 2012 10:04 AM

To: Olson, Greg R.; Cherne, Curtis

Subject: Lopez West DRB 1008926

And Re: Grading & Drainage Plan (L-11/D0067) for P-Plat hearing

#### Gentlemen,

It is my understanding that this project goes in front of the board this next Wednesday. I would hope that after such thorough review that the revised plan submitted yesterday dated 9.21.12 is acceptable. After reviewing all of the accumulated comments/suggestions over the past month, I truly agree with all of Greg's comments 1-7 - per letter dated 9.19.12. Therefore, the following hopefully clarifies my response (s):

- 1. Concur -plse see verbiage revised in latter part of text-report regarding retention / "first 1/2-inch". Cross-lot drainage is minimized/eliminated. Additionally, garden Wall is added to east bdry.
- 2. Revised rear harvesting area calcs typical calced two ways two shapes.
- 3. Shallowed up ponds to 8 inch depth. Request to do so will help balance earth work. Reduced sideslopes to 15:1. Shifted two-ponds(5/6) per Gregs suggestion. Added water surface contours. Added overall new contours, spot elevations, etc.
- 4. Deleted entirely the front 'ponds' /depressed landscaping along Eucariz. All of this runoff will be conveyed positively to the rear harvesting areas. Sized for the first 1/2" storm.
- 5. Driveway concern is alleviated because of 4 above, and new spots, swales + transverse flow direction revised on drivepad itself.
- 6. Comply added spots etc directing to harvesting areas / exiting the site.
- 7. Spots added to all four corners of pad
- 8. Concur plse see 1 7 above.

Additionally, plse note added spots @ ROW/drivepads along Bridge....clarifying requiring 10- inch elevation rise from flowline should urban street-section be built (that is, future curb/gutter and sidewalk) for continuity.

thx, sincerely,

Phil

ps: Curtis - I trust that Tim Simms has provided a courtesy copy to you of the revisions.

Philip W. Clark, PE 19 Ryan Road, Edgewood, NM 87015 Clark Consulting Engineers

505.281-2444, 505.264-6042

From: Olson, Greg R.

Sent: Wednesday, September 19, 2012 3:30 PM

To: 'CCEAlbq@aol.com'

Cc: Cherne, Curtis; Olson, Greg R.

Subject: RE: L11-D067 Comments Summary on 8-15-2012 submittal

Phil,

To avoid any misunderstanding, we have documented what we need to get this through review for Preliminary Plat approval.

My 9/19/12 letter summarizes outstanding issues for our acceptance.

Your various calculations submitted by email need to be consolidated onto the plan, or included in a report or table accompanying your resubmittal.

We are still open to meeting if you desire.

Thanks,

Greg Olson 924-3994

From: CCEAlbq@aol.com [mailto:CCEAlbq@aol.com]
Sent: Wednesday, September 19, 2012 2:36 PM

**To:** Cherne, Curtis; Olson, Greg R.

Subject: Re: L11-D067 Comments Summary on 8-15-2012 submittal

Hi Curtis & Greg,

My understanding per telecon with Curtis on Monday, was that I would review the front yard calcs again, and then he and I would decide if anything else needs to be done. I e-mailed my response regarding the coefficients to both of you yesterday. Therefore, your statement that I have declined any meeting is absolutely incorrect.

Philip W. Clark, PE 19 Ryan Road, Edgewood, NM 87015

Clark Consulting Engineers

505.281-2444, 505.264-6042

In a message dated 9/19/2012 10:00:31 A.M. Mountain Daylight Time, grolson@cabq.gov writes:

Phil,

Attached is a letter summarizing the current status of your project in the Planning / Hydrology section.

Sincerely,

Greg Olson 924-3994

From: Cherne, Curtis

Sent: Thursday, September 06, 2012 3:02 PM

To: 'CCEAlbq@aol.com'

Cc: Olson, Greg R.

Subject: RE: L11-D067 Francisco Lopez Subd. G&D Plan

Phil,

We try to catch everything the first time. Sometimes it doesn't work out that way. The real questions is, why would you propose pads below the back of curb elevation at this location? I figure we're helping you out here.

Curtis

From: CCEAlbq@aol.com [mailto:CCEAlbq@aol.com]
Sent: Thursday, September 06, 2012 10:20 AM

**To:** Olson, Greg R. **Cc:** Cherne, Curtis

Subject: Re: L11-D067 Francisco Lopez Subd. G&D Plan

Greg -

"The only issues are the shape and location of the proposed "Water Harvesting Ponds." per your 9.4.12 e-mail below. Then we had a telecon yesterday morning. And again, the only issue that Curtis and you had was the shape(?) and location of the "ponds"...ergo harvesting areas. So I guess you would like me to move them on Lots 1 and 4. I suggest to 20 feet from the subgrade pads.

Then after our telecon (during which I directed your attention to the first blush calculation on the plan which you had not noticed), you added comments via e-mail yesterday regarding additional sideyard spots. I've added those to the plan.

Hopefully, you both concur with my solutions - so I can re-submit your suggestions in ample time prior to the next hearing. I've got a call into Curtis, thx.

Philip W. Clark, PE 19 Ryan Road, Edgewood, NM 87015

*Clark Consulting Engineers* 505.281-2444, 505.264-6042

In a message dated 9/4/2012 4:05:57 P.M. Mountain Daylight Time, grolson@cabq.gov writes:

Phil,

I got to look at this today along with Curtis, while getting ready for DRB Site Plan request.

The only issues are the shape and location of the proposed "Water Harvesting Ponds."

- The small irregular shapes, with 1.0 foot depth gives them appearance of a hole, which our experience cautions that future owners will have a tendency to fill in to improve their lot usage.
- 2. Also, being close to the house pads, future patio expansions again tend to fill the hole.
- 3. On Lots 5 & 6, the majority of the lot is down hill from the pond, location shown. (however, majority of developed flows are conveyed to the <u>harvesting area(s)</u>)
- 4. Swale grading is needed on southern lots to direct roof flows toward the pond (show flow arrows).

Attached is a .pdf of your print on which I have marked some thoughts/ suggestions. (40' x 50' pond footprint similar to pad, only requires 0.4' depth to get needed 664 cf volume)

Please review and let's discuss this on Wednesday.

Thanks,

Greg 924-3994

From: CCEAlbq@aol.com [mailto:CCEAlbq@aol.com]

**Sent:** Friday, August 17, 2012 12:04 PM

To: Olson, Greg R.

Cc: Herrington, Cameron J.

Subject: Re: L11-D067 Francisco Lopez Subd. G&D Plan

Greg,

I hope you received the revised plan. Your suggestions and concerns are addressed directly on the plan.

fourth bullet - The swale should have no adverse affect (in the southeast)

eighth bullet - Yes, Typical roof drainage (clarified in two places, TYP.)

Contours extended.... (unless along the existing wall...west bdry)

last bullet - I raised the subgrade pads as we discussed and provided some depressed harvest areas on the Bridge lots Harvesting calcs for rearyards provided within Calcs Section.

Thank you again for the thorough review.

Phil Clark

19 Ryan Road, Edgewood, NM 87015

## Clark Consulting Engineers

505.281-2444, 505.264-6042

In a message dated 8/14/2012 1:34:49 P.M. Mountain Daylight Time, CCEAlbq@aol.com writes:

#### Greg,

I truly appreciate our discussion - will try to turn this back within 48 hours.

thx again, Phil Clark

In a message dated 8/13/2012 5:15:01 P.M. Mountain Daylight Time, CCEAlbq@aol.com writes:

Greg,

I've changed your address in my "book",.....

thx again, Phil C.

In a message dated 8/13/2012 5:06:49 P.M. Mountain Daylight Time, CCEAlbq@aol.com writes:

Greg,

I do appreciate your comments for building permit. Depending on the discussion as to required ponding - I'd think the plan sufficient for p.plat.

Thanks again, Phil C.

281.2444

----Original Message----From: CCEAlbq@aol.com

Date: Mon, 13 Aug 2012 18:25:56 -0400 (EDT)

Subject: Re: L11-D067 Francisco Lopez Subd. G&D Plan

To: grolson@cabq.gov

Greg,

I've reviewed your comments, and need some need clarification. Please give me a call on your schedule.

thx, Phil Clark 281.2444

In a message dated 8/13/2012 3:53:32 P.M. Mountain Daylight Time, grolson@cabq.gov writes:

Attached is our review letter and summary of concerns we have with your submittal stamped 7-20-12.

am currently working part time, typically 10 am to 2 pm.
Please review the items noted and call me if you have any questions.

Thanks,

Greg Olson 924-3994

From: Olson, Greg R.

Sent: Wednesday, September 05, 2012 11:50 AM

To: 'CCEAlbq@aol.com'

Cc: Cherne, Curtis; Olson, Greg R.

Subject: RE: L11-D067 Francisco Lopez Subd. G&D Plan

#### Phil,

Per our telephone conversation earlier today, your Grading and Drainage Plan stamped 8/15/12 cannot be approved for Preliminary Plat, nor Building Permit. The concept of capturing the first 1/2" in the back yard ponds is acceptable. It is the details identified below that need to be clarified to obtain approval of your G & D Plan.

