

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

February 24, 2021

Levi J. Valdez, PE  
George T Rodriguez-Development Consultant  
12800 San Juan Rd. SE  
Albuquerque, NM 87123

**RE: Playhouse Learning Center  
809 Old Coors Rd. SW  
Grading and Drainage Plan  
Engineer's Stamp Date: 02/22/21  
Hydrology File: L11D069**

Dear Mr. Valdez:

PO Box 1293  
Based upon the information provided in your submittal received 02/09/2021, the Grading and Drainage Plan is approved for Building Permit.

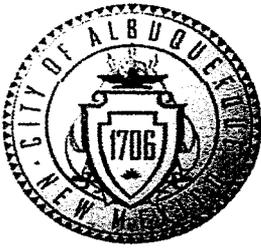
Albuquerque  
Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

NM 87103  
www.cabq.gov  
If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

*PLAYHOUSE*

Project Title: LEARNING CENTER Building Permit #: \_\_\_\_\_ Hydrology File #: \_\_\_\_\_

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: LOTS 5 & 6, BLOCK 'E', CARLOS REY SUBD., ALBUQ., N.M.

City Address: 809 OLD COORS ROAD S.W.

Applicant: LEVI J. VALDEZ, P.E. GEORGE T. RODRIGUEZ - DEVELOPMENT CONSULTANT Contact: LEVI VALDEZ GEORGE RODRIGUEZ

Address: 12800 SAN JUAN N.E., ALBUQUERQUE, NEW MEXICO 87123

Phone#: 505-610-0593 Fax#: \_\_\_\_\_ E-mail: paurod@hotmail.com

Owner: PLAYHOUSE LEARNING CENTER Contact: C/O RICK BENNETT ARCHITECTS

Address: 809 OLD COORS ROAD S.W., ALBUQUERQUE, NEW MEXICO 87105

Phone#: C/O 505-242-1859 FAX#: \_\_\_\_\_ E-mail: WWW.RBABI.COM

TYPE OF SUBMITTAL: \_\_\_\_\_ PLAT ( \_\_\_\_\_ # OF LOTS) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_  ADMIN SITE

IS THIS A RESUBMITTAL?:  Yes \_\_\_\_\_ No

DEPARTMENT: \_\_\_\_\_ TRAFFIC/ TRANSPORTATION  HYDROLOGY/ DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- \_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION
- \_\_\_\_\_ PAD CERTIFICATION
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- DRAINAGE ~~MASTER~~ PLAN
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- \_\_\_\_\_ ELEVATION CERTIFICATE
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_
- NO PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

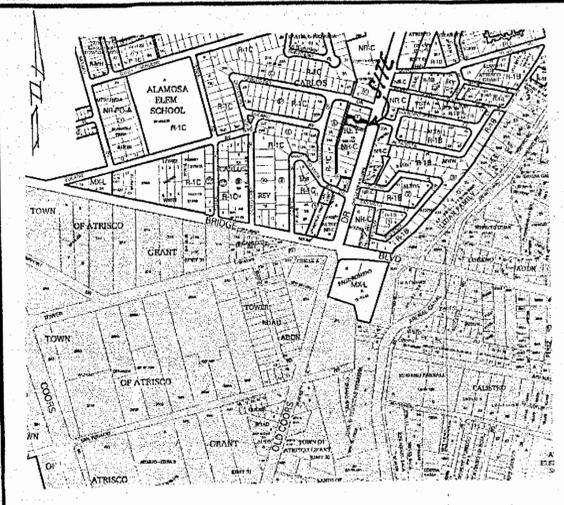
- BUILDING PERMIT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ GRADING/ PAD CERTIFICATION
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: 02-18-2021 ~~02-09-2021~~ By: GEORGE T. RODRIGUEZ

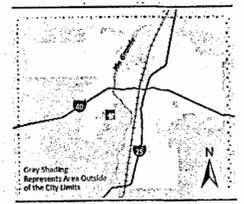
COA STAFF: \_\_\_\_\_

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



**VICINITY MAP** L-11-Z  
 0 250 500 1,000 Feet  
**IDO Zone Atlas**  
 May 2018



**EROSION CONTROL MEASURES:**  
 THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION. HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

**CONSTRUCTION NOTES:**

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION(S) OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE, BERNALILLO COUNTY STANDARDS AND PROCEDURES.

