

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

October 23, 2023

Ubaldo Munoz
Jeebs & Zuzu, LLC
5924 Anaheim Ave. NE
Albuquerque, NM 87113

Re: Event Hall
900 Old Coors Dr SW
Traffic Circulation Layout
Architect's Stamp 05-05-23 (L11-D070)

Dear Mr. Munoz,

The TCL submittal received 10-18-2023 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

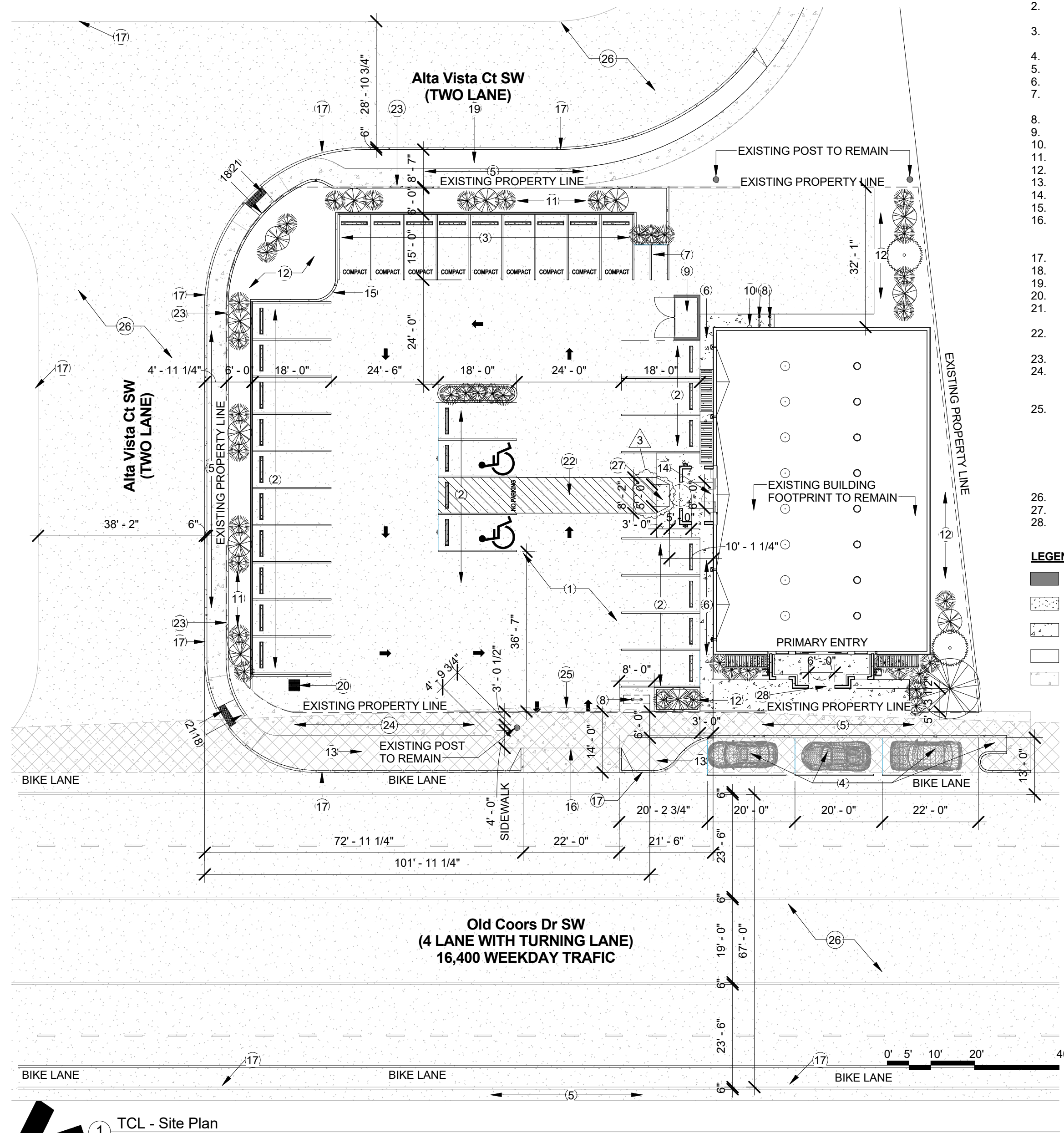
When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



1 TCL - Site Plan
1" = 20'-0"

- KEYED NOTES:**
1. RECOAT, SEAL, AND RESTRIPE EXISTING ASPHALT DRIVEWAY AND PARKING AREAS.
 2. NEW STANDARD PARKING THROUGHOUT SITE TO BE A MINIMUM OF 8.5'X18' AS PER TABLE 7.4.77 OF DPM
 3. NEW COMPACT PARKING THROUGHOUT SITE TO BE A MINIMUM OF 7.5' X 15'
 4. EXISTING PARKING AND CURB RAMP TO REMAIN.
 5. EXISTING SIDEWALK AND CURBING TO REMAIN.
 6. NEW 3' SIDEWALK
 7. NEW MOTORCYCLE PARKING TO BE A MINIMUM OF 4'X8' PER TABLE 7.4.77 OF DPM. SEE 2/TCL1.1 FOR DETAILS.
 8. NEW SURFACE MOUNTED BICYCLE RACKS.
 9. NEW CMU REFUSE ENCLOSURES
 10. EXISTING ELECTRICAL METER TO REMAIN.
 11. NEW 6" 0" LANDSCAPE BUFFER PER IDO.
 12. NEW XEROSCAPE AREA.
 13. EXISTING PUBLIC XEROSCAPE AREA TO REMAIN.
 14. NEW ENTRY TO EXISTING BUILDING.
 15. NEW CONCRETE 6" CURB. SEE 13/TCL1.1 FOR DETAILS.
 16. EXISTING CURB CUTS ONTO PROPERTIES TO BE MODIFY TO CODE AND EXTENDED TO 22'-0" WIDTH TO SERVE TWO-WAY TRAFFIC.
 17. EXISTING CURB TO REMAIN.
 18. EXISTING PUBLIC CURB RAMP TO REMAIN.
 19. EXISTING LANDSCAPE BUFFER TO REMAIN.
 20. EXISTING FRENCH DRAIN TO REMAIN.
 21. NEW TRUNCATED DOMES TO BE INSTALLED. SEE 7/TCL1.1 FOR DETAIL.
 22. NEW ADA CONCRETE PARKING PAD ONTO NEW ENTRY. SEE 6/TCL 1.1 FOR DETAILS.
 23. NEW 6" CMU SITE WALL @ 3'-0" HIGH ALONG ALTA VISTA CT SW.
 24. NEW SIDEWALK TO CLOSE EXISTING SITE ACCESS - SEE CITY STANDARD DRAWING 2430 ON TCL1.2 AND CURB AND GUTTER PER COA STANDARD DRAWING 2415.
 25. CLEAR SIGHT TRIANGLE ACCORDING TO TABLE 7.4.65 Minimum Intersection Sight Distance - DPM. SIGHT TRIANGLE PER DPM TABLE 7.5.60 - LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE W/ CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, & SHRUBBERY BETWEEN 3 & 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
 26. EXISTING RIGHT OF WAY TO REMAIN
 27. NEW CONCRETE ADA RAMP MAXIMUM SLOPE 1:12.
 28. 6' ADA PATHWAY FROM PUBLIC SIDEWALK INTO BUILDING ENTRANCE.

- LEGEND:**
- NEW CMU SITE WALL.
 - EXISTING ASPHALT.
 - NEW CONCRETE.
 - LANDSCAPE / XEROSCAPE.
 - EXISTING CONCRETE.

