

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

April 5, 2024

Alejandro Sazo  
RBA Architects, PC  
1104 Park Ave. SW  
Albuquerque, NM 87102

**Re: Old Coors Fish Market**  
**809 Old Coors Blvd. SW**  
**30-Day Temporary Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Architect's Stamp dated 05-13-22 (L11-D069)  
Certification dated 04-04-24

Dear Mr. Sazo,

Based upon the information provided in your submittal received 04-03-24, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of signs.

Once these corrections are complete, email pictures to [malnajira@cabq.gov](mailto:malnajira@cabq.gov) for release of Final CO.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

*Marwa Al-najjar*

Marwa Al-najjar  
Associate Engineer, Planning Dept.  
Development Review Services

Ma via: email

C: CO Clerk, File



April, 4 2024

Re: Old Coors Fishmarket  
809 Old Coors Blvd, SW/  
Albuquerque, NM 87121  
Project# **BP-2022-39342**  
Approved 11/28/2022

### TRAFFIC CERTIFICATION

I, **Rick Bennett**, NMRA #1240, of the firm of RBA Architecture, PC hereby certify that this project is in substantial compliance with and in accordance with the design intent of the Traffic Certification Layout, approved Site Plan dated 5/13/2022 and with Architect's stamp dated 5/13/2022.

The record information was edited on the original design document has been obtained by **Rick Bennett | Architect**, of the firm. I further certify that RBA visited the project site on September march 29, 2024 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of our knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy (Permanent) for the project Old Coors Fish Market on 809 Old Coors Blvd. SW. in Albuquerque, New Mexico.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Sincerely,  
Rick Bennett, Architect