In addition to the notes provided to you yesterday, it has come to my attention that the grading plan does not adequately address the routing of flows through the front yards of the northern lots (Lots 1 -3), and apparently discharging from lot to lot going to the east. Your plan does not provide enough spot elevations to show where flows will go. The concrete driveways each have an arrow indicating flow to the NE across the slab. However, the building pad elevations of 5012.0 are 4" to 10" below the Back of Curb (BOC) elevation at their respective mid-lot points. We typically look for pad elevations at or above BOC at mid lot. Your plan will result in downward slopes from the north Property Line to the pads. Provide additional spot elevations (including at lot lines and sides of pads) plus any swale alignments to clarify intended drainage patterns.

If you have any questions regarding what I am requesting, call me, or I can schedule to meet you and review the plan.

Sincerely,

Greg Olson 924-3994

From: CCEAlbq@aol.com [mailto:CCEAlbq@aol.com]

Sent: Tuesday, September 04, 2012 4:20 PM

**To:** Olson, Greg R. **Cc:** Cherne, Curtis

Subject: Re: L11-D067 Francisco Lopez Subd. G&D Plan

#### Greg,

I had assumed this would be approved for BP - the week that you asked for me to respond (which I did). Therefore, can I assume we are approved for prelim plat, which will be heard tomorrow? thx, Phil

Philip W. Clark, PE

19 Ryan Road, Edgewood, NM 87015

#### Clark Consulting Engineers

505.281-2444, 505.264-6042

In a message dated 9/4/2012 4:05:57 P.M. Mountain Daylight Time, grolson@cabq.gov writes:

#### Phil,

I got to look at this today along with Curtis, while getting ready for DRB Site Plan request.

The only issues are the shape and location of the proposed "Water Harvesting Ponds."

- 1. The small irregular shapes, with 1.0 foot depth gives them appearance of a hole, which our experience cautions that future owners will have a tendency to fill in to improve their lot usage.
- 2. Also, being close to the house pads, future patio expansions again tend to fill the hole.
- 3. On Lots 5 & 6, the majority of the lot is down hill from the pond, location shown.
- 4. Swale grading is needed on southern lots to direct roof flows toward the pond (show flow

arrows).

Attached is a .pdf of your print on which I have marked some thoughts/ suggestions.

(40' x 50' pond footprint similar to pad, only requires 0.4' depth to get needed 664 cf volume)

Please review and let's discuss this on Wednesday.

Thanks,

*Gтед* 924-3994

From: CCEAlbq@aol.com [mailto:CCEAlbq@aol.com]

**Sent:** Friday, August 17, 2012 12:04 PM

To: Olson, Greg R.

Cc: Herrington, Cameron J.

Subject: Re: L11-D067 Francisco Lopez Subd. G&D Plan

Greg,

I hope you received the revised plan. Your suggestions and concerns are addressed directly on the plan.

fourth bullet - The swale should have no adverse affect (in the southeast)

eighth bullet - Yes, Typical roof drainage (clarified in two places, TYP.)

Contours extended.... (unless along the existing wall...west bdry)

last bullet - I raised the subgrade pads as we discussed and provided some depressed harvest areas on the Bridge lots Harvesting calcs for rearyards provided within Calcs Section.

Thank you again for the thorough review.

Phil Clark

19 Ryan Road, Edgewood, NM 87015

# Clark Consulting Engineers

505.281-2444, 505.264-6042

In a message dated 8/14/2012 1:34:49 P.M. Mountain Daylight Time, CCEAlbq@aol.com writes:

### Greg,

I truly appreciate our discussion - will try to turn this back within 48 hours. thx again, Phil Clark

In a message dated 8/13/2012 5:15:01 P.M. Mountain Daylight Time, CCEAlbq@aol.com writes:

#### Greg,

I've changed your address in my "book",.....thx again, Phil C.

In a message dated 8/13/2012 5:06:49 P.M. Mountain Daylight Time, CCEAlbq@aol.com writes:

#### Greg,

I do appreciate your comments for building permit. Depending on the discussion as to required ponding - I'd think the plan sufficient for p.plat.

Thanks again, Phil C.

281.2444

----Original Message----From: CCEAlbq@aol.com

Date: Mon, 13 Aug 2012 18:25:56 -0400 (EDT)

Subject: Re: L11-D067 Francisco Lopez Subd. G&D Plan

To: grolson@cabq.gov

Grea.

've reviewed your comments, and need some need clarification. Please give me a call on your schedule.

n a message dated 8/13/2012 3:53:32 P.M. Mountain Daylight Time, grolson@cabq.gov writes:

Attached is our review letter and summary of concerns we have with your submittal stamped 7-20-12.

am currently working part time, typically 10 am to 2 pm.
Please review the items noted and call me if you have any questions.

Thanks,

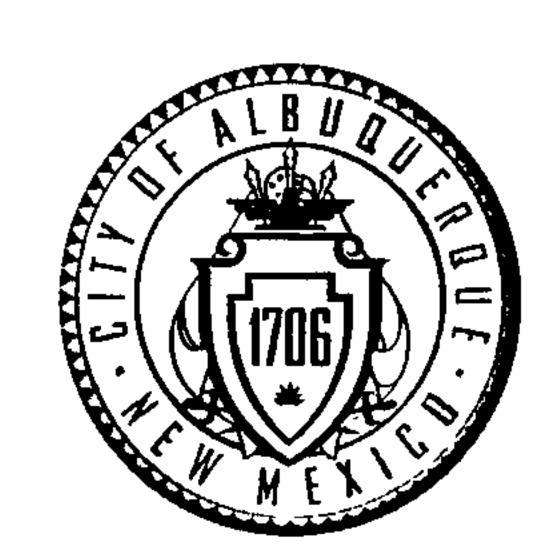
Greg Olson 924-3994

# CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development & Building Services



Philip W. Clark, P.E. Clark Consulting Engineers 19 Ryan Road Edgewood, NM 87015



Re: Francisco Lopez, Bridge/Eucariz Grading & Drainage Plan (L-11/D067)

Lot 316A, Unit 3, Town of Atrisco Grant Engineer's Stamp dated 08-15-12

Dear Mr. Clark,

This correspondence is intended as clarification of our outstanding concerns with the proposed Grading and Drainage plan. Your 9/10/12 re-submittal, stamped "Rev'sd 9/6/12," is not acceptable, as it fails to address issues previously pointed out to you. On 9/17/12 you declined an offer by Curtis Cherne to meet with us to review our concerns with your plan. This letter summarizes technical concerns stated in email and verbal communications to you between 9/4/12 and 9/17/12.

PO Box 1293

Based upon the information provided in your submittal dated 08-15-12, the above referenced plan cannot be approved for Preliminary Plat Approval until the following comments have been addressed:

Albuquerque

1. Discharge from this site is only allowed to be "FREE" if discharging to the street. Cross lot runoff must be limited to historic rates.

NM 87103

2. Run off and pond volume calculations must be included on the plan or in an accompanying table or report. Clearly label values used or estimated.

www.cabq.gov

- 3. The small, 1' deep, backyard ponds are not acceptable, as they tend to get filled in over time, after the properties are occupied. Larger, shallower ponding areas should be shown, and located at the lowest area of each lot to allow all runoff to reach the pond. The whole-foot contours shown for the proposed ponds do not clearly show the pond size/limits of grading. Show a "water surface contour" to clarify the pond limits on your plan.
- 4. The front yard ponds along Eucariz need to be clarified, showing limits with "water surface contour" and overflow course.
- 5. The driveways from the northern lots to Eucariz are shown to drain to the NE, however spot elevations at R/W and on the pad indicate slope back toward the building pad. Clarify with spot elevations and swale arrows how this flow is routed.



1 of 2

- 6. Provide spot elevations and flow arrows on proposed swales indicating the direction of all flows to ponds and exiting the site.
- 7. Provide spot elevations around the four corners of the house pads on all lots to clarify drainage. Show how revised grades on this site match existing grades at the eastern property line, and where flows cross that boundary.

If there remains confusion on these requirements, we can schedule a meeting to discuss them. If you have any questions, you may contact me by email at grolson@cabq.gov, or by telephone at 505-924-3994.

Sincerely,

Gregory R. Olson, P.E.

Senior Engineer

Orig: Drainage file L11/D067

c.pdf Addressee via Email ccealbq@aol.com

Curtis Cherne CCherne@cabq.gov

9-1202

called phil Clark to discuss his 5 ad, and I must him to a meeting so this, Greg and I could reach a resolution on his plan.

I could reach a resolution on his plan.

phil decline the meeting,

aut a chi

September 10, 2012

Diane Hoelzer, P.E. Mark Goodwin & Associates, PA P.O. Box 90606 Albuquerque, NM 87199

Re: Juan Tabo Hills Unit 3A/3B Open Space Grading and Drainage Plan Engineer's Stamp dated 8-22-12 (M22/D017)

Dear Ms. Hoelzer,

Based upon the information provided in your submittal received 8-28-12, the above referenced plan is approved for Preliminary Plat action by the DRB, but cannot be approved for Grading Permit, Work Order or Final Plat until the following comments are addressed:

- Since this area is not detailed in the drainage report for Juan Tabo Hills Unit 3A, 3B or Volterra Village, most DPM requirements for a grading plan are applicable. Some are discussed below.
- Provide a flow for the sulvert under the trail, with supporting calculations.
- Provide inverts and a size for the culvert.
- Show/discuss the current flood plain.
- A Floodplain Development Permit, through this office, will be required for any grading or construction in a floodplain.
- If you prefer, the drainage report for Juan Tabo Hills Unit 3A could be updated to include this area.

