

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 7, 2023

Phillip W. Clark, PE
Clark Consulting Engineers
19 Ryan Rd
Edgewood, NM 87015

**RE: Lot 6 – 3151 Bridge St. SW
Grading and Drainage Plan
Engineer's Stamp Date: 02/28/23
Hydrology File: L11D067D**

Dear Mr. Clark:

Based upon the information provided in your submittal received 02/28/2023, the Grading & Drainage Plan **is not** approved for Building Permit. The following comments need to be addressed for approval of the above referenced project:

1. This entire subdivision has been modified from the approved Lots 1-3 Pad Certification approval given on January 21, 2020 of which as-built certification & Permanent Certificate of Occupancy approval by Hydrology was never issued for each of these Lots. After Lots 4-6 Pad Certification approval was given on April 15, 2022, there was major grading done on these lots which can be seen on the aerial below. Therefore, Hydrology request a new as-built survey for Lots 4, 5, & 6 be done and shown on the submittals for these Lots for Building Permit. Also, please just show each lot separately with current drainage calculations that adhere to Chapter 6 of the current DPM. Remember for Lot 6, the retention pond required will be the proposed house and driveway impervious area for the 100 year – 10 day volume as outlined in Article 6-5.

PO Box 1293

Albuquerque

NM 87103

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2. Since this site is in the Valley region, please follow Article 6-5 Valley Drainage Criteria of the DPM. The following conditions must be applied to the site:
 - a. The maximum percent impervious of the lot and the contributing area may not be greater than 45%.
 - b. Pad elevation shall be a minimum of one (1) foot above the 100 year 10-day stormwater surface elevation.
 - c. The flow between the front yard and back yard cannot be obstructed. The stormwater must be allowed to equalize to the same level between the front yard and back yard.
 - d. A permanent perimeter wall or barrier around the development is required to contain the 100-year 24-hour storm developed runoff.

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If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

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NM 87103

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City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Lopez WEST Residential **Building Permit #:** _____ **Hydrology File #:** L11/D00067
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Lot 6, Plat of Lopez West /LOT 316A, UNIT 3, TOWN OF ATRISCO GRANT
City Address: 3151 Bridge St SW 87105

Applicant: CLARK CONSULTING ENGINEERS **Contact:** PHIL
Address: _____

Phone#: 281-2444 **Fax#:** ~~xxxx~~ cell / txt 264.6042 **E-mail:** CCEalbq@aol.com

Other Contact: Francisco Lopez **Contact:** _____
Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT ☒ RESIDENCE _____ DRB SITE _____ ADMIN SITE _____

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
_____ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

_____ ENGINEER/ARCHITECT CERTIFICATION
_____ PAD CERTIFICATION
_____ CONCEPTUAL G & D PLAN
_____ GRADING PLAN
_____ DRAINAGE REPORT
_____ DRAINAGE MASTER PLAN
_____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
_____ ELEVATION CERTIFICATE
_____ CLOMR/LOMR
_____ TRAFFIC CIRCULATION LAYOUT (TCL)
_____ TRAFFIC IMPACT STUDY (TIS)
_____ STREET LIGHT LAYOUT
_____ OTHER (SPECIFY) _____
_____ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: Yes ☐ No ☒