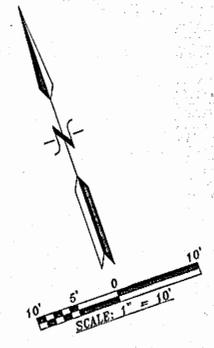
**LEGEND:**  
 TOP OF CURB ELEVATION = CB = 5011.72  
 CURB FLOWLINE ELEVATION = FL = 5012.03  
 EXISTING SPOT ELEVATION = X = 5012.03  
 EXISTING CONTOUR ELEVATION = 5012  
 PROPOSED SPOT ELEVATION = 12.25  
 PROPOSED CONTOUR ELEVATION = 11.4  
 PROPOSED OR EXISTING CONCRETE SURFACE = [Symbol]  
 EXISTING FENCE LINE = [Symbol]

**GENERAL NOTES:**

- NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.

**ADDITIONAL LEGEND:**

- PER ARCHITECTS 'SITE PLAN' PROVIDE ACCESSIBLE CURB RAMP PER C.O.A. STANDARD DWG. NO. 2446.
- PER ARCHITECTS 'SITE PLAN' CONSTRUCT NEW RAISED CONCRETE CURB AND GUTTER PER C.O.A. STANDARD DWG. NO. 2415A.
- PAINT STRIPES
- PROVIDE 4" OPENING AT CURB OR WALL FOR DRAINAGE.
- EXISTING ASPHALTIC PAVED SURFACE (TO REMAIN).
- EXISTING DIRT SURFACE (TO REMAIN).
- EXISTING 1' X 7' PRIVATE STORM DRAIN INLET
- EXISTING 6" HIGH CHAIN LINK FENCE WITH GATE
- PROPOSED LANDSCAPE AREA



**A.1 PRECIPITATION ZONES**  
 Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

**TABLE A-1. PRECIPITATION ZONES**

ZONE	LOCATION
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Eubank, North of Interstate 40, and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of Eubank, North of Interstate 40, and East of the East boundary of Range 4 East, South of Interstate 40

**TABLE A-10. PEAK INTENSITY (IN/HR at 1+0.2 hour)**

Zone	Intensity	100-YR (2-YR, 10-YR)
1	4.70	(1.84, 2.14)
2	3.05	(2.04, 3.41)
3	3.38	(2.11, 3.65)
4	3.61	(2.34, 3.83)

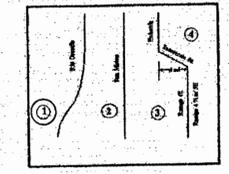
**TABLE A-4. LAND TREATMENTS**

Treatment	Land Condition
A	Soil unimpacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundwater and infiltration capacity. Cryptanthus. (Native grasses, weeds and shrubs with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil unimpacted by human activity with slopes greater than 10 percent and less than 20 percent.)
B	Soil unimpacted by human activity. Minimal disturbance to grading, groundwater and infiltration capacity. Cryptanthus. (Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundwater and infiltration capacity. Cryptanthus.)
C	Soil unimpacted by human activity. Minimal disturbance to grading, groundwater and infiltration capacity. Cryptanthus. (Native grasses, weeds and shrubs, and soil unimpacted by human activity with slopes greater than 10 percent and less than 20 percent.)
D	Impervious areas, pavement and roofs.

Most watersheds contain a mix of land treatments. To determine proportional treatments, measure respective subareas. In lieu of specific measurements for treatment D, the total percentage in TABLE A-5 may be employed.

**TABLE A-9. PEAK DISCHARGE (cfs/acre)**

Zone	Treatment			
	A	B	C	D
1	1.29 (0.00, 0.24)	2.03 (0.21, 0.70)	2.87 (0.47, 1.49)	4.37 (1.60, 2.89)
2	1.34 (0.00, 0.38)	2.25 (0.08, 0.95)	3.14 (0.60, 1.71)	4.70 (1.86, 3.10)
3	1.87 (0.00, 0.58)	2.60 (0.21, 1.19)	3.45 (0.78, 2.00)	5.02 (2.04, 3.39)
4	2.30 (0.05, 0.87)	2.92 (0.38, 1.45)	3.71 (1.00, 2.20)	5.25 (2.17, 3.57)



**DRAINAGE COMMENTS:**  
 As shown on the Vicinity Map hereon, the subject site is located on the west side of Old Coors Road S.W. north of Bridge Boulevard S.W. and between Carlos Rey Drive S.W. and Rio Vista Drive S.W., in the City of Albuquerque, Bernalillo County, New Mexico, (IDO Zone Atlas 'L-11-Z').

The subject site is presently an old developed commercial property with an existing building that is to have a new 900.0 square foot building addition constructed thereto and also associated improvements thereon.