If you have any question, please contact me at 924-3986.

. . -

Sincerely,

Curtis A. Cherne, P.E.

Principal Engineer, Planning Dept.

Development and Building Services

Copy: e-mail

From: CCEAlbq@aol.com

Sent: Friday, September 07, 2012 2:34 PM

To: Cherne, Curtis; Olson, Greg R.

Subject: Re: L11-D067 Francisco Lopez Subd. G&D Plan

Curtis and Greg,

hi-lighted for ease on yo eyes - in red .....to follow:

In a message dated 9/7/2012 12:57:51 P.M. Mountain Daylight Time, grolson@cabq.gov writes:

Phil,

I understand from conversation with Curtis that you will be providing additional pond/water surface calcs for the front yard, water harvesting areas along Eucariz to show no flooding of those pads. Your revised plan needs to show enough info/spot elevations at the driveways to show that flows will not run onto the pads. (As the spot elev already does - strategically placed)

Area, Top = 35' x 35', depth = 0.5' therefore  $\frac{1}{100} = 2000$  CF plus/minus D.A. 1/2 Roof + ponding area(s) = 0.085 Ac  $\frac{1}{100}$  X 43560 = 308 CF...ok

You indicate that you have changed the location of harvesting ponds on Lots 1 & 4. My observation was that the ponds on lots 5 & 6 were previously shown on the higher end on the respective lots. Those on lots 1 & 4 looked ok? to me. (1 and 4 are dimensioned off house pad 20' NTS)

In response to your offer to reduce the back yard pond depths to 1/2 foot, we do prefer shallower ponds.

Just show ? that the combined front and back yard harvesting ponds capture the first 1/2" of rainfall. Done above - I also demonstrated that to Curtis today in the field / email below. As I did - inclg per email, that the front pads should remain @ elevation 12.0....
Call me if you have any questions. "Ditto" and thx!

Thanks,

Greg Olson 924-3994

From: CCEAlbq@aol.com [mailto:CCEAlbq@aol.com]

Sent: Friday, September 07, 2012 9:03 AM

**To:** Cherne, Curtis **Cc:** Olson, Greg R.

Subject: Fwd: L11-D067 Francisco Lopez Subd. G&D Plan

Curtis,

I've reviewed the pdf mark-up from Olson, which I noticed you were not copied. Please review the attachment Although, there are some merits to his "suggestions" - the best solution is the simplest. The mass grading that his shallower ponds with associated additional linear grading for swales disturbs more land. We should be looking to the Occam principle in review.

In response, to your e-mail regarding the pads lower than the street. Currently, the grade of the pad locations fronting on Eucariz is approximately 1-1/2 to 2' below curb. Raising the pads 1/2 to 1' (over and beyond my proposed 12.0 SG elevation) would not change the concept of this plan. The majority of developed run-off would still drain to harvesting areas. Furthermore, raising the pads would exacerbate the continuity required @ the sideyards.

Again, the Occam principle should prevail regarding both issues.

As per my last e-mail, I've revised the location of harvesting area's on Lot 1 & 4, and added

sideyard spots/clarified swales.

As a solution to the concern of depth (harvest areas) - I have no problem raising the bottoms 1/2 foot, still satisfying the first 1/2" criteria, since we are also impounding run-off in the front yards. Plse let me know if you would prefer that.

Thx, Phil

Philip W. Clark, PE 19 Ryan Road, Edgewood, NM 87015 *Clark Consulting Engineers* 505.281-2444, 505.264-6042

From: CCEAlbq@aol.com

Sent: Tuesday, September 18, 2012 12:16 PM

To: Cherne, Curtis

Cc: Olson, Greg R.

Subject: Re: L11-D067 Francisco Lopez Subd. G&D Plan

Curtis,

Pursuant to your question yesterday regarding the 1/12...yellow hilighted below....the 1 is 1.0 Inches for the approximated E(weighted) coefficient. I calced Ew = 0.68 for the <u>rear</u> yards (plse see plan), therefore in review used 1.0 for simplicity along with engineering judgement to determine it. appreciate it and thx, Phil Clark 505.281.2444

In a message dated 9/7/2012 2:33:40 P.M. Mountain Daylight Time, CCEAlbq@aol.com writes:

Curtis and Greg,

hi-lighted for ease on yo eyes - in red .....to follow:

In a message dated 9/7/2012 12:57:51 P.M. Mountain Daylight Time, grolson@cabq.gov writes:

Phil,

I understand from conversation with Curtis that you will be providing additional pond/water surface calcs for the front yard, water harvesting areas along Eucariz to show no flooding of those pads. Your revised plan needs to show enough info/spot elevations at the driveways to show that flows will not run onto the pads. (As the spot elev already does - strategically placed)

Area, Top = 35' x 35', depth = 0.5' therefore Vol. =  $\sim 306$  CF plus/minus D.A. 1/2 Roof + ponding area(s) = 0.085 Ac X 1/12 X 43560 = 308 CF...ok

You indicate that you have changed the location of harvesting ponds on Lots 1 & 4. My observation was that the ponds on lots 5 & 6 were previously shown on the higher end on the respective lots. Those on lots 1 & 4 looked ok? to me. (1 and 4 are dimensioned off house pad 20' NTS)

In response to your offer to reduce the back yard pond depths to 1/2 foot, we do prefer shallower ponds.

Just show ? that the combined front and back yard harvesting ponds capture the first 1/2" of rainfall. Done above - I also demonstrated that to Curtis today in the field / email below. As I did - inclg per email, that the front pads should remain @ elevation 12.0....

Call me if you have any questions. "Ditto" and thx!

Thanks,

Greg Olson 924-3994

From: CCEAlbq@aol.com [mailto:CCEAlbq@aol.com]

Sent: Friday, September 07, 2012 9:03 AM

To: Cherne, Curtis Cc: Olson, Greg R.

Subject: Fwd: L11-D067 Francisco Lopez Subd. G&D Plan

Curtis,

I've reviewed the pdf mark-up from Olson, which I noticed you were not copied. Please review the attachment Although, there are some merits to his "suggestions" - the best solution is the simplest. The mass grading that his shallower ponds with associated additional linear grading for swales disturbs more land. We should be looking to the Occam principle in review.

In response, to your e-mail regarding the pads lower than the street. Currently, the grade of the pad locations fronting on Eucariz is approximately 1-1/2 to 2' below curb. Raising the pads 1/2 to 1' (over and beyond my proposed 12.0 SG elevation) would not change the concept of this plan. The majority of developed run-off would still drain to harvesting areas. Furthermore, raising the pads would exacerbate the continuity required @ the sideyards.

Again, the Occam principle should prevail regarding both issues.

As per my last e-mail, I've revised the location of harvesting area's on Lot 1 & 4, and added sideyard spots/clarified swales.

As a solution to the concern of depth (harvest areas) - I have no problem raising the bottoms 1/2 foot, still satisfying the first 1/2" criteria, since we are also impounding run-off in the front yards. Plse let me know if you would prefer that.

Thx, Phil

Philip W. Clark, PE 19 Ryan Road, Edgewood, NM 87015 *Clark Consulting Engineers* 505.281-2444, 505.264-6042

From: CCEAlbq@aol.com,

Sent: Friday, September 07, 2012 2:34 PM

To: Cherne, Curtis; Olson, Greg R.

Subject: Re: L11-D067 Francisco Lopez Subd. G&D Plan

Curtis and Greg,

hi-lighted for ease on yo eyes - in red .....to follow:

In a message dated 9/7/2012 12:57:51 P.M. Mountain Daylight Time, grolson@cabq.gov writes:

Phil,

I understand from conversation with Curtis that you will be providing additional pond/water surface calcs for the front yard, water harvesting areas along Eucariz to show no flooding of those pads. Your revised plan needs to show enough info/spot elevations at the driveways to show that flows will not run onto the pads. (As the spot elev already does - strategically placed)

Area, Top =  $35' \times 35'$ , depth = 0.5' therefore Vol. =  $\sim 306$  CF plus/minus D.A. 1/2 Roof + ponding area(s) = 0.085 Ac X 1/12 X 43560 = 308 CF...ok

You indicate that you have changed the location of harvesting ponds on Lots 1 & 4. My observation was that the ponds on lots 5 & 6 were previously shown on the higher end on the respective lots. Those on lots 1 & 4 looked ok? to me. (1 and 4 are dimensioned off house pad 20' NTS)

In response to your offer to reduce the back yard pond depths to 1/2 foot, we do prefer shallower ponds.

Just show ? that the combined front and back yard harvesting ponds capture the first 1/2" of rainfall. Done above - I also demonstrated that to Curtis today in the field / email below. As I did - inclg per email, that the front pads should remain @ elevation 12.0....
Call me if you have any questions. "Ditto" and thx!

Thanks,

Greg Olson 924-3994

From: CCEAlbq@aol.com [mailto:CCEAlbq@aol.com]

Sent: Friday, September 07, 2012 9:03 AM

To: Cherne, Curtis Cc: Olson, Greg R.