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

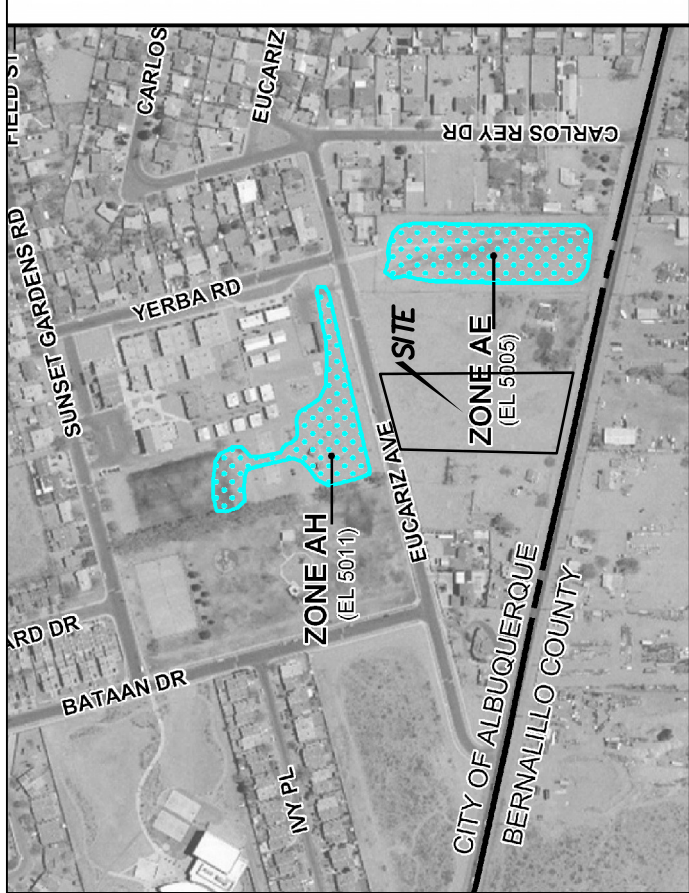
☒ BUILDING PERMIT APPROVAL
_____ CERTIFICATE OF OCCUPANCY
_____ PRELIMINARY PLAT APPROVAL
_____ SITE PLAN FOR SUB'D APPROVAL
_____ SITE PLAN FOR BLDG. PERMIT APPROVAL
_____ FINAL PLAT APPROVAL
_____ SIA/ RELEASE OF FINANCIAL GUARANTEE
_____ FOUNDATION PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL
_____ SO-19 APPROVAL
_____ PAVING PERMIT APPROVAL
_____ GRADING/ PAD CERTIFICATION
_____ WORK ORDER APPROVAL
_____ CLOMR/LOMR
_____ FLOODPLAIN DEVELOPMENT PERMIT
_____ OTHER (SPECIFY) _____

DATE SUBMITTED: 2/28/23 **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



FIRM MAP

PANEL # 329

GRADING & DRAINAGE PLAN

THE 6-Lot Residential Subdivision is located in the southwest area of Albuquerque approximately 3 miles southwest of the downtown core of Albuquerque, NM. The grading & drainage scheme hereon is in compliance with the Bernalillo County Flood Hazard Ordinance, N289-46, and the City of Albuquerque Engineering Department. The plan is prepared in order to facilitate the owner's request for building permit. The plan shows:

1. EXISTING CONTOURS, AND SPOT ELEVATIONS AND EXISTING DRAINAGE PATTERNS AND EXISTING IMPROVEMENTS;
2. PROPOSED IMPROVEMENTS: 6-2600 SF TOTAL SUB-GRADE PAD AREA(S), NEW CONCRETE DRIVEPADS AND ON-SITE PARKING, NEW GRADE ELEVATIONS, WALLS, FLATWORK AND LANDSCAPING.
3. CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
4. QUANTIFICATION AND ACCEPTANCE OF UPSTREAM OFF-SITE FLOWS WHICH CONTRIBUTE TO THE DEVELOPED FLOWS GENERATED BY THE IMPROVEMENTS.

THE PURPOSE OF THE PLAN IS TO ESTABLISH CRITERIA FOR CONTROLLING STORM RUNOFF AND EROSION, AND ESSENTIALLY ALLOWING HISTORIC FLOWS TO CONTINUE TO DRAIN THROUGH THE PROPERTY. PRESENTLY, THE SITE IS BOUNDED ON THE EAST AND WEST BY RESIDENTIAL USE. BRIDGE AND EUCARIZ DR. ON THE SOUTH AND NORTH ARE PAVED. EUCARIZ AVE. ON THE NORTH, HAS EXISTING CURB, GUTTER AND SIDEWALK, WHILE BOTH EUCARIZ AND BRIDGE BLVD. ARE MAINLY GRAVEL. THE SITE CURRENTLY DOES NOT DRAIN OR DISCHARGE RUNOFF.