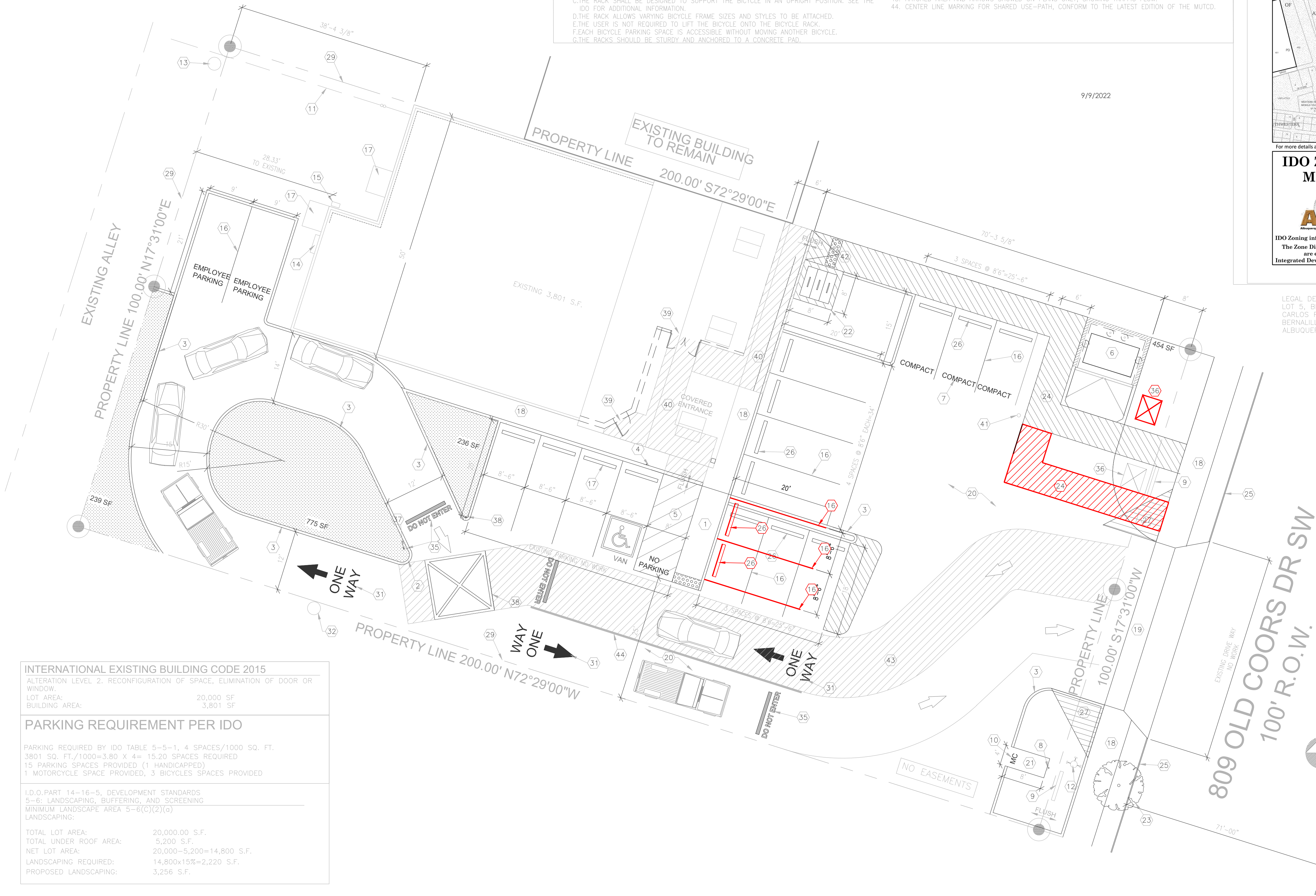
GENERAL NOTES

- A. PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- B. PROVIDE EXPANSION JOINTS IN CONCRETE WALK AT 4' O.C. AND WHERE CONCRETE ABUTS THE BUILDING.
- C. PREMIS IDENTIFICATION - SHALL BE MINIMUM 12 INCHES HIGH x 1 INCH WIDE AND SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL BE VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
- D. G.C. TO PROVIDE FIRE EXTINGUISHERS 2A-10-BC, 1 PER EACH 3,000 S.F., REF: FLOOR PLANS FOR QUANTITY AND LOCATIONS.
- E. ALL PENETRATIONS THROUGH A FIRE-RATED WALL ASSEMBLY TO BE FIRE-STOPPED WITH THERMAFIBER AS MANUFACTURED BY THERMAFIBER, LLC, WABASH, 48992 OR OTHER APPROVED EQUAL.
- F. ALL EXIT SIGNS AND EMERGENCY LIGHTING SHALL HAVE BATTERY BACK-UP, REF: ELECTRICAL.
- G. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER PER CITY STANDARD DRAWINGS (2145 & 2430).