Subject: Fwd: L11-D067 Francisco Lopez Subd. G&D Plan

Curtis,

I've reviewed the pdf mark-up from Olson, which I noticed you were not copied. Please review the attachment Although, there are some merits to his "suggestions" - the best solution is the simplest. The mass grading that his shallower ponds with associated additional linear grading for swales disturbs more land. We should be looking to the Occam principle in review.

In response, to your e-mail regarding the pads lower than the street. Currently, the grade of the pad locations fronting on Eucariz is approximately 1-1/2 to 2' below curb. Raising the pads 1/2 to 1' (over and beyond my proposed 12.0 SG elevation) would not change the concept of this plan. The majority of developed run-off would still drain to harvesting areas. Furthermore, raising the pads would exacerbate the continuity required @ the sideyards.

Again, the Occam principle should prevail regarding both issues.

As per my last e-mail, I've revised the location of harvesting area's on Lot 1 & 4, and added

From: Olson, Greg R.

Sent: Friday, September 07, 2012 12:58 PM

To: 'CCEAlbq@aol.com'

Cc: Cherne, Curtis; Olson, Greg R.

Subject: L11-D067 Francisco Lopez Subd. G&D Plan

Phil,

I understand from conversation with Curtis that you will be providing additional pond/water surface calcs for the front yard, water harvesting areas along Eucariz to show no flooding of those pads. Your revised plan needs to show enough info/spot elevations at the driveways to show that flows will not run onto the pads.

You indicate that you have changed the location of harvesting ponds on Lots 1 & 4. My observation was that the ponds on lots 5 & 6 were previously shown on the higher end on the respective lots. Those on lots 1 & 4 looked ok to me.

In response to your offer to reduce the back yard pond depths to 1/2 foot, we do prefer shallower ponds.

Just show that the combined front and back yard harvesting ponds capture the first 1/2" of rainfall.

Call me if you have any questions.

Thanks,

Greg Olson 924-3994

From: CCEAlbq@aol.com [mailto:CCEAlbq@aol.com]

Sent: Friday, September 07, 2012 9:03 AM

To: Cherne, Curtis Cc: Olson, Greg R.

Subject: Fwd: L11-D067 Francisco Lopez Subd. G&D Plan

#### Curtis,

I've reviewed the pdf mark-up from Olson, which I noticed you were not copied. Please review the attachment Although, there are some merits to his "suggestions" - the best solution is the simplist. The mass grading that his shallower ponds with associated additional linear grading for swales disturbs more land. We should be looking to the Occam principle in review.

In response, to your e-mail regarding the pads lower than the street. Currently, the grade of the pad locations fronting on Eucariz is approximately 1-1/2 to 2' below curb. Raising the pads 1/2 to 1' (over and beyond my proposed 12.0 SG elevation) would not change the concept of this plan. The majority of developed run-off would still drain to harvesting areas. Furthermore, raising the pads would exacerbate the continuity required @ the sideyards.

Again, the Occam principle should prevail regarding both issues.

As per my last e-mail, I've revised the location of harvesting area's on Lot 1 & 4, and added sideyard spots/clarified swales.

As a solution to the concern of depth (harvest areas) - I have no problem raising the bottoms 1/2 foot, still satisfying the first 1/2" criteria, since we are also impounding run-off in the front yards. Plse let me know if you would prefer that.

Thx, Phil

Philip W. Clark, PE 19 Ryan Road, Edgewood, NM 87015 *Clark Consulting Engineers* 505.281-2444, 505.264-6042

From: CCEAlbq@aol.com

Sent: Friday, September 07, 2012 9:03 AM

To: Cherne, Curtis
Cc: Olson, Greg R.

Subject: Fwd: L11-D067 Francisco Lopez Subd. G&D Plan

Attachments: RE: L11-D067 Francisco Lopez Subd. G&D Plan

#### Curtis,

I've reviewed the pdf mark-up from Olson, which I noticed you were not copied. Please review the attachment Although, there are some merits to his "suggestions" - the best solution is the simplist. The mass grading that his shallower ponds with associated additional linear grading for swales disturbs more land. We should be looking to the Occam principle in review.

In response, to your e-mail regarding the pads lower than the street. Currently, the grade of the pad locations fronting on Eucariz is approximately 1-1/2 to 2' below curb. Raising the pads 1/2 to 1' (over and beyond my proposed 12.0 SG elevation) would not change the concept of this plan. The majority of developed run-off would still drain to harvesting areas. Furthermore, raising the pads would exacerbate the continuity required @ the sideyards.

Again, the Occam principle should prevail regarding both issues.

As per my last e-mail, I've revised the location of harvesting area's on Lot 1 & 4, and added sideyard spots/clarified swales.

As a solution to the concern of depth (harvest areas) - I have no problem raising the bottoms 1/2 foot, still satisfying the first 1/2" criteria, since we are also impounding run-off in the front yards. Plse let me know if you would prefer that.

Thx, Phil

Philip W. Clark, PE 19 Ryan Road, Edgewood, NM 87015 *Clark Consulting Engineers* 505.281-2444, 505.264-6042

From: \_\_ Cherne, Curtis \_\_/

Sent: Thursday, September 06, 2012 3:02 PM

To: 'CCEAlbq@aol.com'

Cc: Olson, Greg R.

Subject: RE: L11-D067 Francisco Lopez Subd. G&D Plan

Phil,

We try to catch everything the first time. Sometimes it doesn't work out that way. The real questions is, why would you propose pads below the back of curb elevation at this location? I figure we're helping you out here.

**Curtis** 

From: CCEAlbq@aol.com [mailto:CCEAlbq@aol.com]
Sent: Thursday, September 06, 2012 10:20 AM

**To:** Olson, Greg R. **Cc:** Cherne, Curtis

Subject: Re: L11-D067 Francisco Lopez Subd. G&D Plan

Greg -

"The only issues are the shape and location of the proposed "Water Harvesting Ponds." per your 9.4.12 e-mail below. Then we had a telecon yesterday morning. And again, the only issue that Curtis and you had was the shape(?) and location of the "ponds"...ergo harvesting areas. So I guess you would like me to move them on Lots 1 and 4. I suggest to 20 feet from the subgrade pads.

Then after our telecon (during which I directed your attention to the first blush calculation on the plan which you had not noticed), you added comments via e-mail yesterday regarding additional sideyard spots. I've added those to the plan.

Hopefully, you both concur with my solutions - so I can re-submit your suggestions in ample time prior to the next hearing. I've got a call into Curtis, thx.

Philip W. Clark, PE 19 Ryan Road, Edgewood, NM 87015

**Clark Consulting Engineers** 505.281-2444, 505.264-6042

In a message dated 9/4/2012 4:05:57 P.M. Mountain Daylight Time, grolson@cabq.gov writes:

Phil,

I got to look at this today along with Curtis, while getting ready for DRB Site Plan request.

The only issues are the shape and location of the proposed "Water Harvesting Ponds."

- The small irregular shapes, with 1.0 foot depth gives them appearance of a hole, which our experience cautions that future owners will have a tendency to fill in to improve their lot usage.
- 2. Also, being close to the house pads, future patio expansions again tend to fill the hole.
- 3. On Lots 5 & 6, the majority of the lot is down hill from the pond, location shown. (however, majority of developed flows are conveyed to the <u>harvesting area(s)</u>)
- 4. Swale grading is needed on southern lots to direct roof flows toward the pond (show flow arrows).

Attached is a .pdf of your print on which I have marked some thoughts/ suggestions. (40' x 50' pond footprint similar to pad, only requires 0.4' depth to get needed 664 cf volume)

From: CCEAlbq@aol.com

Sent: Thursday, September 06, 2012 10:20 AM

To: Olson, Greg R. Cc: Cherne, Curtis

Subject: Re: L11-D067 Francisco Lopez Subd. G&D Plan

#### Greg -

"The only issues are the shape and location of the proposed "Water Harvesting Ponds." per your 9.4.12 e-mail below. Then we had a telecon yesterday morning. And again, the only issue that Curtis and you had was the shape(?) and location of the "ponds"...ergo harvesting areas. So I guess you would like me to move them on Lots 1 and 4. I suggest to 20 feet from the subgrade pads.

Then after our telecon (during which I directed your attention to the first blush calculation on the plan which you had not noticed), you added comments via e-mail yesterday regarding additional sideyard spots. I've added those to the plan.

Hopefully, you both concur with my solutions - so I can re-submit your suggestions in ample time prior to the next hearing. I've got a call into Curtis, thx.

Philip W. Clark, PE 19 Ryan Road, Edgewood, NM 87015 *Clark Consulting Engineers* 505.281-2444, 505.264-6042

In a message dated 9/4/2012 4:05:57 P.M. Mountain Daylight Time, grolson@cabq.gov writes:

#### Phil,

I got to look at this today along with Curtis, while getting ready for DRB Site Plan request.

The only issues are the shape and location of the proposed "Water Harvesting Ponds."

- 1. The small irregular shapes, with 1.0 foot depth gives them appearance of a hole, which our experience cautions that future owners will have a tendency to fill in to improve their lot usage.
- 2. Also, being close to the house pads, future patio expansions again tend to fill the hole.
- 3. On Lots 5 & 6, the majority of the lot is down hill from the pond, location shown. (however, majority of developed flows are conveyed to the <u>harvesting area(s)</u>)
- 4. Swale grading is needed on southern lots to direct roof flows toward the pond (show flow arrows).