HISTORICAL SITE RUNOFF OUTFALL LOCATIONS WILL REMAIN UNCHANGED. SINCE BOTH STREETS ARE IMPROVED ONLY MINIMAL GRADING (DRIVEPAD RECONSTR-N) IS PROPOSED WITHIN THE CITY R.O.W. THE "FIRST BLUSH" 1/2-INCH RAINSTORM IS RETAINED ON-SITE SINCE RUNOFF IS NOT DISCHARGED TO THE ADJACENT STREETS. ADDITIONALLY, RUNOFF IS ROUTED TO LANDSCAPING AND WATER HARVESTING IS RECOMMENDED. THE SITE IS NOT IMPACTED ADVERSELY BY ANY OFF-SITE DRAINAGE FLOWS.

CALCULATIONS

DESIGN CRITERIA

HYDROLOGIC METHODS PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL (DPM) REVISED JANUARY 1993 FOR CITY OF ALBUQUERQUE ADOPTED BY THE COUNTY OF BERNALILLO DISCHARGE RATE: $Q=Q_{PEAK} \times AREA$, Peak Discharge Rates For Small Watersheds
VOLUMETRIC DISCHARGE: $VOLUME = E_{WEIGHTED} \times AREA$
TIME OF CONCENTRATION: $TC = 10$ Minutes
DESIGN STORM: 100-YEAR/6-HOUR, 10-YEAR/6-HOUR [] = 10 YEAR VALUES

EXISTING CONDITIONS

TOTAL AREA = 2.09 ACRES WHERE EXCESS PRECIP. $1" = 0.49$ in. [0.08]
PEAK DISCHARGE $Q_{100} = 27$ CFS [0.5] WHERE UNIT PEAK DISCHARGE $1" = 1.29$ CFS/AC. [0.24]
THEREFORE: $VOLUME 100 = 3717$ CF [607]