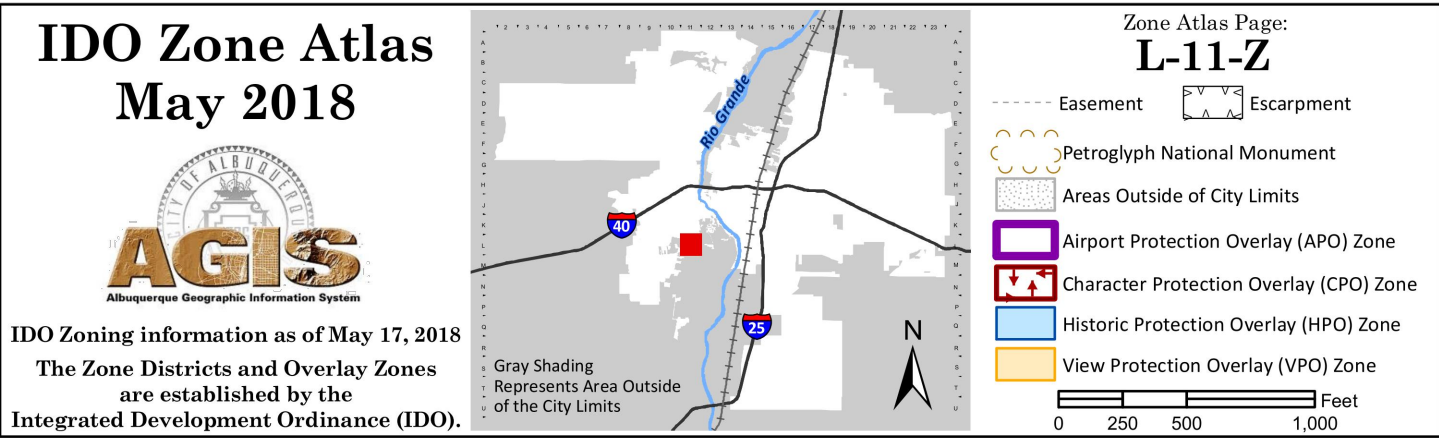
KEYED NOTES

- EXISTING ACCESSIBLE CURB RAMP. (NO WORK)
- 2'-0" CURB RADIUS, TYP.
- NEW RAISED CONCRETE CURB REF. DETAIL C3/AS-2.0.
- EXISTING ACCESSIBLE PARKING SIGNAGE. (NO WORK) REF. DETAIL C1/AS-2.0
- EXISTING PAINTED STRIPE HANDICAP ACCESSIBLE AISLE. (NO WORK)
- EXISTING DUMPSTER ENCLOSURE. (NO WORK)
- PAINTED "COMPACT" WHITE ON PAVEMENT PER CABQ STANDARDS, WHERE SHOWN ON PLANS. REF DETAILS A4/AS-2.0.
- MOTORCYCLE PARKING SIGNAGE PER CABQ STANDARDS, REF. DETAIL A9/AS-2.0
- EXISTING STORM SEWER DRAIN
- "MC" ON ASPHALT PAVING IN CAPITAL LETTERS, REF. DETAIL A5/AS-2.0.
- EXISTING WASTE LINE TO MAIN IN ALLEY
- FIRE HYDRANT.
- EXISTING POWER POLE WITH TRANSFORMER
- ELECTRICAL PANEL & METER LOCATION
- EXISTING GAS METER LOCATION
- 4" WIDE PAINTED STRIPE PER C.O.A. STANDARDS, REF: DETAIL A11/AS-2.0., TYP.
- EXISTING CONCRETE STOOP
- EXISTING CONCRETE SIDEWALK TO REMAIN
- EXISTING CONCRETE CURB CUT/DRIVE PAD, NO WORK. (C.O.A. STANDARDS REF DETAIL: 2425A)
- EXISTING ASPHALT
- MOTORCYCLE PARKING
- BIKE RACK FOR (3) BICYCLES, 30" TALL x 18" MIN., REF. DETAIL C1/AS-2.0.
- A.30" TALL X 18" WIDE.
- B.BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES. COMB/TOASTER RACKS ARE NOTE ALLOWED
- C.THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION. SEE THE IDO FOR ADDITIONAL INFORMATION.
- D.THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED.
- E.THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BICYCLE RACK.
- F.EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE.
- G.THE RACKS SHOULD BE STURDY AND ANCHORED TO A CONCRETE PAD.
- EXISTING TREE. PRUNE BRANCHES, SO THE LOWEST BRANCHES ARE 8 FEET OR GREATER ABOVE SIDEWALK ELEVATION
- 6 FOOT WIDE ACCESSIBLE PEDESTRIAN PATH, TYP.REF. DETAIL A2/AS-2.0
- EXIST. CONC. CURB AND GUTTER.
- NEW PARKING BUMPER, TYP. REF. DETAIL C2/AS-2.0
- 11' X 11' CLEAR SIGHT TRIANGLE, LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH THE CLEAR SIGHT REQUIREMENTS". ALL SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- NOT USED.
- EXISTING C.M.U. WALL
- NOT USED.
- "ONE WAY" PAINT ON ASPHALT. REF. DETAIL A7/AS-2.0
- EXISTING POWER POLE, TO REMAIN.
- EXISTING COMMUNICATION BOX, TO REMAIN.
- NOT USED.
- "DO NOT ENTER" SIGNAGE AND PAINT ON ASPHALT. REF. DETAIL A6A10/AS-2.0
- 1-96 GALLON RECYCLE CART.
- "STOP" SIGNAGE CONFORM TO THE LATEST EDITION OF THE MUTCD.
- "DO NOT BLOCK" SIGNAGE AND INTERSECTION MARKINGS ON ASPHALT CONFORM TO THE LATEST EDITION OF THE MUTCD. REF DETAIL A3,AS/AS-2.0
- EXISTING ENTRANCE BUILDING DOOR.
- ADA ACCESSIBLE PEDESTRIAN PATHWAY (HATCHED ON PLANS ONLY)
- 6" DIA. STEEL BOLLARD, REF. DETAIL C4/AS-2.0.
- ACCESSIBLE CURB RAMP, REF DETAIL A1/AS2.0
- HATCHED AREA AND ARROWS SHOWN ON PLANS ONLY, SHOWING TRAFFIC FLOW.
- CENTER LINE MARKING FOR SHARED USE-PATH, CONFORM TO THE LATEST EDITION OF THE MUTCD.

9/9/2022



INTERNATIONAL EXISTING BUILDING CODE 2015	
ALTERATION LEVEL 2. RECONFIGURATION OF SPACE, ELIMINATION OF DOOR OR WINDOW.	
LOT AREA:	20,000 SF
BUILDING AREA:	3,801 SF
PARKING REQUIREMENT PER IDO	
PARKING REQUIRED BY IDO TABLE 5-5-1, 4 SPACES/1000 SQ. FT.	
3801 SQ. FT./1000=3.80 X 4= 15.20 SPACES REQUIRED	
15 PARKING SPACES PROVIDED (1 HANDICAPPED)	
1 MOTORCYCLE SPACE PROVIDED, 3 BICYCLES SPACES PROVIDED	
I.D.O.PART 14-16-5. DEVELOPMENT STANDARDS	
5-6: LANDSCAPING, BUFFERING, AND SCREENING	
MINIMUM LANDSCAPE AREA 5-6(C)(2)(a)	
LANDSCAPING:	
TOTAL LOT AREA:	20,000.00 S.F.
TOTAL UNDER ROOF AREA:	5,200 S.F.
NET LOT AREA:	20,000-5,200=14,800 S.F.
LANDSCAPING REQUIRED:	14,800x15%=2,220 S.F.
PROPOSED LANDSCAPING:	3,256 S.F.



LEGAL DESCRIPTION:  
LOT 5, BLOCK E  
CARLOS REY SUBDIVISION  
BERNALILLO COUNTY  
ALBUQUERQUE, NEW MEXICO

OLD COORS FISH MARKET  
SITE PLAN  
809 OLD COORS BLVD. SW  
ALBUQUERQUE, NM  
PROJECT #2232

REVISION	DATE
DATE	5/13/2022
SHEET NUMBER	AS-1.0

NOTE:  
GENERAL CONTRACTOR TO  
FIELD VERIFY ALL EXIST.  
CONSTRUCTION AND  
DIMENSIONS PRIOR TO  
CONSTRUCTION