LANDSCAPE CALCULATIONS:

MINIMUM OF 15% OF THE NET LOT AREA OF EACH DEVELOPMENT SHALL CONTAIN LANDSCAPING PER IDO

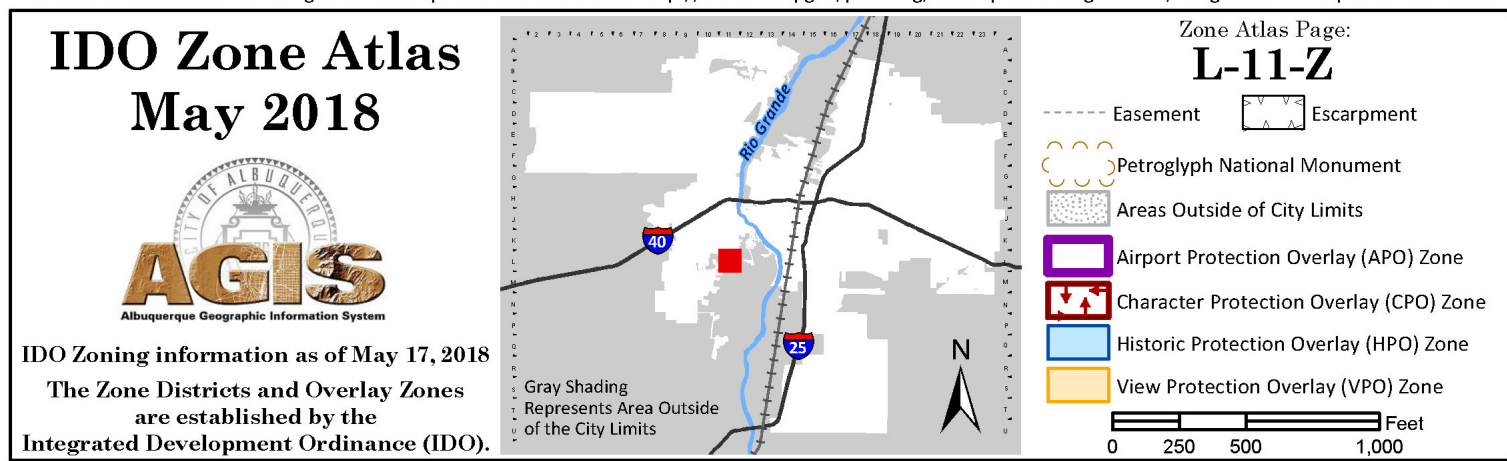
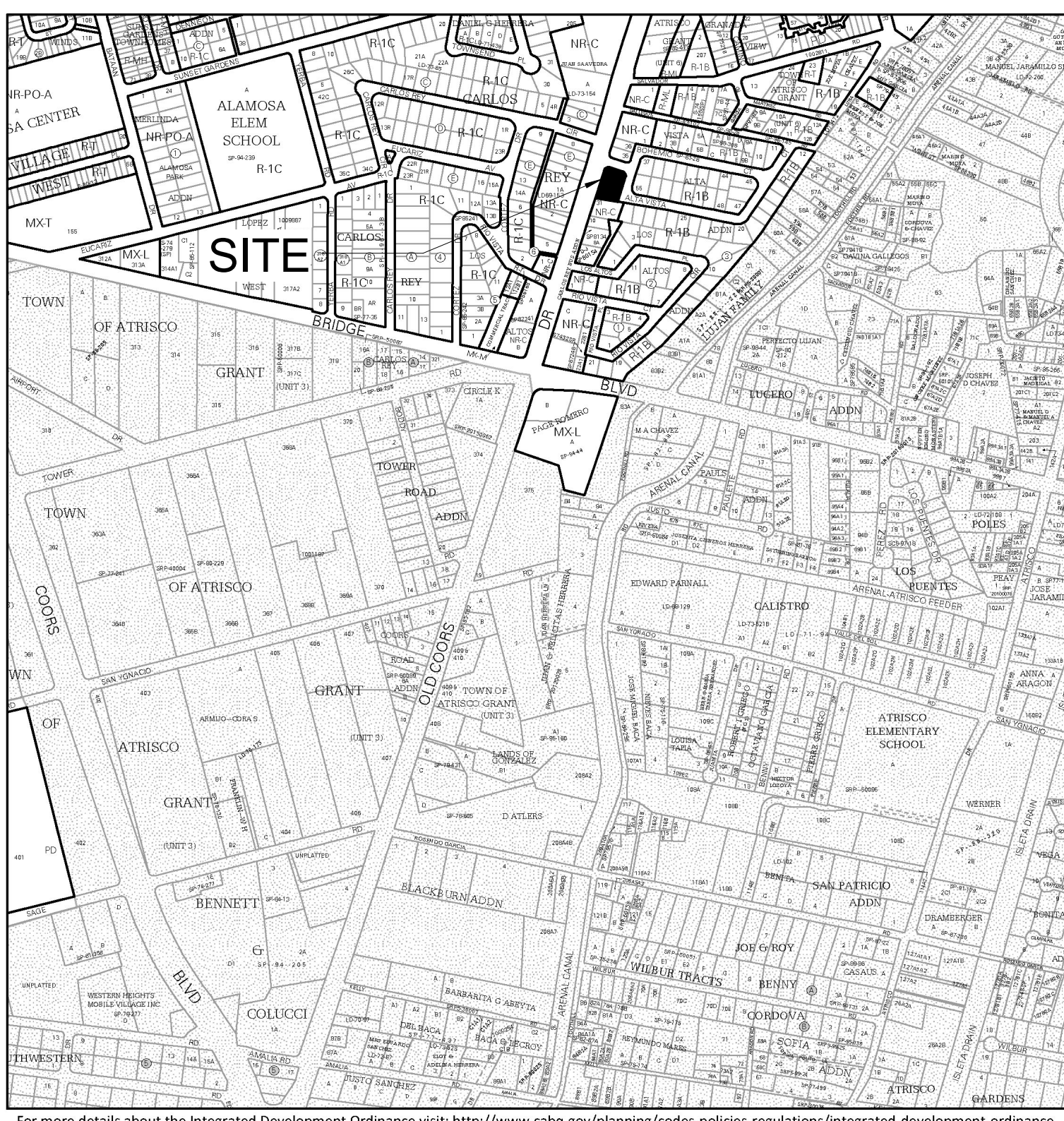
SITE AREA - BUILDING AREA: = 19,759 SF - 3,996 SF

NET AREA: = 15,763 SF

15% LANDSCAPE = 15,763 SF x .15

LANDSCAPE REQUIRED = 2,364 SF

LANDSCAPE PROVIDED = 2,505 SF



PROJECT INFORMATION:

LEGAL DESCRIPTION	LT 33A (REPL OF LTS 32, 33 & 34) VISTA-ALTA ADDN CONT 19,759 SQ FT ML 101105630745711034
UPC	0.4536
ACRES	NR-C
ZONING	MULTI PURPOSE
ACTUAL USE	A-2
MULTI PURPOSE CENTER	VB - NON SPRINKLED
CONSTRUCTION TYPE	

FLOOR AREAS	
EXISTING BUILDING AREA	3,726 SF
NEW COVERED PATIOS	270 SF
TOTAL AREA	3,996 SF

OCCUPANCY LOAD	
ASSEMBLY AREA	
UNCONCENTRATED (TABLES & CHAIRS) 15 NET:	
UNCONCENTRATED ASSEMBLY:	2,995 SF
CIRCULATION AREA:	1,137 SF
ANCILLARY AREA:	379 SF
2,995 SF - 1,137 SF - 379 SF =	1,858 SF / 15 NET = 124 PEOPLE