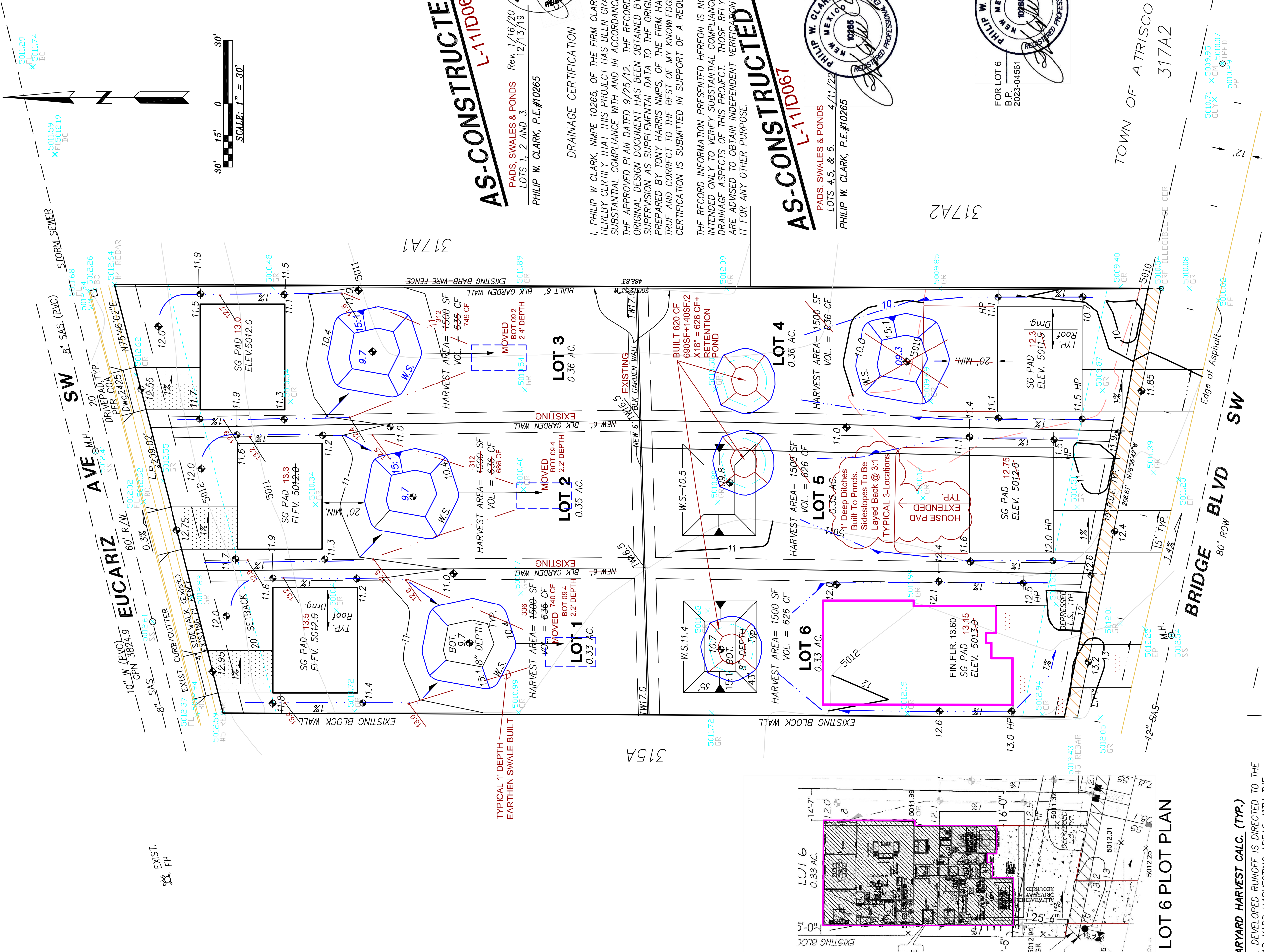
DEVELOPED CONDITIONS.

DETERMINE LAND TREATMENTS, PEAK DISCHARGE AND VOLUMETRIC DISCHARGE FOR STUDY AREA

LAND TREATMENT	AREA	LAND TREATMENT	Q Peak	E
UNDEVELOPED/HARVEST/Pond	0.84 Ac.(40%)	A	1.29[0.24]	0.49[0.08]
LANDSCAPING	0.42 Ac.(20%)	B	2.03[0.76]	0.67[0.22]
GRAVEL & COMPACTED SOIL	0.48 Ac.(23%)	C	2.87[1.49]	0.99[0.44]
ROOF - PAVEMENT	0.36 Ac.(17%)	D	4.40[2.90]	1.97[1.24]
	2.09 Ac.			