Attached is a .pdf of your print on which I have marked some thoughts/ suggestions. (40' x 50' pond footprint similar to pad, only requires 0.4' depth to get needed 664 cf volume)

Please review and let's discuss this on Wednesday.

Thanks,

*Greg* 924-3994

From: CCEAlbq@aol.com [mailto:CCEAlbq@aol.com]

**Sent:** Friday, August 17, 2012 12:04 PM

From: Olson, Greg R.

Sent: Wednesday, September 05, 2012 11:50 AM

To: 'CCEAlbq@aol.com'

Cc: Cherne, Curtis; Olson, Greg R.

Subject: RE: L11-D067 Francisco Lopez Subd. G&D Plan

Phil,

Per our telephone conversation earlier today, your Grading and Drainage Plan stamped 8/15/12 cannot be approved for Preliminary Plat, nor Building Permit. The concept of capturing the first 1/2" in the back yard ponds is acceptable. It is the details identified below that need to be clarified to obtain approval of your G & D Plan.

In addition to the notes provided to you yesterday, it has come to my attention that the grading plan does not adequately address the routing of flows through the front yards of the northern lots (Lots 1 -3), and apparently discharging from lot to lot going to the east. Your plan does not provide enough spot elevations to show where flows will go. The concrete driveways each have an arrow indicating flow to the NE across the slab. However, the building pad elevations of 5012.0 are 4" to 10" below the Back of Curb (BOC) elevation at their respective mid-lot points. We typically look for pad elevations at or above BOC at mid lot. Your plan will result in downward slopes from the north Property Line to the pads. Provide additional spot elevations (including at lot lines and sides of pads) plus any swale alignments to clarify intended drainage patterns.

If you have any questions regarding what I am requesting, call me, or I can schedule to meet you and review the plan.

Sincerely,

Greg Olson 924-3994

From: CCEAlbq@aol.com [mailto:CCEAlbq@aol.com]

Sent: Tuesday, September 04, 2012 4:20 PM

**To:** Olson, Greg R. **Cc:** Cherne, Curtis

Subject: Re: L11-D067 Francisco Lopez Subd. G&D Plan

Greg,

I had assumed this would be approved for BP - the week that you asked for me to respond (which I did). Therefore, can I assume we are approved for prelim plat, which will be heard tomorrow? thx, Phil

Philip W. Clark, PE

19 Ryan Road, Edgewood, NM 87015

Clark Consulting Engineers

505.281-2444, 505.264-6042

In a message dated 9/4/2012 4:05:57 P.M. Mountain Daylight Time, grolson@cabq.gov writes:

Phil,

I got to look at this today along with Curtis, while getting ready for DRB Site Plan request.

The only issues are the shape and location of the proposed "Water Harvesting Ponds."

- The small irregular shapes, with 1.0 foot depth gives them appearance of a hole, which our experience cautions that future owners will have a tendency to fill in to improve their lot usage.
- 2. Also, being close to the house pads, future patio expansions again tend to fill the hole.
- 3. On Lots 5 & 6, the majority of the lot is down hill from the pond, location shown.
- 4. Swale grading is needed on southern lots to direct roof flows toward the pond (show flow

arrows).

Attached is a .pdf of your print on which I have marked some thoughts/ suggestions.

(40' x 50' pond footprint similar to pad, only requires 0.4' depth to get needed 664 cf volume)

Please review and let's discuss this on Wednesday.

Thanks,

*Greg* 924-3994

From: CCEAlbq@aol.com [mailto:CCEAlbq@aol.com]

**Sent:** Friday, August 17, 2012 12:04 PM

To: Olson, Greg R.

Cc: Herrington, Cameron J.

Subject: Re: L11-D067 Francisco Lopez Subd. G&D Plan

#### Greg,

I hope you received the revised plan. Your suggestions and concerns are addressed directly on the plan.

fourth bullet - The swale should have no adverse affect (in the southeast)

eighth bullet - Yes, Typical roof drainage (clarified in two places, TYP.)

Contours extended.... (unless along the existing wall...west bdry)

last bullet - I raised the subgrade pads as we discussed and provided some depressed harvest areas on the Bridge lots Harvesting calcs for rearyards provided within Calcs Section.

Thank you again for the thorough review.

Phil Clark

19 Ryan Road, Edgewood, NM 87015

## Clark Consulting Engineers

505.281-2444, 505.264-6042

In a message dated 8/14/2012 1:34:49 P.M. Mountain Daylight Time, CCEAlbq@aol.com writes:

#### Greg,

I truly appreciate our discussion - will try to turn this back within 48 hours. thx again, Phil Clark

In a message dated 8/13/2012 5:15:01 P.M. Mountain Daylight Time, CCEAlbq@aol.com writes:

#### Greg,

I've changed your address in my "book",.....thx again, Phil C.

In a message dated 8/13/2012 5:06:49 P.M. Mountain Daylight Time, CCEAlbq@aol.com writes:

#### Greg,

I do appreciate your comments for building permit. Depending on the discussion as to required ponding - I'd think the plan sufficient for p.plat.

Thanks again, Phil C.

281.2444

----Original Message----From: CCEAlbq@aol.com

Date: Mon, 13 Aug 2012 18:25:56 -0400 (EDT)

Subject: Re: L11-D067 Francisco Lopez Subd. G&D Plan

To: grolson@cabq.gov

Greg,

've reviewed your comments, and need some need clarification. Please give me a call on your schedule.

hx, Phil Clark

281.2444

n a message dated 8/13/2012 3:53:32 P.M. Mountain Daylight Time, grolson@cabq.gov writes:

Attached is our review letter and summary of concerns we have with your submittal stamped 7-20-12.

am currently working part time, typically 10 am to 2 pm.
Please review the items noted and call me if you have any questions.

Thanks,

Greg Olson 924-3994

From:

Olson, Greg R.

Sent:

Tuesday, September 04, 2012 3:37 PM -

To:

'CCEAlbq@aol.com'

Cc:

Olson, Greg R.

Subject:

RE: L11-D067 Francisco Lopez Subd. G&D Plan

Attachments: COA084.pdf

Phil,

I got to look at this today along with Curtis, while getting ready for DRB Site Plan request.

The only issues are the shape and location of the proposed "Water Harvesting Ponds."

- 1. The small irregular shapes, with 1.0 foot depth gives them appearance of a hole, which our experience cautions that future owners will have a tendency to fill in to improve their lot usage.
- 2. Also, being close to the house pads, future patio expansions again tend to fill the hole.
- 3. On Lots 5 & 6, the majority of the lot is down hill from the pond, location shown.
- 4. Swale grading is needed on southern lots to direct roof flows toward the pond (show flow arrows).

Attached is a .pdf of your print on which I have marked some thoughts/ suggestions. (40' x 50' pond footprint similar to pad, only requires 0.4' depth to get needed 664 cf volume)

Please review and let's discuss this on Wednesday.

Thanks,

924-3994

From: CCEAlbq@aol.com [mailto:CCEAlbq@aol.com]

**Sent:** Friday, August 17, 2012 12:04 PM

To: Olson, Greg R.

**Cc:** Herrington, Cameron J.

Subject: Re: L11-D067 Francisco Lopez Subd. G&D Plan

Greg,

I hope you received the revised plan. Your suggestions and concerns are addressed directly on the plan.

fourth bullet - The swale should have no adverse affect (in the southeast)

eighth bullet - Yes, Typical roof drainage (clarified in two places, TYP.)

Contours extended.... (unless along the existing wall...west bdry)

last bullet - I raised the subgrade pads as we discussed and provided some depressed harvest areas on the Bridge lots

Harvesting calcs for rearyards provided within Calcs Section.

Thank you again for the thorough review.

Phil Clark

19 Ryan Road, Edgewood, NM 87015

Clark Consulting Engineers

505.281-2444, 505.264-6042

In a message dated 8/14/2012 1:34:49 P.M. Mountain Daylight Time, CCEAlbq@aol.com writes:

Greg,

I truly appreciate our discussion - will try to turn this back within 48 hours. thx again, Phil Clark

In a message dated 8/13/2012 5:15:01 P.M. Mountain Daylight Time, CCEAlbq@aol.com

writes:

Greg,

I've changed your address in my "book",.....thx again, Phil C.

In a message dated 8/13/2012 5:06:49 P.M. Mountain Daylight Time, CCEAlbq@aol.com writes:

Greg,

I do appreciate your comments for building permit. Depending on the discussion as to required ponding - I'd think the plan sufficient for p.plat.

Thanks again, Phil C.

281.2444

----Original Message----From: CCEAlbq@aol.com

Date: Mon, 13 Aug 2012 18:25:56 -0400 (EDT)

Subject: Re: L11-D067 Francisco Lopez Subd. G&D Plan

To: grolson@cabq.gov

Greg,

I've reviewed your comments, and need some need clarification. Please give me a call on your

schedule. thx, Phil Clark 281.2444

In a message dated 8/13/2012 3:53:32 P.M. Mountain Daylight Time, grolson@cabq.gov writes:

Phil,

Attached is our review letter and summary of concerns we have with your submittal stamped 7-20-12.

