

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

December 23, 2019

Philip Clark  
Clark Consulting Engineers  
19 Ryan Road  
Edgewood, NM 87015

RE: **Francisco Lopez Residential  
Bridge/Eucariz SW  
Request for Pad Certification – Not Accepted**  
• **Lots 1-6**  
**Grading Plan Stamp Date: 9/25/12**  
**Certification Dated: 12/13/19**  
**Hydrology File: L11D067**

PO Box 1293

Dear Mr. Clark:

Based on the submittal received on 12/18/19 the above-referenced submittal cannot be approved until the following are corrected:

Albuquerque

NM 87103

1. Use the Drainage Certification Language, per the DPM Chapter 22.7: *DRAINAGE CERTIFICATION WITH SURVEY WORK BY PROFESSIONAL SURVEYOR* or *DRAINAGE CERTIFICATION WITH VERIFICATION BY ENGINEER OF RECORD*; be sure to include surveyor information.
2. The ponds need to be constructed and surveyed, per the approved Grading Plan.

www.cabq.gov

If you have any questions, I can be contacted at 924-3695 or [dpeterson@cabq.gov](mailto:dpeterson@cabq.gov).

Sincerely,

Dana Peterson  
Senior Engineer, Planning Dept.  
Development Review Services



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** Francisco Lopez Residential **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** L11/D0067  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** Lot 1 & 2, Plat of Lopez West /LOT 316A, UNIT 3, TOWN OF ATRISCO GRANT  
**City Address:** \_\_\_\_\_

**Applicant:** CLARK CONSULTING ENGINEERS **Contact:** PHIL  
**Address:** \_\_\_\_\_  
**Phone#:** 281-2444 **Fax#:** xxxx cell / txt 264.6042 **E-mail:** CCEalbq@aol.com

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF DEVELOPMENT:** ☐ PLAT ☐ RESIDENCE ☐ DRB SITE ☐ ADMIN SITE

Check all that Apply:

**DEPARTMENT:**

☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION

**TYPE OF SUBMITTAL:**

☐ ENGINEER/ARCHITECT CERTIFICATION  
☐ PAD CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☐ DRAINAGE REPORT  
☐ DRAINAGE MASTER PLAN  
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
☐ ELEVATION CERTIFICATE  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ STREET LIGHT LAYOUT  
☐ OTHER (SPECIFY) \_\_\_\_\_  
☐ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☒ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ FLOODPLAIN DEVELOPMENT PERMIT  
☐ OTHER (SPECIFY) \_\_\_\_\_

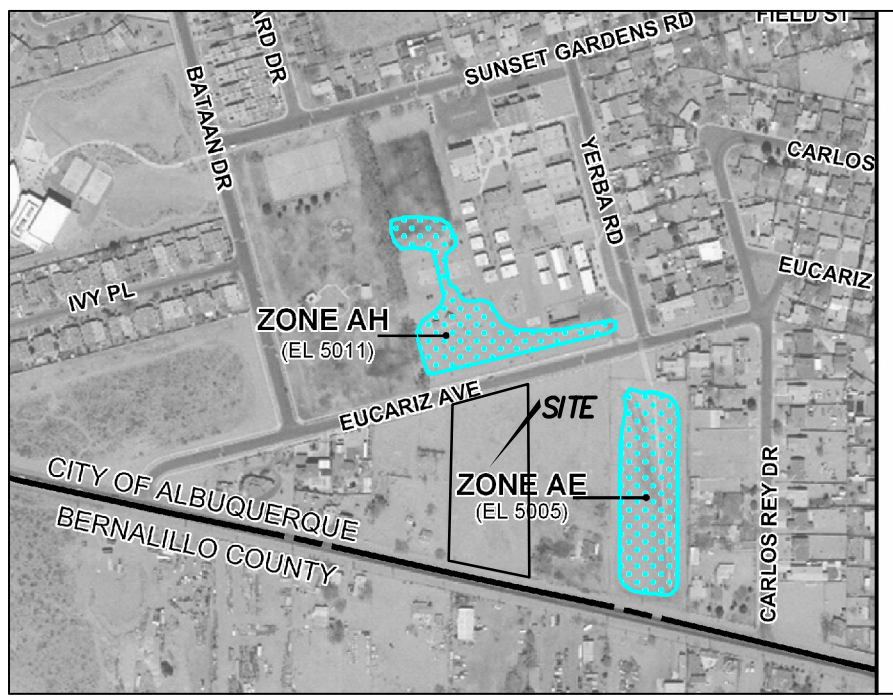
**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_