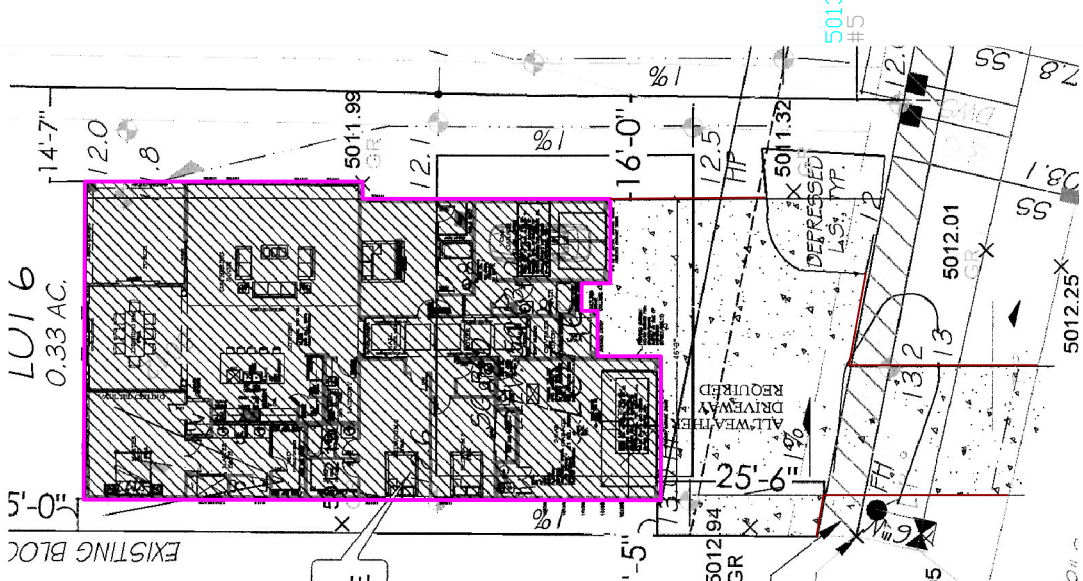
THEREFORE: $E_{WEIGHTED} = 0.89$ in.[0.38] &
 $Q_{100} = 4.89$ CFS
 $Q_{10} = 2.28$ CFS
VOLUME 100 = 6752 CF
VOLUME 10 = 2883 CF

RECOMMEND : ROUTE DEVELOPED RUNOFF THROUGH EXISTING/UPGRADED SOFT LANDSCAPING INCLUDING DEPRESSED LANDSCAPING IN THE NEW REAR YARDS AS SHOWN



REAR YARD HARVEST CALC. (TYP.)
ALL DEVELOPED RUNOFF IS DIRECTED TO THE REAR YARD HARVEST POND. THE EXCEPTION OF THE EAST SIDEYARD SWALE ON LOT 4. THE REAR YARDS ARE CALLED AS FOLLOWS:
(1500 SF + 341 SF) / 2 x 0.68' = 626 CF
(1495 SF + 405 SF) / 2 x 0.67' = 636 CF
CHECK 1st 1/2" RETAINED
2.09 AC x 4.3560 SF x 0.04' = 3641 CF
PER LOT 3641/6 ~ 607 CF, OK