ACCESSORY STORAGE / MECH / EQUIP 300 GROSS:	
MECH / JANITOR : 57 SF / 300 GROSS =	1 PEOPLE

SHOPS / VOCATIONAL ROOM 50 NET:	
WARMING KITCHEN: 136 SF / 50 GROSS =	3 PEOPLE

TOTAL OCCUPANCY:	128 PEOPLE
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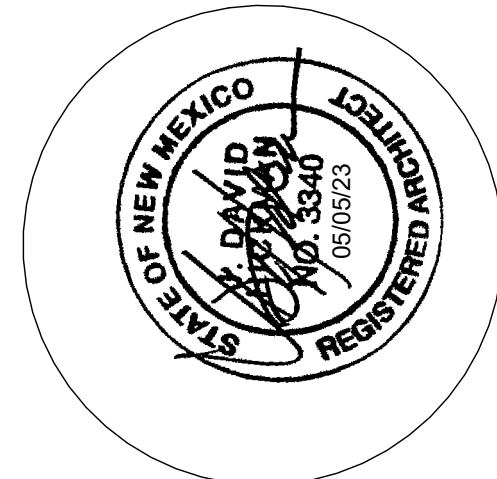
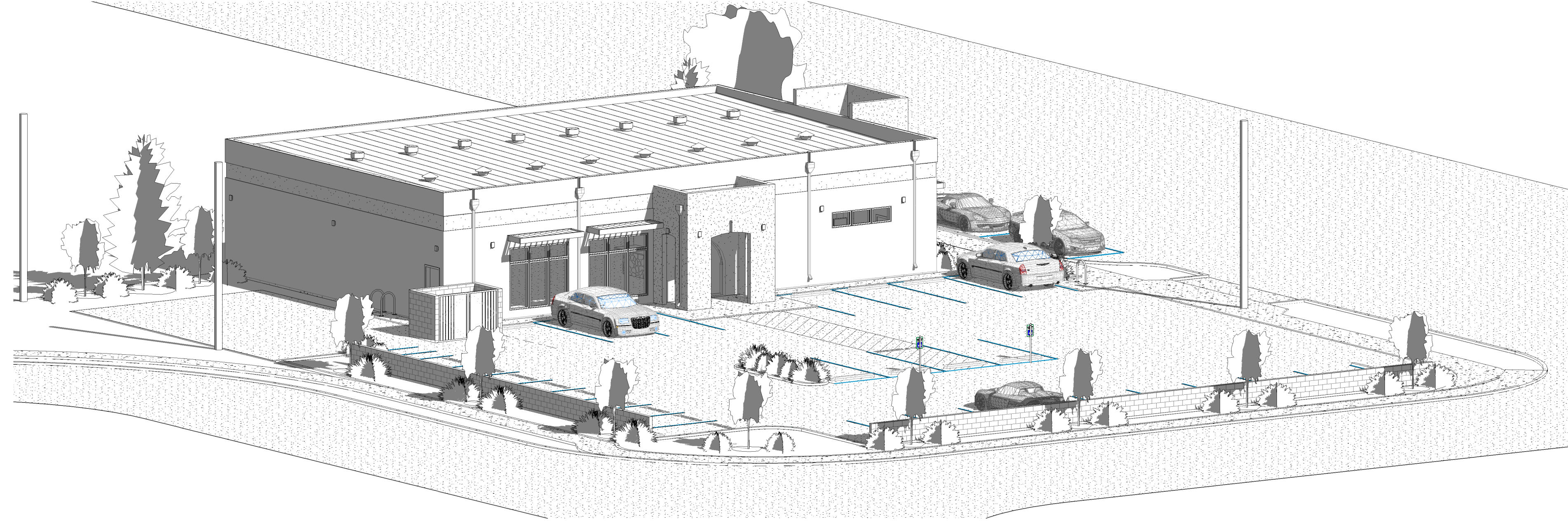
PARKING CALCS:

PARKING REQUIREMENTS ORDINANCE (IDO) SECTION 5-5	
UPDATED PARKING REQUIREMENTS PER IDO 1 SPACE / 4 SEATS IN MAIN ASSEMBLY TOTAL OCCUPANCY 128 PEOPLE / 4 =	32 PARKING SPACES PROVIDED

2 SPACES REQ. (PER IDO) PER 26-50 VEHICLE PARKING SPACES	2 MOTORCYCLE SPACES PROVIDED
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3 SPACES OR 10% OF REQUIRED OFF STREET PARKING	3 BICYCLE SPACES PROVIDED
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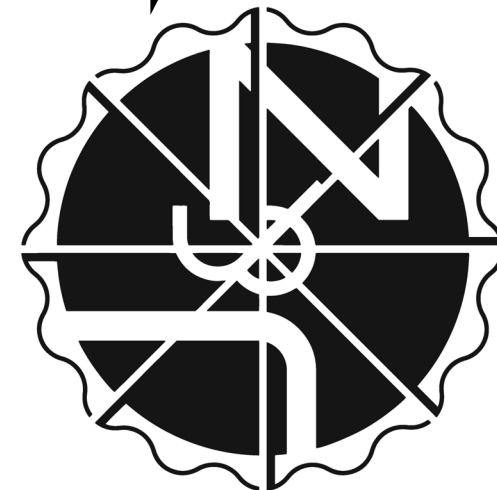
- GENERAL NOTES:**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH IBC 2015, UMC 2015, UPC 2015, NEC 2017, ANSI A117.1-2009 AND IN ACCORDANCE WITH LOCAL PERMIT REQUIREMENTS. SUBCONTRACTORS SHALL VERIFY LOCAL REQUIREMENTS.
 2. ALL UTILITIES (PRIVATE AND PUBLIC) AND ACCESS CONNECTIONS SHALL BE COORDINATED, FEES PAID AND CONSTRUCTION INSTALLED AS REQUIRED BY GOVERNING AGENCIES OR COMPANY. EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SPECIFIC PERMIT, APPROVALS AND PAYING ALL FEES AND TAXES.
 3. ALL BROKEN AND CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER AND PER CITY STANDARD DWG 2430 AND 2415A.
 4. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN THE WORK ORDER.
 5. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.



JEEBS & ZUZU, LLC.

**Architecture
Construction
Design-Build**

5924 ANAHEIM AVENUE NE SUITE A
ALBUQUERQUE, NM 87113
P. 505-797-1318



job no: Project Number

drawn: O.O

checked: J&Z

date: May 05, 2023

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|---|---------------|
| 1 | Sept. 7, 2023 |
| 2 | Oct. 21, 2023 |
| 3 | Oct. 23, 2023 |