I am currently working part time, typically 10 am to 2 pm.

Please review the items noted and call me if you have any questions.

Thanks,

Greg Olson 924-3994

PANEL # 329 G

# GRADING & DRAINAGE PLAN

THE 6-LOT RESIDENTIAL SUBDIVISION IS LOCATED IN THE SOUTHWEST AREA OF ALBUQUERQUE APPROXIMATELY 3 MILES SOUTHWEST OF THE DOWNTOWN CORE OF ALBUQUERQUE, NM. THE GRADING & DRAINAGE SCHEME HEREON IS IN COMPLIANCE WITH THE BERN-ALILLO COUNTY FLOOD HAZARD ORDINANCE, NO.88-46, AND THE CITY STORM DRAINAGE ORDINANCE. THE PLAN IS REQUIRED IN ORDER TO FACILITATE THE OWNER'S REQUEST FOR BUILDING PERMIT. THE PLAN SHOWS:

- 1. EXISTING CONTOURS, AND SPOT ELEVATIONS AND EXISTING DRAINAGE PATTERNS AND EXISTING IMPROVEMENTS: INCLUDING VACANT LOT
- 2. PROPOSED IMPROVEMENTS: 6-2600 SF TOTAL SUB-GRADE PAD AREA(S), NEW CONCRETE DRIVEPADS AND ON-SITE PARKING, NEW GRADE ELEVATIONS, WALLS, FLATWORK AND LANDSCAPING. 3. CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
- 4. QUANTIFICATION AND ACCEPTANCE OF UPSTREAM OFF-SITE FLOWS WHICH CONTRIBUTE TO THE DEVELOPED FLOWS GEN-ERATED BY THE IMPROVEMENTS.

THE PURPOSE OF THE PLAN IS TO ESTABLISH CRITERIA FOR CON-TROLLING STORM RUNOFF AND EROSION, AND ESSENTIALLY ALLOWING HISTORIC FLOWS TO CONTINUE TO DRAIN THROUGH THE PROPERTY. PRESENTLY, THE SITE IS BOUNDED ON THE EAST AND WEST BY RESIDENTIAL USE. BRIDGE AND EUCARIZ DR. ON THE SOUTH AND NORTH ARE PAVED. EUCARIZ AVE. ON THE NORTH, HAS EXISTING CURB, GUTTER AND SIDEWALK, WHILE BOTH EUCARIZ AND BRIDGE ARE MAINTAINED BY THE CITY OF ALBUQUERQUE. THE SITE CURRENTLY DOES NOT DRAIN OR DISCHARGE RUNOFF.

HISTORICAL SITE RUNOFF OUTFALL LOCATIONS WILL REMAIN UNCHANGED. SINCE BOTH STREETS ARE IMPROVED ONLY MINIMAL GRADING (DRIVEPAD RECONSTR~N) IS PROPOSED WITHIN THE CITY R.O.W. FREE DISCHARGE OF A PORTION OF DEVELOPED IS ACCEPTABLE SINCE THE TOTAL INCREASE OF DEVELOPED FLOW IS MINIMAL. WHILE RUNOFF ROUTED TO LANDSCAPING AND WATER HARVESTING IS RECOMMENDED. THE SITE IS NOT IMPACTED ADVERSELY BY ANY OFF-SITE DRAINAGE FLOWS.

# CALCULATIONS

#### DESIGN CRITERIA

HYDROLOGIC METHODS PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL (DPM) REVISED JANUARY 1993 FOR CITY OF ALBUQUERQUE ADOPTED BY THE COUNTY OF BERNALILLO DISCHARGE RATE: Q=QPEAK x AREA..."Peak Discharge Rates For Small Watersheds" VOLUMETRIC DISCHARGE: VOLUME = EWeighted x AREA P100 = 2.20 Inches, Zone 1 Time of Concentration, TC = 10 Minutes
DESIGN STORM: 100-YEAR/6-HOUR, 10-YEAR/6-HOUR [ ] = 10 YEAR VALUES

#### EXISTING CONDITIONS

TOTAL AREA = 2.09 ACRES, WHERE EXCESS PRECIP. 'A' = 0.49 in. [0.08] PEAK DISCHARGE, 0100 = 2.7 CFS [0.51], WHERE UNIT PEAK DISCHARGE 'A' = 1.29 CFS/AC. [0.24] THEREFORE: VOLUME 100 = 3717 CF [607]

#### DEVELOPED CONDITIONS

DETERMINE LAND TREATMENTS, PEAK DISCHARGE AND VOLUMETRIC DISCHARGE FOR STUDY AREA

	AREA	LAND TREATM'T	Q Peck	£
UNDEVEL_/HARVESTPond	0.84 Ac.(40%)	A	1.29[0.24]	0.49[0.08]
LANDSCAPING	0.42 Ac.(20%)	8	2.03[0.76]	0.67[0.22]
GRAVEL & COMPACTED SOIL	0.48 Ac.(23%)	C	2.87[1.49]	0.99[0.44]
ROOF - PAVEMENT	0.36 Ac (17%)	D	4.40[2.90]	1 97[1.24]
	2.09 Ac.			-

THEREFORE: E Weighted = 0.89 in.[0.38] & Q100 = 4.89 CFS

Q10 = 2.28 CFS

**VOLUME 100 = 6752 CF** VOLUME 10 = 2883 CF

RECOMMEND: ROUTE DEVELOPED RUNOFF THROUGH EXISTING/UPGRADED SOFT LANDSCAPING INCLUDING DEPRESSED LANDSCAPING IN THE NEW REAR YARDS AS SHOWN

REARYARD HARVEST CALC. (TYP.) 170' X 70' 7 0.27 AC. PER LOT B 15% D 11%

= 664 C.F. 1200 SF X 1' DEPTH/2 ~ 600 CF CHECK 1st 1/2" RETAINED 2.09 AC x 43560 x 1/2" = 3600 CF PER LOT 3600/6 ~ 600 CF, OK

THEREFORE: VOL100 = 0.18 AC-FT.

DETERMINED.

5012.05<sub>x</sub>

- 12° SAS -

1' DEPTH

0.33 AC.

LOT 6

SG PAD / ELEV. 5013.0

0.35 AC.

NEW 6' BLK GARDEN WALL

WATER HARVEST AREA ~ 600 C.F.

SG PAD ELEV. 5012.0

BRIDGE BLVD SW ---

SG PAD ELEV. 5011.0

N78'56'42"W CRF ILLEGIBLE SE COR

×5010 40

I, PHILIP W. CLARK, A PROFESSIONAL ENGINEER LICENSED IN ACCORDANCE WITH THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT I HAVE VISITED THE SITE SHOWN HEREON, AND THAT THE CONTOURS SHOWN REPRESENT THE EXISTING GROUND CONDITIONS, AND DO FURTHER CERTIFY THAT NO EARTHWORK OF ANY KIND, NOR ANY DISTURBANCE OF THE EXISTING GROUND HAS OCCURRED ON THIS SITE SINCE THE CONTOURS WERE



5010.71 ×5009.95 GUYX × GM , 5010.07 5010.29 TPED

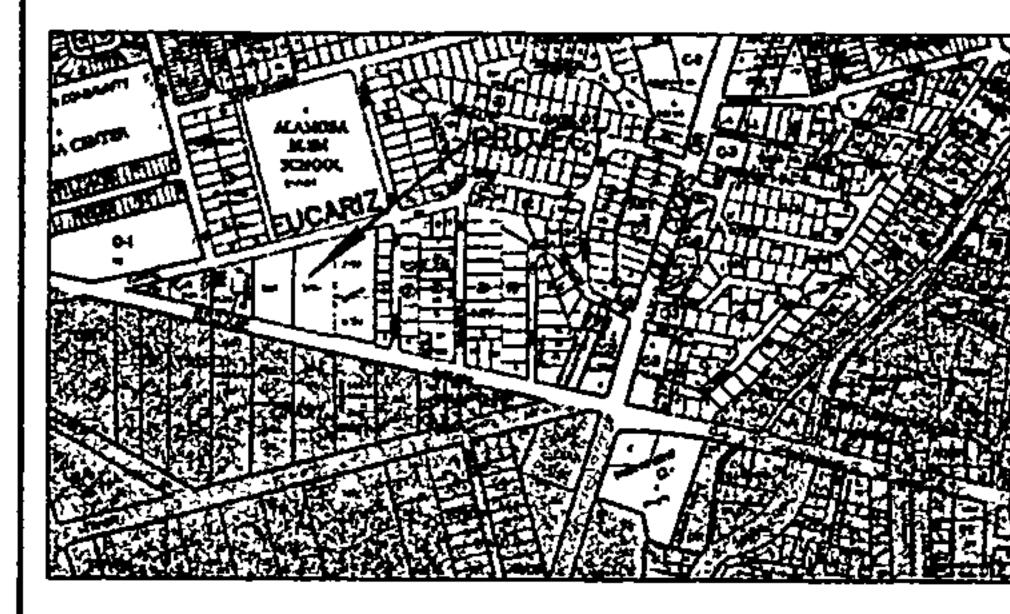
- Lowest Top

1 Lowest

Typical ford

hogoal

20:1 Sidesleke.