## FIRM MAP PANEL # 329

## GRADING & DRAINAGE PLAN

THE 6-LOT RESIDENTIAL SUBDIVISION IS LOCATED IN THE SOUTHWEST AREA OF ALBUQUERQUE APPROXIMATELY 3 MILES SOUTHWEST OF THE DOWNTOWN CORE OF ALBUQUERQUE, NM. THE GRADING & DRAINAGE SCHEME HEREON IS IN COMPLIANCE WITH THE BERNALILLO COUNTY FLOOD HAZARD ORDINANCE, NO.88-46, AND THE CITY STORM DRAINAGE ORDINANCE. THE PLAN IS REQUIRED IN ORDER TO FACILITATE THE OWNER'S REQUEST FOR BUILDING PERMIT. THE PLAN SHOWS:

- EXISTING CONTOURS, AND SPOT ELEVATIONS AND EXISTING DRAINAGE PATTERNS AND EXISTING IMPROVEMENTS: INCLUDING VACANT LOT
- PROPOSED IMPROVEMENTS: 6-2600 SF TOTAL SUB-GRADE PAD AREA(S), NEW CONCRETE DRIVEPADS AND ON-SITE PARKING, NEW GRADE ELEVATIONS, WALLS, FLATWORK AND LANDSCAPING.
- CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
- QUANTIFICATION AND ACCEPTANCE OF UPSTREAM OFF-SITE FLOWS WHICH CONTRIBUTE TO THE DEVELOPED FLOWS GENERATED BY THE IMPROVEMENTS.

THE PURPOSE OF THE PLAN IS TO ESTABLISH CRITERIA FOR CONTROLLING STORM RUNOFF AND EROSION, AND ESSENTIALLY ALLOWING HISTORIC FLOWS TO CONTINUE TO DRAIN THROUGH THE PROPERTY. PRESENTLY, THE SITE IS BOUNDED ON THE EAST AND WEST BY RESIDENTIAL USE. BRIDGE AND EUCARIZ DR. ON THE SOUTH AND NORTH ARE PAVED. EUCARIZ AVE. ON THE NORTH, HAS EXISTING CURB, GUTTER AND SIDEWALK, WHILE BOTH EUCARIZ AND BRIDGE ARE MAINTAINED BY THE CITY OF ALBUQUERQUE. THE SITE CURRENTLY DOES NOT DRAIN OR DISCHARGE RUNOFF.

HISTORICAL SITE RUNOFF OUTFALL LOCATIONS WILL REMAIN UNCHANGED. SINCE BOTH STREETS ARE IMPROVED ONLY MINIMAL GRADING (DRIVEPAD RECONSTR-N) IS PROPOSED WITHIN THE CITY R.O.W. THE "FIRST BLUSH" 1/2-INCH RAINSTORM IS RETAINED ON-SITE SINCE RUNOFF IS NOT DISCHARGED TO THE ADJACENT STREETS. ADDITIONALLY, RUNOFF IS ROUTED TO LANDSCAPING AND WATER HARVESTING IS RECOMMENDED.

THE SITE IS NOT IMPACTED ADVERSELY BY ANY OFF-SITE DRAINAGE FLOWS.

## CALCULATIONS

### DESIGN CRITERIA

HYDROLOGIC METHODS PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL (DPM) REVISED JANUARY 1993 FOR CITY OF ALBUQUERQUE ADOPTED BY THE COUNTY OF BERNALILLO  
DISCHARGE RATE:  $Q = Q_{PEAK} \times AREA$ . "Peak Discharge Rates For Small Watersheds"  
VOLUMETRIC DISCHARGE:  $VOLUME = E_{Weighted} \times AREA$   
 $P100 = 2.20$  Inches, Zone 1 Time of Concentration, TC = 10 Minutes  
DESIGN STORM: 100-YEAR/6-HOUR, 10-YEAR/6-HOUR [ ] = 10 YEAR VALUES

### EXISTING CONDITIONS

TOTAL AREA = 2.09 ACRES, WHERE EXCESS PRECIP. 'A' = 0.49 in. [0.08]  
PEAK DISCHARGE,  $Q100 = 2.7$  CFS [0.51] WHERE UNIT PEAK DISCHARGE 'A' = 1.29 CFS/AC. [0.24]  
THEREFORE:  $VOLUME 100 = 3717$  CF [607]