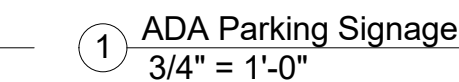
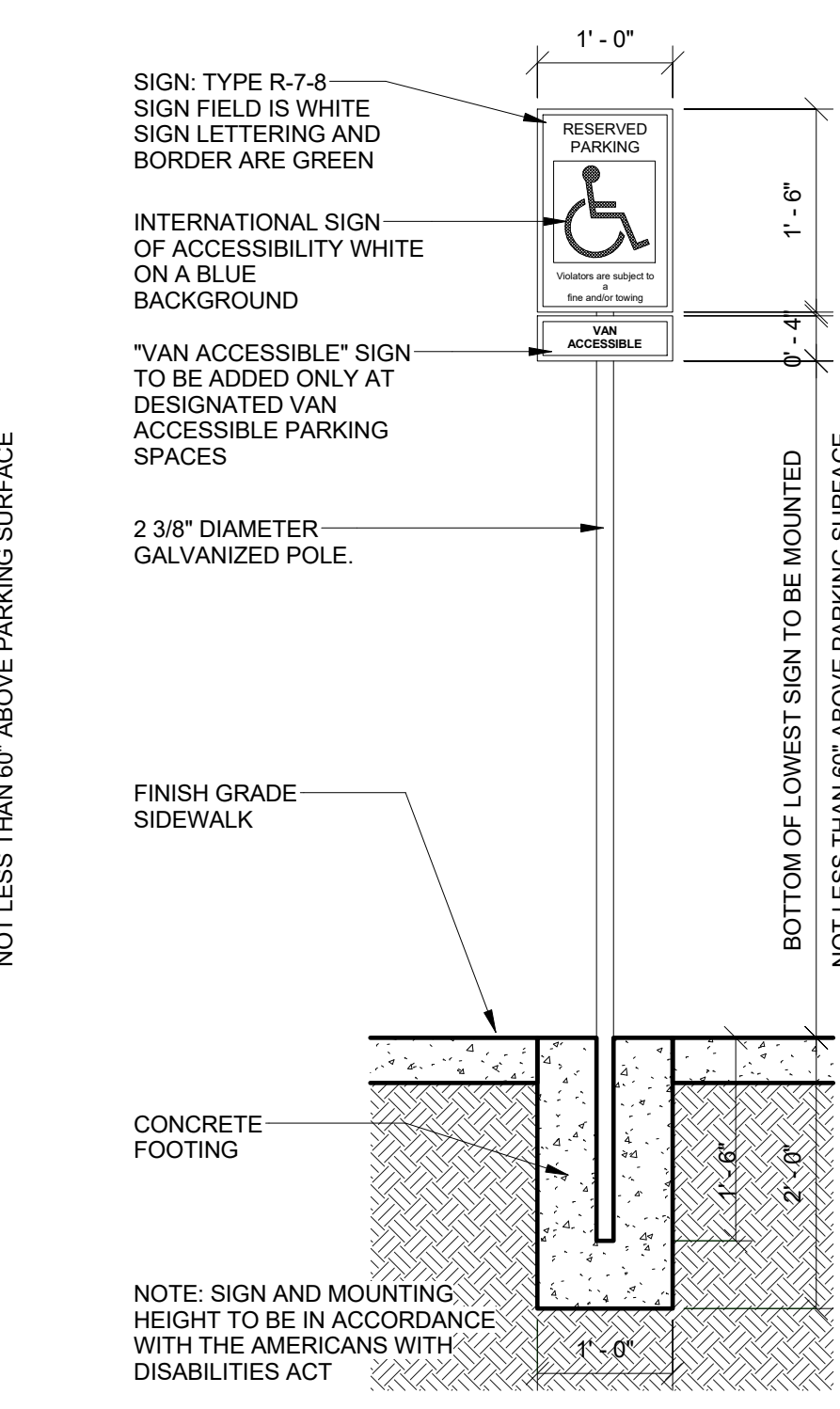
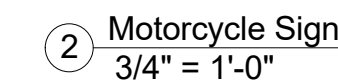
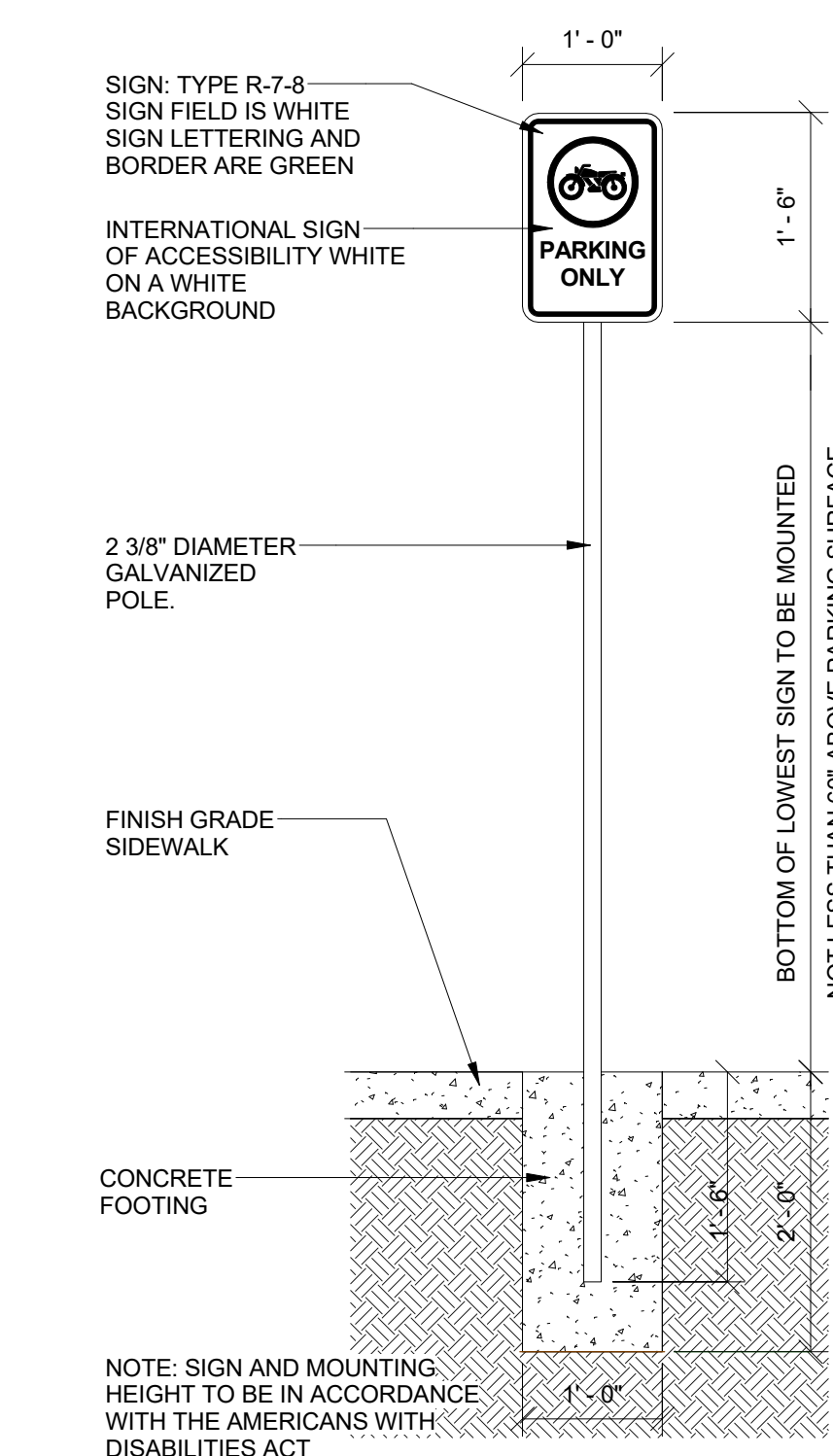
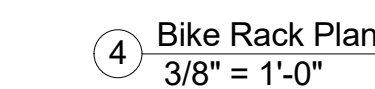
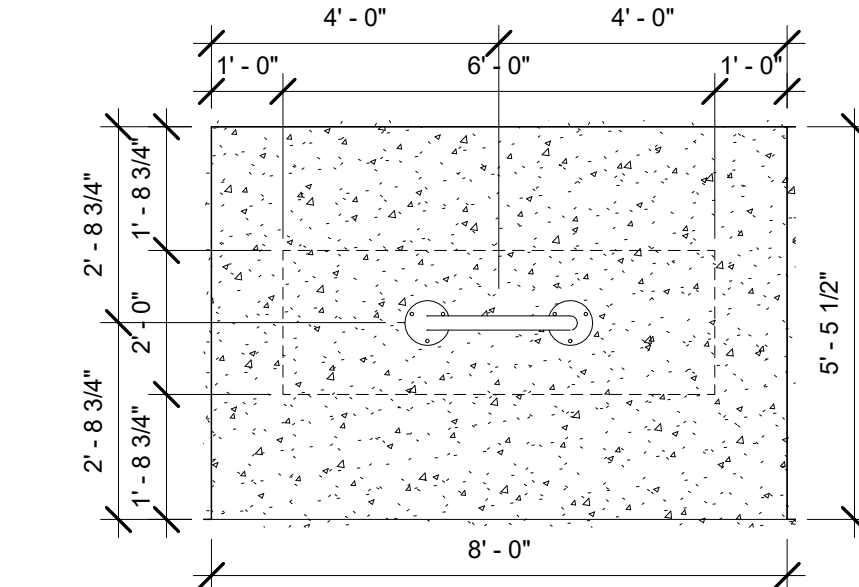
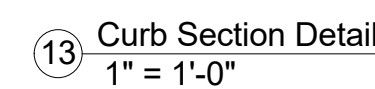