# VICINITY MAP

# NOTES

- 1. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECS. FOR PUBLIC WORKS CONSTRUCTION, 8TH EDITION W/ UPDATES.
- 2. AN EXCAVATION/CONSTRUCTION PERMIT IS REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY R.O.W. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION.
- 3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- 4. ALL LANDSCAPING AREA SHALL BE SOFT-LINED WITH NATIVE VEGETATION AND/OR GRAVEL.
- 5. CONTRACTOR SHALL ENSURE THAT NO SITE SOILS/SEDIMENT OR SILT ENTER THE RIGHT-OF-WAYS DURING CONSTRUCTION.
- 5. REVEGETATE ALL AREAS DISTURBED DUE TO CONSTRUCTION PER CITY OF ALBUQ. SPEC. 1011, NATIVE SEED MIX.
- 7. MAXIMUM SITE GRADING WITHOUT EROSION PROTECTION: 3 HORIZONTAL TO 1 VERTICAL, 3:1. ALL DIMENSIONS TO FACE OF CURB, UNLESS NOTED OTHERWISE.

# <u>LEGEND</u>

EXIST. SPOT ELEVATION .	+240
EXIST. CONTOUR	10
NEW SPOT ELEVATION	<b>4</b> 24.0
NEW CONTOUR	12
NEW SWALE -	<del></del>
DRAINAGE DIRECTION, EXISTING	
NEW CONCRETE CURB (0.5' HEIGHT)	
NEW P.C.C., CONCRETE	
TOP OF CURB, EXISTING	TC
FLOWLINE	FL.
EXISTING POWER POLE	0
FACE OF CURB/FACE OF CURB	F-F
<del>-</del>	

# PROJECT DATA

LEGAL DESCRIPTION (CONCURRENT PLATTING) LOTS 1-6, LOPEZ WEST SUBDIVISION ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO PROJECT BENCHMARK

TOP OF REBAR/CAP AT THE PROJECT SOUTHEAST CORNER MSL ELEVATION = 5010.54, AS TIED FROM COA 3-1/4" DIAMETER ALUM DISK, 8\_L10, NAVO 88, MSL ELEV. 5069.58, LOCATED AT THE NE INTERSECTION OF 75TH ST. AND BRIDGE BLVD.

TOPOGRAPHIC DESIGN SURVEY

PROVIDED BY THE SURVEY OFFICE UNDER THE DIRECTION OF ANTHONY HARRIS, N.M.P.S., DATED JULY 2012.

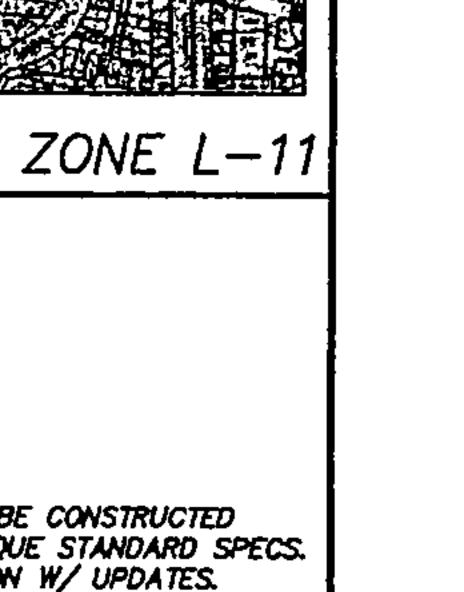
CHECKED BY: PWC DATE 7/2012

Sing Be Cult HYDROLOGY

Clark Consulting Engineers 19 Ryan Road Edgewood, New Mexico 87015

FILE #: C/D

Fex: (505) 281-2444 LOT 316A, UNIT 3, TOWN OF ATRISCO GRANT ALBUQUEROUE, BERNALILLO COUNTY, NEW MEXICO 8/15/12 Add COA Hyd BRIDGE BLVD / EUACARIZ LOPEZ WEST Commits Ofue Grading & Drainage DESIGNED BY: PWC DRAWN BY: CCE JOB . LOPEZ\_F



SECTION

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 02/2012)

PROJECT TITLE: Lepez _ k/est.  DRB#: 1008926 EPC#:			L-11/D00 67
LEGAL DESCRIPTION: 3/6 A Unit 3		ORDER#:	
CITY ADDRESS:		7	
ENGINEERING FIRM: CAR Consu	Hu; Eng'rs.	CONTACT:	Phi/
ADDRESS:		PHONE:	<u></u>
CITY, STATE:	· · · · · · · · · · · · · · · · · · ·	ZIP CODE:	<u> </u>
		EMAIL:	<del></del>
OWNER: Francisco Copies		CONTÁCT:	
ADDRESS:		PHONE:	······································
CITY, STATE:		ZIP CODE:	
	*		
ARCHITECT:		CONTACT:	
ADDRESS:		PHONE:	<del></del>
CITY, STATE:		ZIP CODE:	<i>f</i>
	1	EMAIL:	<i>f</i>
			,
SURVEYOR:		CONTACT:	
ADDRESS:	f	PHONE:	
CITY, STATE:	, , , , , , , , , , , , , , , , , , ,	ZIP CODE:	·
CONTR A CTOR.	also de la companya della companya della companya della companya de la companya della companya d		
CONTRACTOR: ADDRESS:	<del>-</del>	CONTACT:	<del></del>
CITY, STATE:	······································	PHONE:	<del></del>
CITT, OTTIE.	· · · · · · · · · · · · · · · · · · ·	ZIP CODE:	<del></del>
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVA	AL SOUGHT	
DRAINAGE REPORT	SIA/FINANCIAL (		ELEASE
DRAINAGE PLAN 1 <sup>st</sup> SUBMITTAL -	PRELIMINARY PI		
DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FO		
CONCEPTUAL G & D PLAN	S. DEV. FOR BLD	G. PERMIT APP	ROVAL
GRADING PLAN	SECTOR PLAN AI	PPROVAL	
EROSION CONTROL PLAN	FINAL PLAT APP		
ENGINEER'S CERT (HYDROLOGY)	FOUNDATION PE		AL
CLOMR/LOMR	BUILDING PERMI		
TRAFFIC CIRCULATION LAYOUT ENGINEER'S CERT (TCL)	CERTIFICATE OF	•	•
ENGINEER'S CERT (DRB SITE PLAN)	CERTIFICATE OF GRADING PERMI	•	IEMP)
OTHER (SPECIFY)	PAVING PERMIT		
——————————————————————————————————————	WORK ORDER AF	OD Design	
	GRADING CERTIF	FIG	
	GRADING CERTIFORM OTHER (SPECIFY)	) SU-19	
····			EP 1 0 2012
WAS A PRE-DESIGN CONFERENCE ATTENDED:		5	EL I A SOL
YES W/ Curtis			
NO / COPY PROVIDED		H	YDROLOGY
			SECTION
DATE SUBMITTED: 9/10/12	BY: ///		

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

Monday V

45'0 - WM,1 Eins Tun- vibused to Letina) ton -Sid mig bid wann in the same of the same o

5 LI 5 EX 

# 0 # 2 E 0 # E SS

From: CCEAlbq@aol.com

**Sent:** Friday, August 17, 2012 12:04 PM

To: Olson, Greg R.

Cc: Herrington, Cameron J.

Subject: Re: L11-D067 Francisco Lopez Subd. G&D Plan

Greg,

I hope you received the revised plan. Your suggestions and concerns are addressed directly on the plan.

fourth bullet - The swale should have no adverse affect (in the southeast)

eighth bullet - Yes, Typical roof drainage (clarified in two places, TYP.)

Contours extended.... (unless along the existing wall...west bdry)

last bullet - I raised the subgrade pads as we discussed and provided some depressed harvest areas on the Bridge lots

Harvesting calcs for rearyards provided within Calcs Section.

Thank you again for the thorough review.

Phil Clark

19 Ryan Road, Edgewood, NM 87015

# Clark Consulting Engineers

505.281-2444, 505.264-6042

In a message dated 8/14/2012 1:34:49 P.M. Mountain Daylight Time, CCEAlbq@aol.com writes:

#### Greg,

I truly appreciate our discussion - will try to turn this back within 48 hours. thx again, Phil Clark

In a message dated 8/13/2012 5:15:01 P.M. Mountain Daylight Time, CCEAlbq@aol.com writes:

# Greg,

I've changed your address in my "book",.....thx again, Phil C.

In a message dated 8/13/2012 5:06:49 P.M. Mountain Daylight Time, CCEAlbq@aol.com writes:

#### Greg,

I do appreciate your comments for building permit. Depending on the discussion as to required ponding - I'd think the plan sufficient for p.plat. Thanks again, Phil C.

281.2444

----Original Message----From: CCEAlbq@aol.com

Date: Mon, 13 Aug 2012 18:25:56 -0400 (EDT)

Subject: Re: L11-D067 Francisco Lopez Subd. G&D Plan

To: grolson@cabq.gov

#### Greg,

I've reviewed your comments, and need some need clarification. Please give me a call on your schedule. thx, Phil Clark 281.2444

In a message dated 8/13/2012 3:53:32 P.M. Mountain Daylight Time,

# grolson@cabq.gov writes:

Attached is our review letter and summary of concerns we have with your submittal stamped 7-20-12.

am currently working part time, typically 10 am to 2 pm.
Please review the items noted and call me if you have any questions.