LOT 6 PLOT PLAN



315A

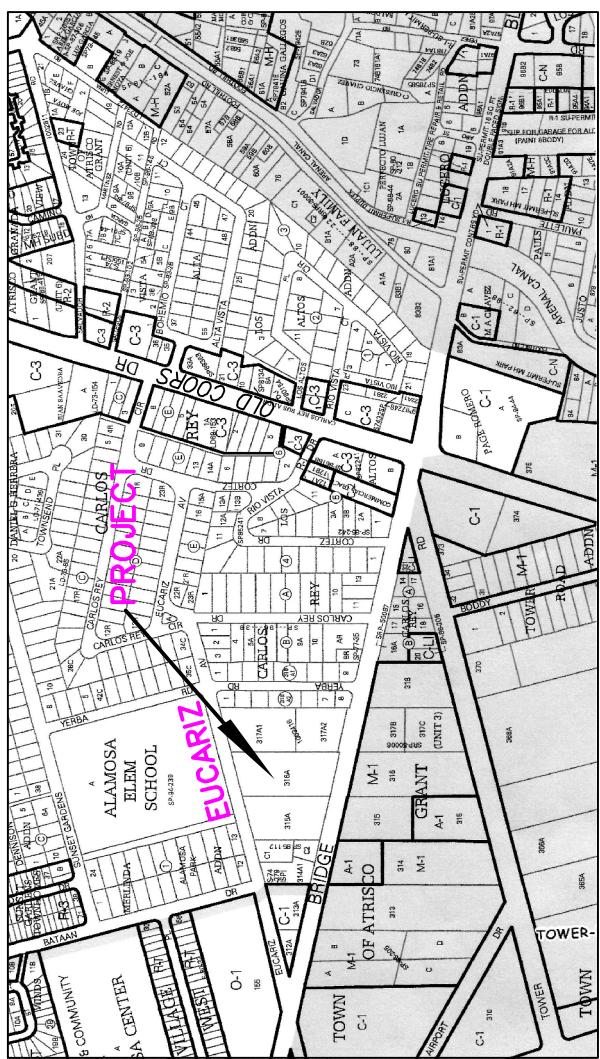
317A2

TOWN OF ATRISCO
317A2

BRIDGE BLVD
80' ROW
SW

I, PHILIP W. CLARK, A PROFESSIONAL ENGINEER LICENSED IN ACCORDANCE WITH THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT I HAVE VISITED THE SITE SHOWN HEREON, AND THAT THE CONTOURS SHOWN REPRESENT THE EXISTING GROUND CONDITIONS, AND DO FURTHER CERTIFY THAT NO EARTHWORK OF ANY KIND, NOR ANY DISTURBANCE OF THE EXISTING GROUND HAS OCCURRED ON THIS SITE SINCE THE CONTOURS WERE DETERMINED.

PHILIP W. CLARK NMPE #10265



ZONE L-11

VICINITY MAP

NOTES

1. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECS. FOR PUBLIC WORKS CONSTRUCTION, 8TH EDITION W/ UPDATES.
2. AN EXCAVATION/CONSTRUCTION PERMIT IS REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY R.O.W. AN IMPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL LANDSCAPING AREA SHALL BE SOFT-LINED WITH NATIVE VEGETATION AND/OR GRAVEL.
5. CONTRACTOR SHALL ENSURE THAT NO SITE SOILS/SEDIMENT OR SILT ENTER THE RIGHT-OF-WAYS DURING CONSTRUCTION.
6. REVEGETATE ALL AREAS DISTURBED DUE TO CONSTRUCTION PER CITY OF ALBUQ. SPEC. 1011, NATIVE SEED MIX.
7. MAXIMUM SITE GRADING WITHOUT EROSION PROTECTION: 3 HORIZONTAL TO 1 VERTICAL, 3:1. ALL DIMENSIONS TO FACE OF CURB, UNLESS NOTED OTHERWISE.

LEGEND

- AS-BUILT SPOT ELEVATION
- EXIST. SPOT ELEVATION
- EXIST. CONTOUR
- NEW SPOT ELEVATION
- NEW CONTOUR
- NEW SWALE
- DRAINAGE DIRECTION, EXISTING
- NEW P.C.C., CONCRETE
- TOP OF CURB, EXISTING
- FLOWLINE
- EXISTING POWER POLE
- FACE OF CURB/FACE OF CURB
- HIGH POINT
- WATER SURFACE
- W.S.
- HP
- F-F
- FL
- TC

PROJECT DATA

LEGAL DESCRIPTION (CONCURRENT PLATTING)

LOTS 1-6, LOPEZ WEST SUBDIVISION
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

PROJECT BENCHMARK

TOP OF REBAR/CAP AT THE PROJECT SOUTHEAST CORNER MSL
ELEVATION = 5010.54, AS TIED FROM COA 3-1/4" DIAMETER ALUM
DISK 8.110, NAD 83, MSL ELEV. 5069.58, LOCATED AT THE NE
INTERSECTION OF 75TH ST. AND BRIDGE BLVD.

TOPOGRAPHIC DESIGN SURVEY

PROVIDED BY THE SURVEY OFFICE UNDER THE DIRECTION OF ANTHONY
HARRIS, N.M.P.S., DATED JULY 2012.

Clark Consulting Engineers
Edgewood, New Mexico 87015
Tel: (505) 281-2444

DATE	REVISION
9/21/12	ADDR. COA
9/19/12	LET

1/11/20	AS-BUILT 1-3
4/7/22	AS-BUILT 4-6

2/28/23	LOT 6 FOR B.P.
DESIGNED BY: PWC	DRAWN BY: CCE
CHECKED BY: PWC	DATE: 7/2012
	FILE # 5/20

9/25/12

HYDROLOGY L-11 / D067