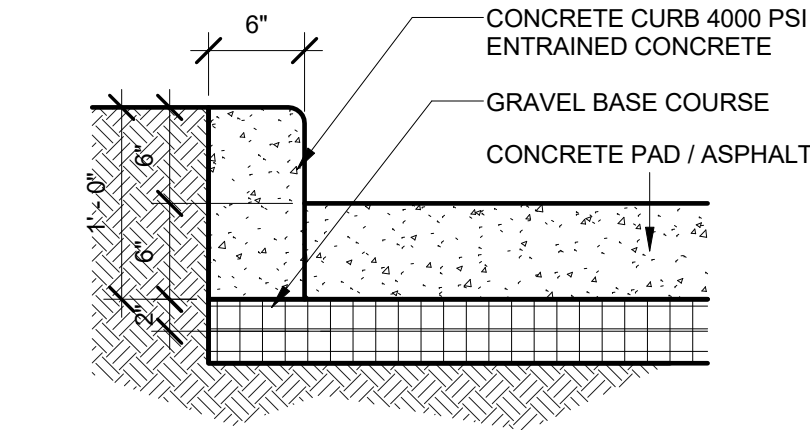
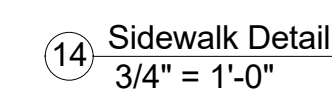
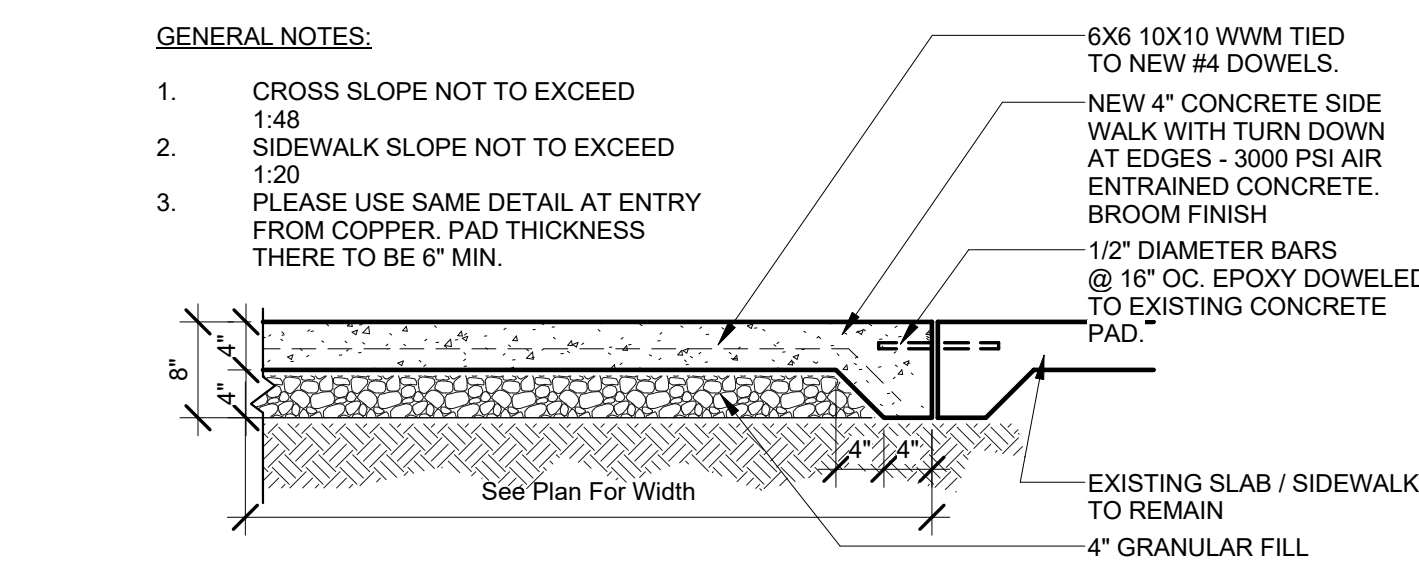
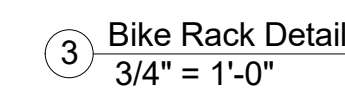
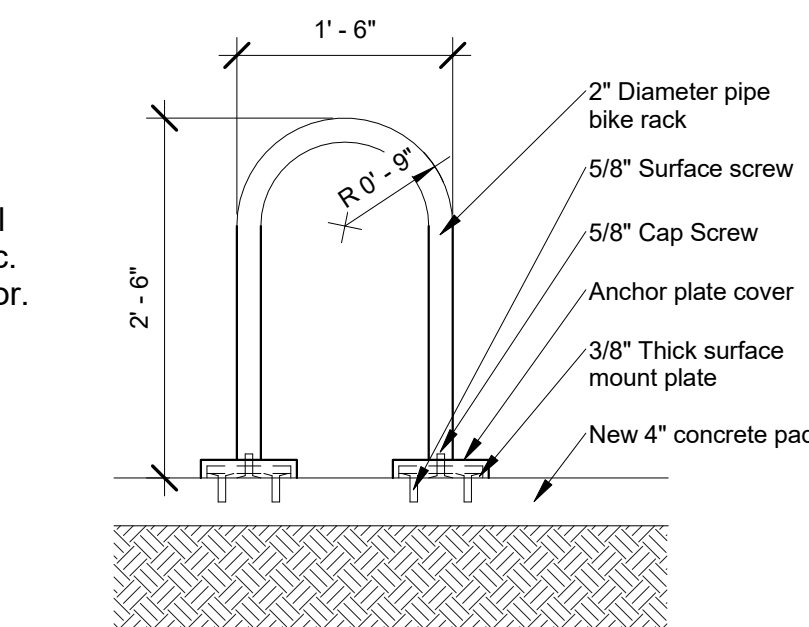
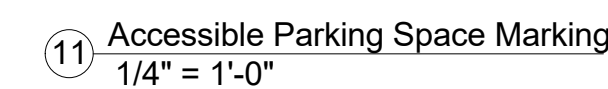