The subject site, 1.) lies within a designated Zone 'X' (area of minimal flood hazard), as shown on F.E.M.A. Firm Panel No. 35001C0329H, Effective Date 08-16-2012, 2.) does not accept offsite flows from adjacent properties, 3.) does not contribute flows to adjacent properties, 4.) does not lie adjacent to a natural or artificial water course, 5.) is in its present condition approximately 91% impervious and is to be minimally reduced with added landscape areas, the proposed building addition is to be built over existing impervious area, 6.) presently drains its developed flows into the two (2) existing drain inlets as shown on the plan hereon (these drain inlets are to remain as existing).

**DRAINAGE CALCULATIONS:**  
 Per the Development Process Manual for the City of Albuquerque, Bernalillo County, New Mexico, Hydrology, Chapter 6, Article 6-2(a), Effective, June 8, 2020.

Site Area : 0.46 Acre  
 Precipitation Zone : One (1),  
 "Land Treatment Method" for Calculation of "Qp",  
 "Land Treatment Factors".

Precipitation : 360 = 2.17 in.  
 1440 = 2.49 in.  
 10day = 3.59 in.

TREATMENT	EXCESS PRECIPITATION	PEAK DISCHARGE
TREATMENT A	0.55 in.	1.54 cfs/ac.
TREATMENT B	0.73 in.	2.16 cfs/ac.
TREATMENT C	0.95 in.	2.87 cfs/ac.
TREATMENT D	2.24 in.	4.12 cfs/ac.

TREATMENT	EXISTING CONDITIONS : AREA	PROPOSED CONDITIONS : AREA
TREATMENT A	0.00 ac.	0.00 ac.
TREATMENT B	0.00 ac.	0.00 ac.
TREATMENT C	0.04 ac.	0.05 ac.
TREATMENT D	0.42 ac.	0.41 ac.

**EXISTING EXCESS PRECIPITATION:**  
 Weighted "E" = (0.55)(0.00) + (0.73)(0.00) + (0.95)(0.04) + (2.24)(0.42) / 0.46 = 2.15 in.  
 V100-360 = (2.15)(0.46) / 12 = 0.08165 ac.-ft. = 3,596.7 cf

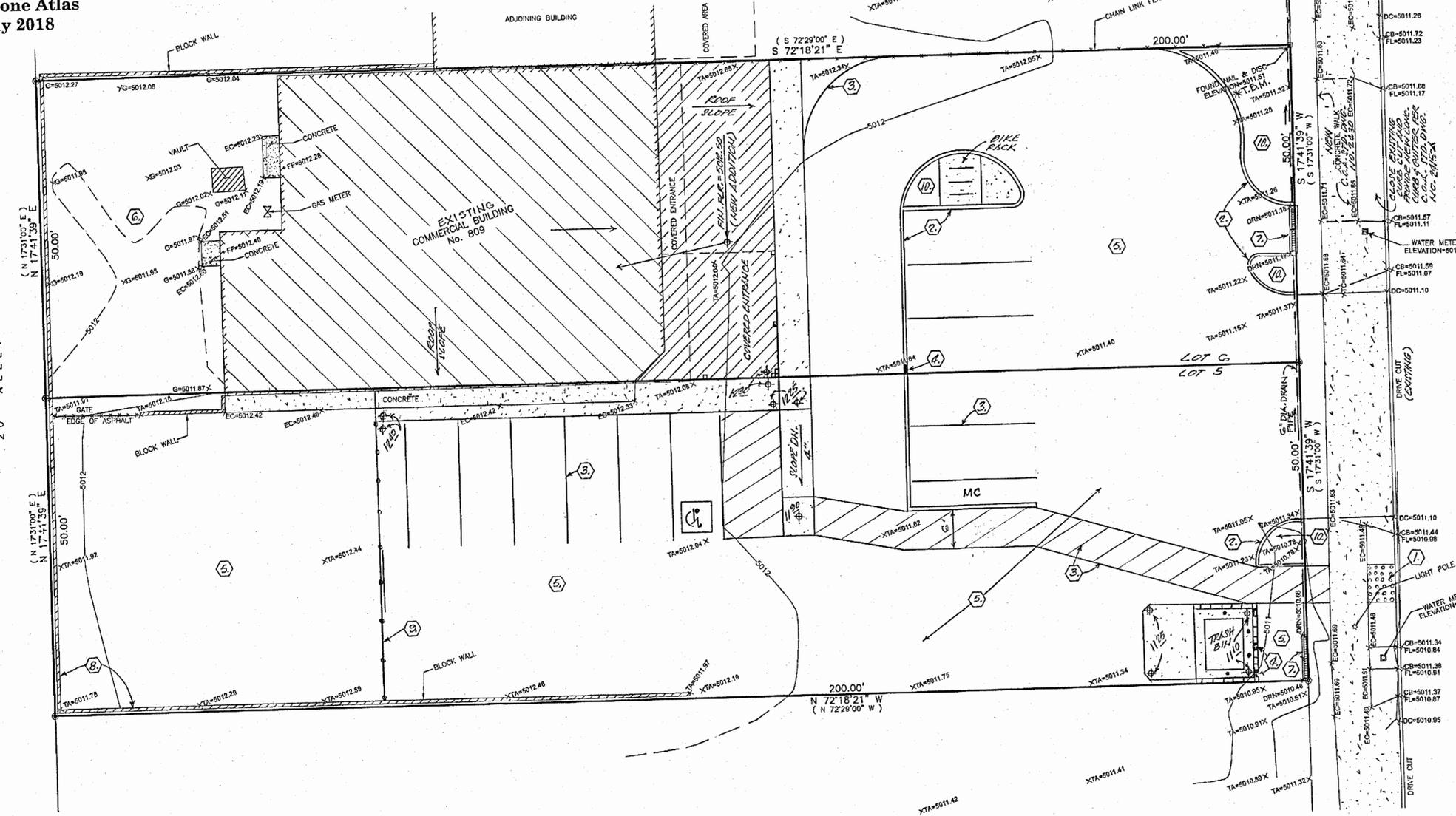
**EXISTING PEAK DISCHARGE:**  
 Q100 = (1.54)(0.00) + (2.16)(0.00) + (2.87)(0.04) + (4.12)(0.42) = 1.85 cfs