### DEVELOPED CONDITIONS

DETERMINE LAND TREATMENTS, PEAK DISCHARGE AND VOLUMETRIC DISCHARGE FOR STUDY AREA

	AREA	LAND TREATMENT	Q Peak	E
UNDEVELOPED/HARVEST POND	0.84 Ac.(40%)	A	1.29[0.24]	0.49[0.08]
LANDSCAPING	0.42 Ac.(20%)	B	2.03[0.76]	0.67[0.22]
GRAVEL & COMPACTED SOIL	0.48 Ac.(23%)	C	2.87[1.49]	0.99[0.44]
ROOF - PAVEMENT	0.36 Ac.(17%)	D	4.40[2.90]	1.97[1.24]
	2.09 Ac.			

THEREFORE:  $E_{Weighted} = 0.89$  in.[0.38] &

$Q100 = 4.89$  CFS  
 $Q10 = 2.28$  CFS

VOLUME 100 = 6752 CF  
VOLUME 10 = 2883 CF

RECOMMEND : ROUTE DEVELOPED RUNOFF THROUGH EXISTING/UPGRADED SOFT LANDSCAPING INCLUDING DEPRESSED LANDSCAPING IN THE NEW REAR YARDS AS SHOWN

### REAR YARD HARVEST CALC. (TYP.)

ALL DEVELOPED RUNOFF IS DIRECTED TO THE REAR YARD HARVESTING AREAS WITH THE EXCEPTION OF THE EAST SIDEYARD / SWALE ON LOT 4. THE REAR YARDS ARE CALCD AS FOLLOWS:

$(1500 \text{ SF} + 341 \text{ SF}) / 2 \times 0.68' = 626 \text{ CF}$

$(1495 \text{ SF} + 405 \text{ SF}) / 2 \times 0.67' = 636 \text{ CF}$

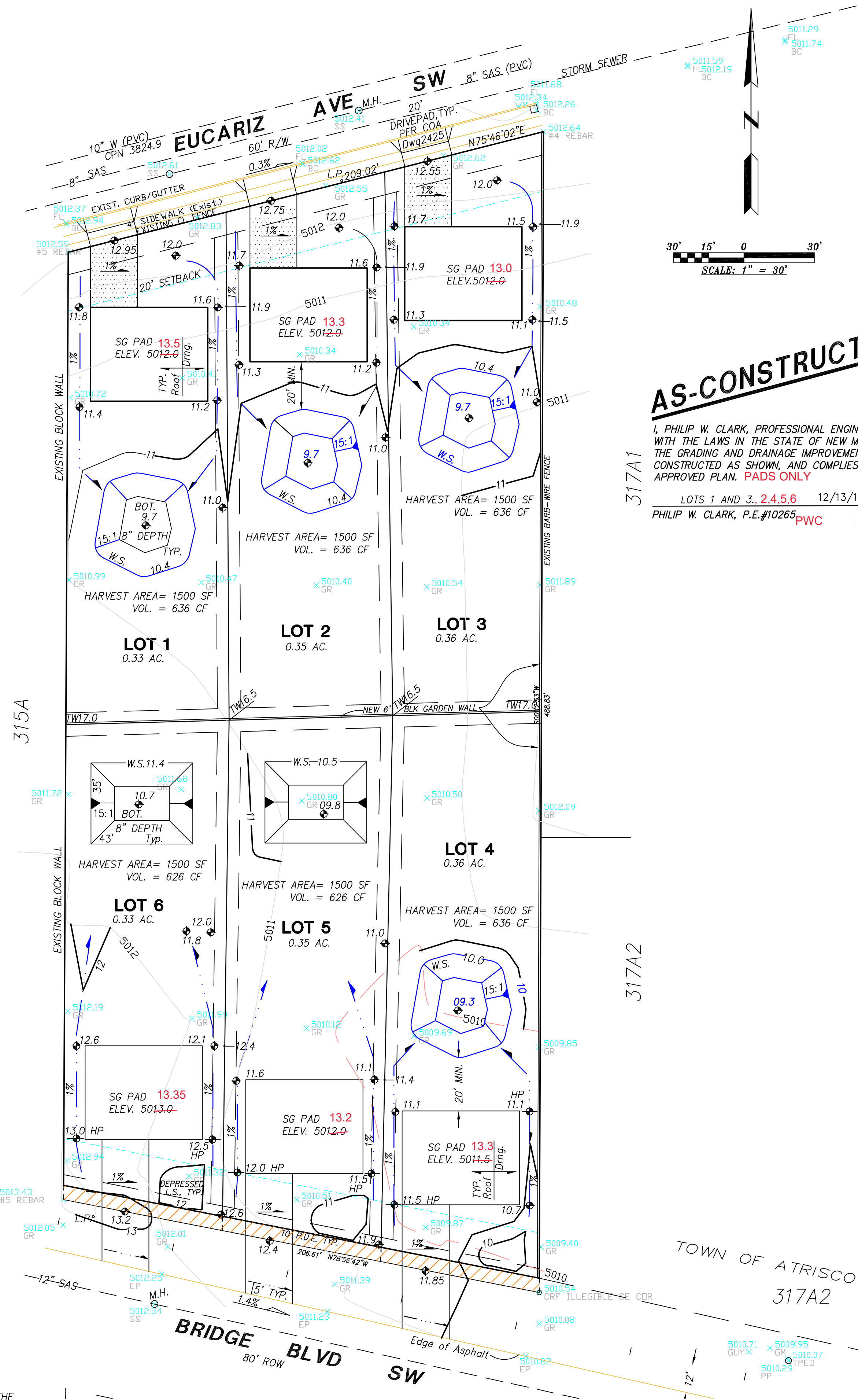
CHECK 1st 1/2" RETAINED

$2.09 \text{ AC} \times 43560 \text{ SF} \times 0.04' = 3641 \text{ CF}$

PER LOT 3641/6 ~ 607 CF, OK

PHILIP W. CLARK

NMPE #10265



AS-CONSTRUCTED

I, PHILIP W. CLARK, PROFESSIONAL ENGINEER, REGISTERED IN ACCORDANCE WITH THE LAWS IN THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE GRADING AND DRAINAGE IMPROVEMENTS INDICATED ON THE PLAN WERE CONSTRUCTED AS SHOWN, AND COMPLIES WITH THE DESIGN INTENT OF THE APPROVED PLAN. PADS ONLY

LOTS 1 AND 3, 2.4, 5.6 12/13/19

PHILIP W. CLARK, P.E. #10265 PWC



## LEGEND

EXIST. SPOT ELEVATION	+24.0
EXIST. CONTOUR	10
NEW SPOT ELEVATION	+24.0
NEW CONTOUR	12
NEW SWALE	
DRAINAGE DIRECTION, EXISTING	
NEW P.C.C., CONCRETE	
TOP OF CURB, EXISTING	TC
FLOWLINE	FL
EXISTING POWER POLE	O
FACE OF CURB/FACE OF CURB	F-F
HIGH POINT	HP
WATER SURFACE	W.S.

## PROJECT DATA

### LEGAL DESCRIPTION (CONCURRENT PLATTING)

LOTS 1-6, LOPEZ WEST SUBDIVISION  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

### PROJECT BENCHMARK

TOP OF REBAR/CAP AT THE PROJECT SOUTHEAST CORNER MSL  
ELEVATION = 5010.54, AS TIED FROM COA 3-1/4" DIAMETER ALUM DISK, 8-1/10, NAVD 88, MSL ELEV. 5069.58, LOCATED AT THE NE INTERSECTION OF 75TH ST. AND BRIDGE BLVD.

### TOPOGRAPHIC DESIGN SURVEY

PROVIDED BY THE SURVEY OFFICE UNDER THE DIRECTION OF ANTHONY HARRIS, N.M.P.S., DATED JULY 2012.

Clark Consulting Engineers

Edgewood, New Mexico 87015

Telex: (505) 281-2444		Cell: (505) 264-6042	
DATE	REVISION	LOT 316A, UNIT 3, TOWN OF ATRISCO GRANT ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  BRIDGE BLVD / EUACARIZ LOPEZ WEST <b>Grading &amp; Drainage Plan</b>	
9.21.12	ADDR. COA 9.19.12 LET		
12/13/19	Cert Pads		
DESIGNED BY: PWC	DRAWN BY: CCE	JOB #: LOPEZ_F	1 OF 1
CHECKED BY: PWC	DATE 7/2012	FILE #: G/D	

1 OF 1