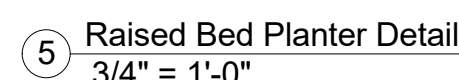
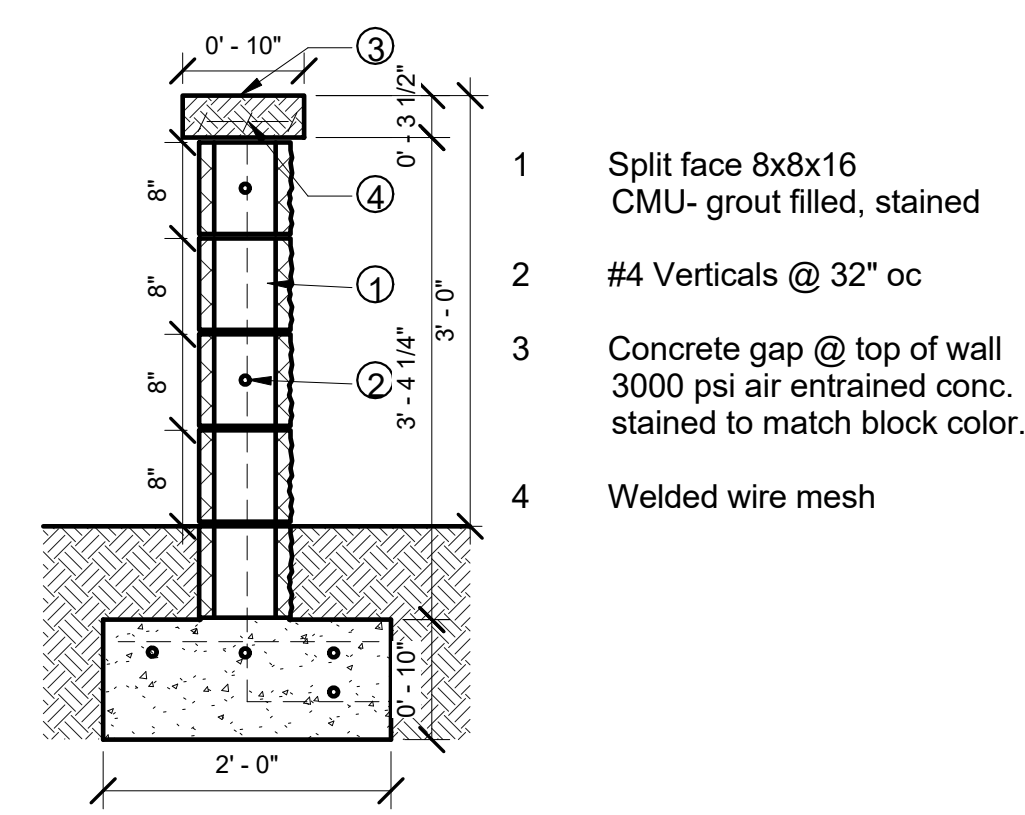
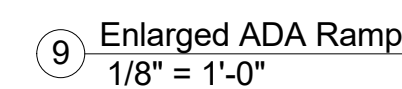
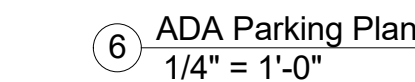
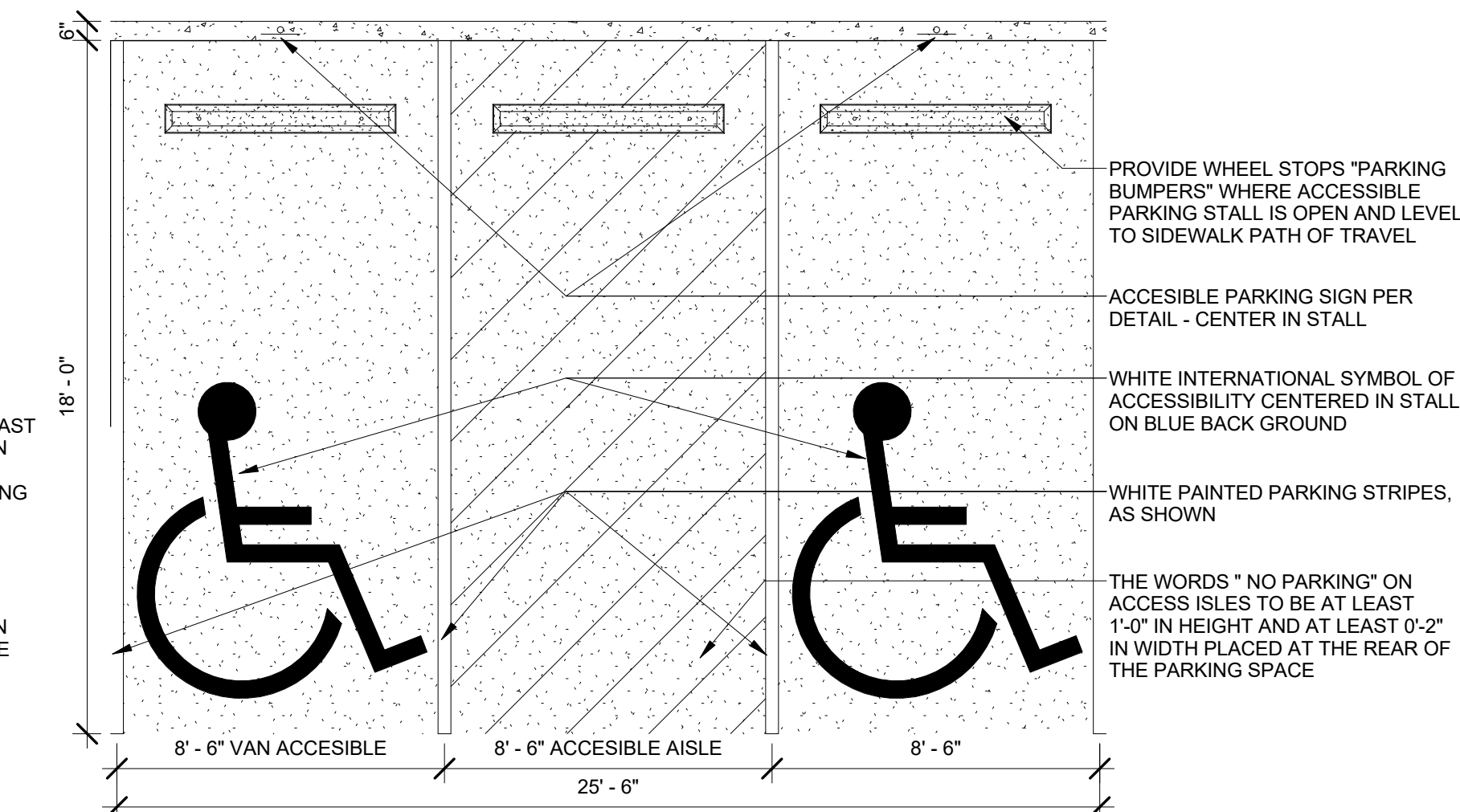
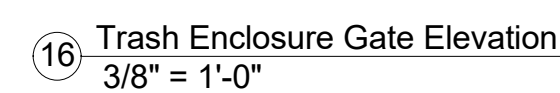
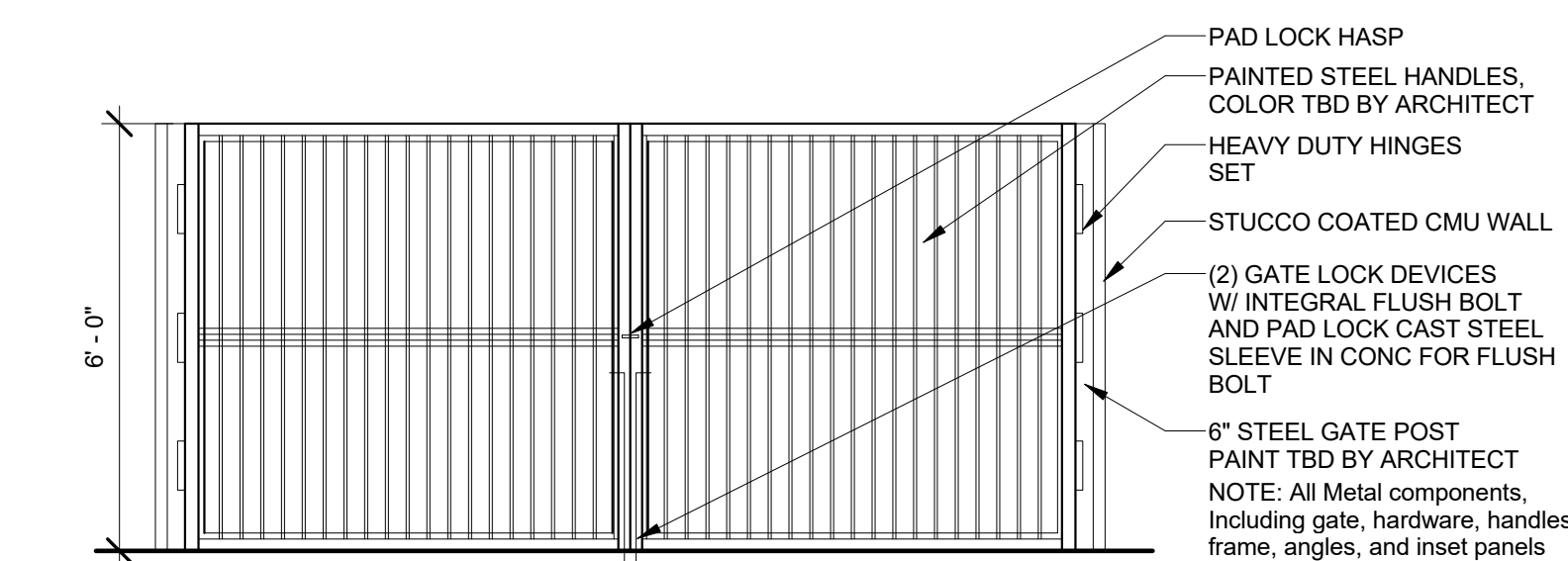