**PROPOSED EXCESS PRECIPITATION:**  
 Weighted "E" = (0.95)(0.00) + (0.73)(0.00) + (0.95)(0.05) + (2.24)(0.41) / 0.46 = 2.10 in.  
 V100-360 = (2.10)(0.46) / 12 = 0.08050 ac.-ft. = 3,506.6 cf

**PROPOSED PEAK DISCHARGE:**  
 Q100 = (1.54)(0.00) + (2.16)(0.00) + (2.87)(0.05) + (4.12)(0.41) = 1.69 CFS

**DECREASE:** Q = 0.16 CFS      V100-360 = 50.1 CU. FT.

City of Albuquerque  
 Planning Department  
 Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
 DATE: 02/24/21  
 BY: [Signature]  
 HydroTeam # L11D069



**GENERAL NOTES:**

- ON-SITE ASPHALT PAVING AND DIRT GRADES ARE TO REMAIN AS EXISTING.
- THE TWO (2) EXISTING 1' X 7' PRIVATE STORM DRAIN INLETS SHOWN ON THE PLAN HEREON ARE TO CONTINUE TO ACCEPT HISTORIC ON-SITE DEVELOPED FLOWS; STORM DRAIN INLETS BEGIN FLOWS AT THE SOUTHERLY INLET AND ARE INTERCONNECTED BY A 6" DRAIN PIPE THAT DIRECTS FLOWS NORTHERLY AND ACROSS THE NORTH ADJACENT PROPERTY.
- IT IS RECOMMENDED THAT THE EXISTING STORM DRAIN INLETS BE THOROUGHLY CLEANED OF SEDIMENT AND DEBRIS TO ALLOW FOR MAXIMUM EFFICIENCY.

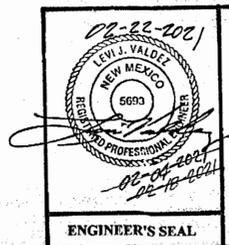
**LEGAL DESCRIPTION:** LOTS FIVE (5) AND SIX (6), IN BLOCK 'E', CARLOS REY SUBDIVISION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

**BENCH MARK:** ACS STATION NO. "NM 45-4A", ELEVATION = 5005.696, NAVD 1988; (T.B.M. AS SHOWN ON THE PLAN HEREON).

**NOTES:**

- BUILDING PAD COMPACTION TO BE PER SOILS ENGINEER TEST RESULTS AND RECOMMENDATIONS.
- CONTRACTOR TO PROVIDE ROOF GUTTERS AND DOWNSPOUTS WITH SPLASH BOXES.

**GRADING AND DRAINAGE PLAN**



**PLAYHOUSE LEARNING CENTER**  
 809 OLD COORS ROAD S.W.  
 ALBUQUERQUE, BERNALILLO COUNTY,  
 NEW MEXICO  
 JANUARY, 2021