Thanks,

Greg Olson 924-3994

(Rev. 12/05)ZONE MAP/DRG. FILE WORK ORDER#: LEGAL DESCRIPTION: LOT 316 A . Unit 3 Town of Atrisco La CITY ADDRESS: Engineers: CONTACT: Clark Consulting ENGINEERING FIRM 281-2444 PHONE: ADDRESS: 19 Ryan Road IP CODE: Edgewood, New Mexico 87015 .\_\_\_ - . CITY, STATE LOPEZ CONTACT: OWNER: PHONE: ADDRESS: ZIP CODE: CITY, STATE: \_\_\_\_\_ CONTACT: ARCHITECT: PHONE: ADDRESS: ZIP CODE: CITY, STATE: CONTACT: T. Harris SURVEYOR: PHONE: \_\_\_\_ ADDRESS: \_\_\_\_\_ ZIP CODE: CITY, STATE: CONTACT: CONTRACTOR: PHONE: ADDRESS: ZIP CODE: CITY, STATE: CHECK TYPE OF APPROVAL SOUGHT: TYPE OF SUBMITTAL: SIA/FINANCIAL GUARANTEE RELEASE DRAINAGE REPORT X PRELIMINARY PLAT APPROVAL DRAINAGE PLAN 1st SUBMITTAL S. DEV. PLAN FOR SUB'D APPROVAL DRAINAGE PLAN RESUBMITTAL S. DEV. FOR BLDG. PERMIT APPROVAL CONCEPTUAL G & D PLAN SECTOR PLAN APPROVAL **GRADING PLAN** FINAL PLAT APPROVAL **EROSION CONTROL PLAN** FOUNDATION PERMIT APPROVAL ENGINEER'S CERT (HYDROLOGY) X BUILDING PERMIT APPROVAL CLOMR/LOMR CERTIFICATE OF OCCUPANCY (PERM) TRAFFIC CIRCULATION LAYOUT CERTIFICATE OF OCCUPANCY (TEMP) ENGINEER/ARCHITECT CERT (TCL) GRADING PERMIT APPROVAL ENGINEER/ARCHITECT CERT (DRB S.P.) PAVING PERMIT APPROVAL ENGINEER/ARCHITECT CERT (AA) WORK ORDER APPROVAL OTHER (SPECIFY) AUG 16 2012 OTHER (SPECIFY) HYDROLOGY WAS A PRE-DESIGN CONFERENCE ATTENDED: YES SECTION NO COPY PROVIDED DATE: SUBMITTED BY:

DRAINAGE AND TRANSPORTATION INFORMATION SHEE'

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

# CITY OF ALBUQUERQUE

# PLANNING DEPARTMENT - Development & Building Services

August 9, 2012

Philip W. Clark, P.E. Clark Consulting Engineers 19 Ryan Road Edgewood, NM 87015



Re: Francisco Lopez, Bridge/Eucariz Grading & Drainage Plan (L-11/D067)

Lot 316A, Unit 3, Town of Atrisco Grant Engineer's Stamp dated 07-20-12

Dear Mr. Clark,

Based upon the information provided in your submittal dated 07-25-12, the above referenced plan cannot be approved for Preliminary Plat Approval or Building Permit until the following comments have been addressed:

- Please show the depressed backyard ponding areas on the grading plan.
- Provide pond calculations for each of the backyard ponds.
- Include all proposed contours on the plan.
- Various proposed swales do not have arrows indicating the direction of the flow. Will the proposed southeastern swale affect the existing structure on adjacent Lot 317A2?
- It appears the swales along the northern property line also direct flow east to Lot 317A1.

PO Box 1293

- Lots 2 and 5 are not labeled on the plan.
- Provide additional spot elevations around the four corners of the house pads on all lots as you have done for Lot 6.
- Lots 1 and 4 show the roofs pitching to the east and west, is this typical for the remaining homes?

Albuquerque

• Top-of-wall elevations are needed for the proposed block wall separating the northern and southern lots. Please include a detail of this wall in the grading plan.

NM 87103

- The existing contours shown on the plan should be carried out another 20 feet from the property lines.
- Grades and pad elevations on the Bridge side should anticipate future C&G and sidewalk improvements, which will result in higher grades along the southern property line.

www.cabq.gov

Albuquerque's MS4 Permit became effective March 1<sup>st</sup>, 2012. Grading and Drainage Plans and Drainage Reports will have to comply with the requirements of the new permit (<a href="http://www.cabq.gov/planning/landcoord/documents/EPA-NMS000101-FinalPermit.pdf">http://www.cabq.gov/planning/landcoord/documents/EPA-NMS000101-FinalPermit.pdf</a>

If you have any questions, you may contact me by email at grolson@cabq.gov, or by telephone to 505-924-3994.

Sincerely,

Gregory R. Olson, P.E.

Senior Engineer

Orig: Drainage file L11/D067

c.pdf Addressee via Email <u>ccealbq@aol.com</u>

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET (Rev. 12/05)

PROJECT TITLE: Lopez Single. Family DRB#: 1008926 EPC#:	ZONE MAP/DRG. FILE # 2-11/0067
DRB#: /008926 EPC#:	WORK ORDER#:
LEGAL DESCRIPTION: LOT 316A, Unit 3, CITY ADDRESS:	
ENGINEERING FIRM Consulting	EngineersCONTACT: Phil
ADDRESS: Clark Consulting	PHONE: 281-2444
CITY, STATE Edgewood, New Mexico 8	7015 , 'IP CODE:
OWNER: Trancisco Lopez	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
ARCHITECT:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
SURVEYOR:	CONTACT: 7. Harris
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
CONTRACTOR: owner	CONTACT: CISCO
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
TYPE OF SUBMITTAL:	HECK TYPE OF APPROVAL SOUGHT:
DRAINAGE REPORT	SIA/FINANCIAL GUARANTEE RELEASE
X DRAINAGE PLAN 1 <sup>st</sup> SUBMITTAL	X_PRELIMINARY PLAT APPROVAL 5000
DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D APPROVAL
CONCEPTUAL G & D PLAN	S. DEV. FOR BLDG. PERMIT APPROVAL
	SECTOR PLAN APPROVAL
EROSION CONTROL PLAN	FINAL PLAT APPROVAL
<del></del>	FOUNDATION PERMIT APPROVAL
	P DOILDING LEIGHT WLLKO AWE
TRAFFIC CIRCULATION LAYOUT	CERTIFICATE OF OCCUPANCY (PERM) CERTIFICATE OF OCCUPANCY (TEMP)
ENGINEER/ARCHITECT CERT (TCL)ENGINEER/ARCHITECT CERT (DRB S.P.)	GRADING PERMIT APPROVAL
ENGINEER/ARCHITECT CERT (DRD 5.1.)  ENGINEER/ARCHITECT CERT (AA)	PAVING PERMIT APPROVAL
OTHER (SPECIFY)	WORK ORDER APPROVAL
	OTHER (SPECIFY)
WAS A PRE-DESIGN CONFERENCE ATTENDED:	
YES	
NO	
COPY PROVIDED	JUL 25 2012.
SUBMITTED BY:	DATE: HYDROLOGY
Requests for approvals of Site Development Plans and/or Subdivi	sion Plats shall be accompanied by a drainage authorita Offic
particular nature, location and scope to the proposed development levels of submittal may be required based on the following:	ision Plats shall be accompanied by a drainage submittatoffile the degree of drainage detail. One or more of the following
cacie of enountius high of tedanted based on me tonowing:	
1. Conceptual Grading and Drainage Plan: Required for a	approval of Site Development Plans greater than five (5) acres and

2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.

Sector Plans.

100

3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

Philip W. Clark, P.E. Clark Consulting Engineers 19 Ryan Road Edgewood, NM 87015

Bridge Blvd. & Eucariz Grading and Drainage Plan Re: Lot 316A, Unit 3, Town of Atrisco Grant Engineer's Stamp dated 07-20-2012 (L-11/D067)

Dear Mr. Clark,

Based upon the information provided in your submittal dated 07-25-12, the above referenced plan cannot be approved for Preliminary Plat Approval or Building Permit until the following comments have been addressed:

- Please show the depressed backyard ponding areas on the grading plan.
- Provide pond calculations for each of the backyard ponds.
- Include all proposed contours on the plan.
- Various proposed swales do not have arrows indicating the direction of the flow. Will the proposed southeastern swale affect the existing structure on adjacent Lot 317A2?
- It appears the swales along the northern property line also direct flow east to Lot 317A1.
- Lots 2 and 5 are not labeled on the plan.
- Provide additional spot elevations around the four corners of the house pads on all lots as you have done for Lot 6.
- Lots 1 and 4 show the roofs pitching to the east and west, is this typical for the remaining homes?
- Top-of-wall elevations are needed for the proposed block wall separating the northern and southern lots. Please include a detail of this wall in the grading plan.

• The existing contours shown on the plan should be carried out another 20 feet from the property lines.

property lines.
Grading on Bridge Blud side should anticipate

If you have any questions, you can contact me at 924-3994. Subare leader ay improve

Mends and set grade;

Sincerely,

Greg Olson, P.E. Senior Engineer, Planning Dept. Development and Building Services

C: **Email**