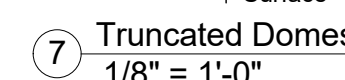
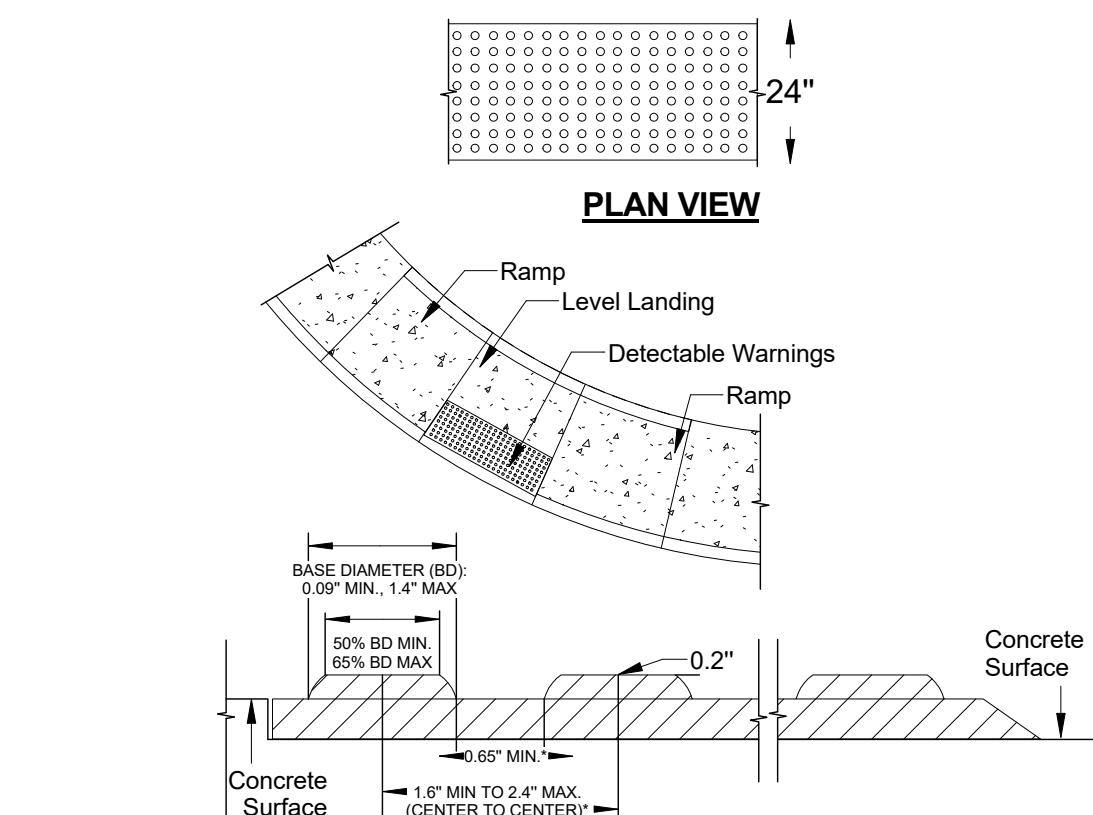
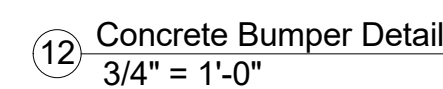
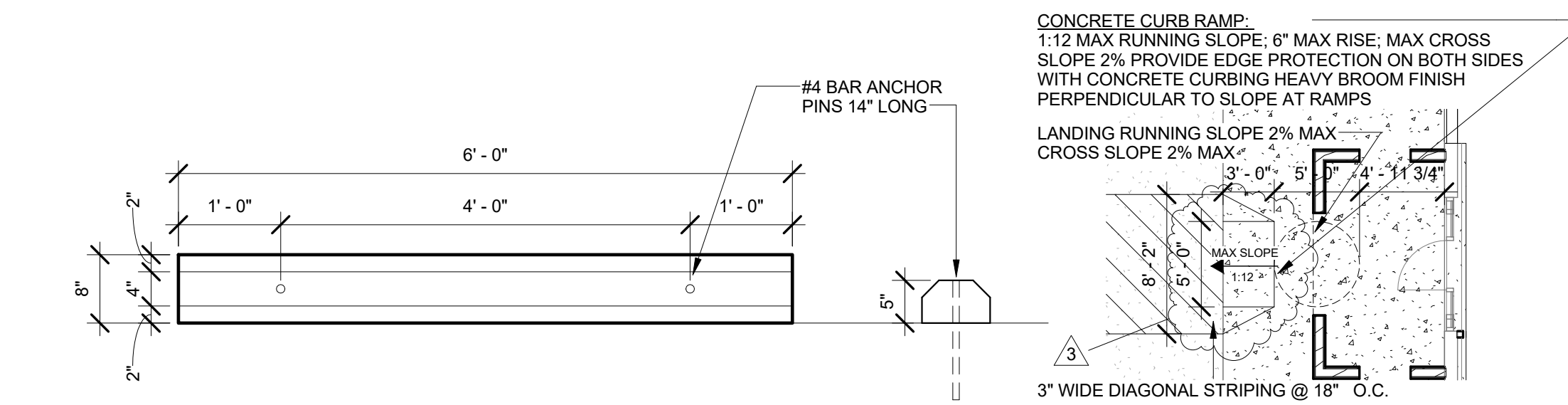
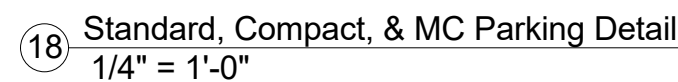
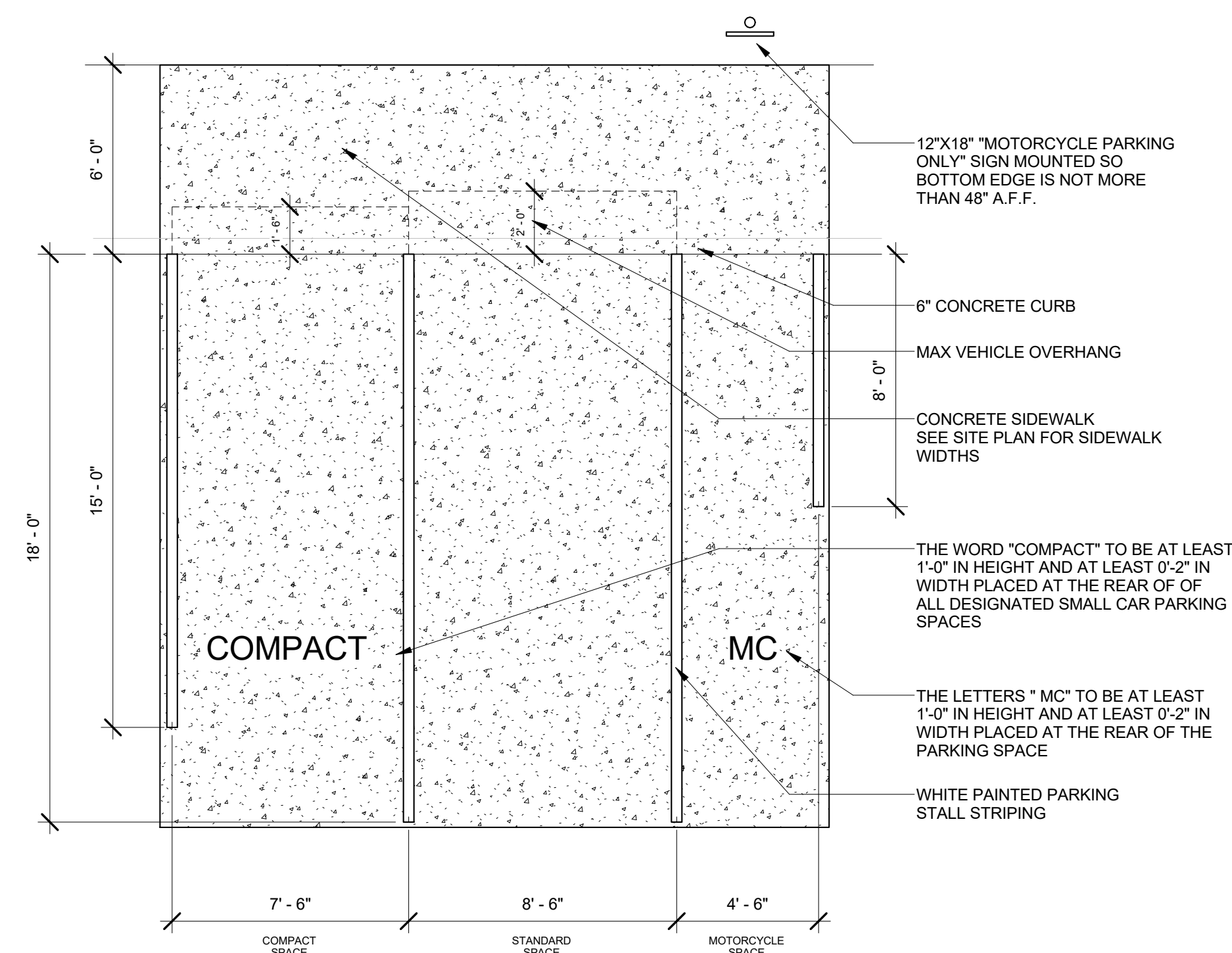
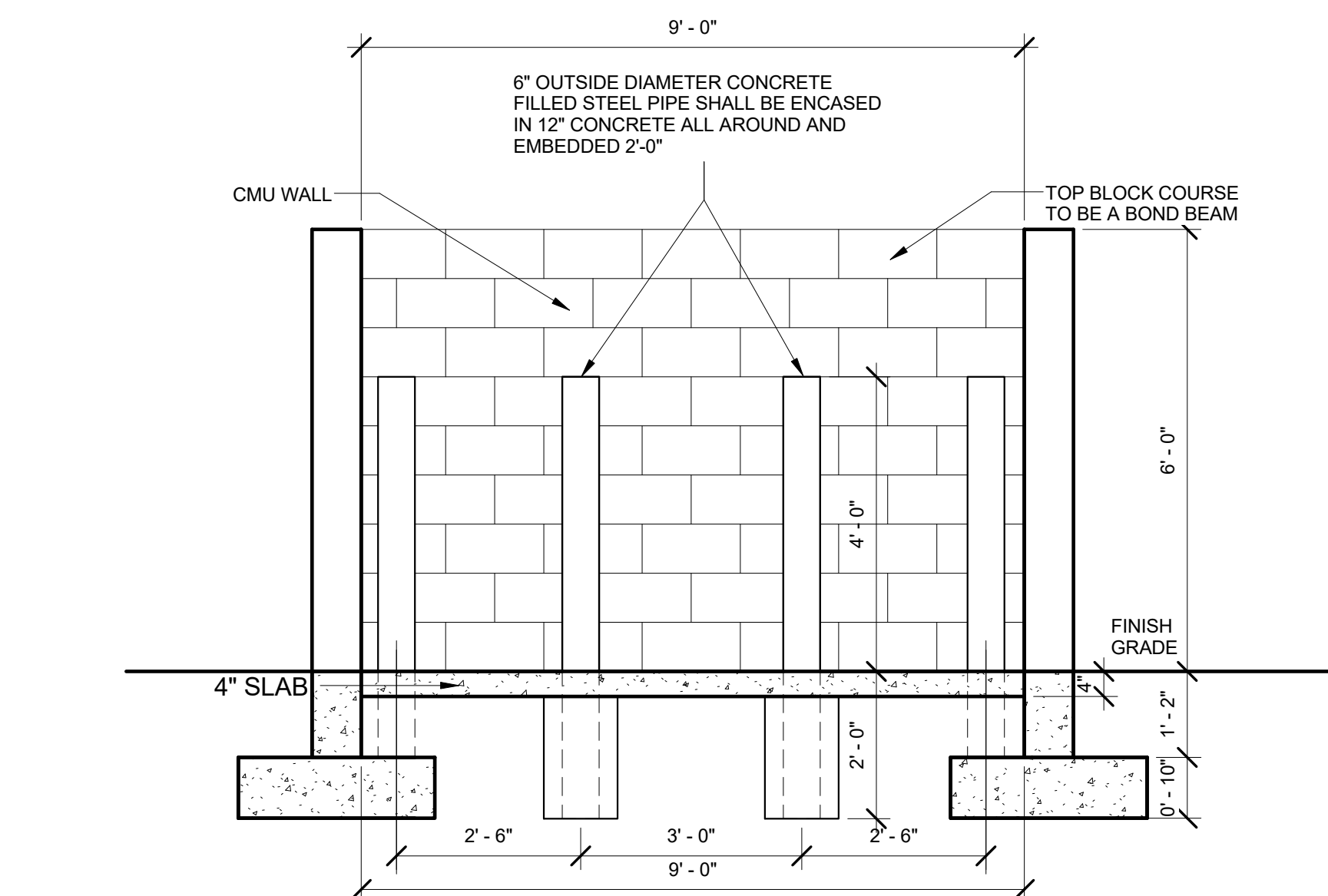
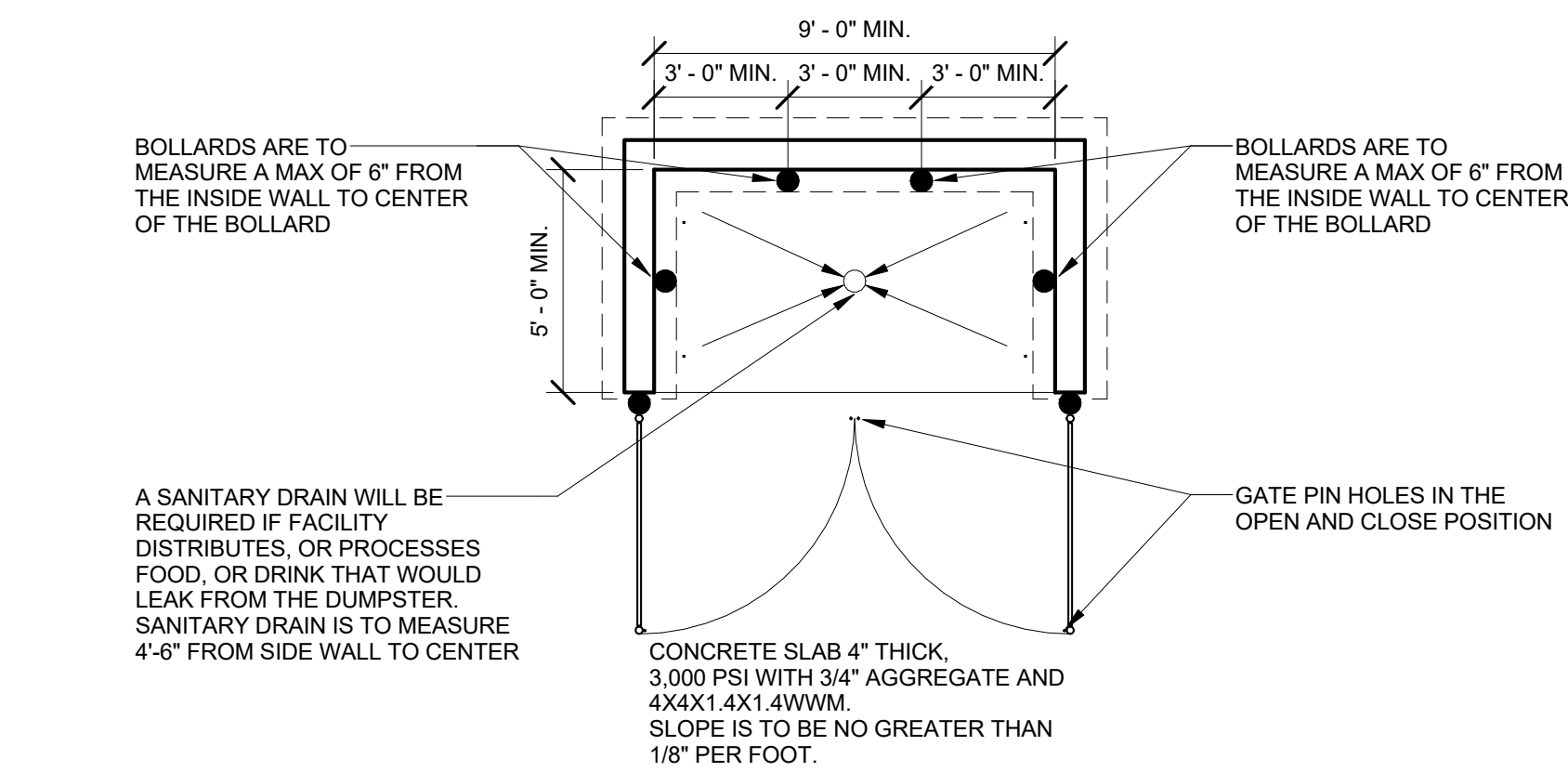
900 OLD COORS DR SW, ALBUQUERQUE, NM 87121

sheet no:
TCL1.0

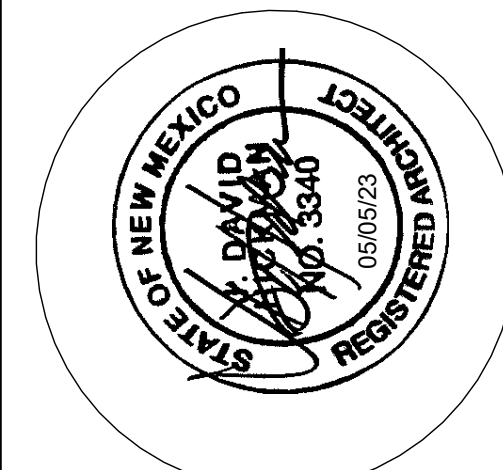
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EVENT HALL

TRAFFIC CIRCULATION LAYOUT



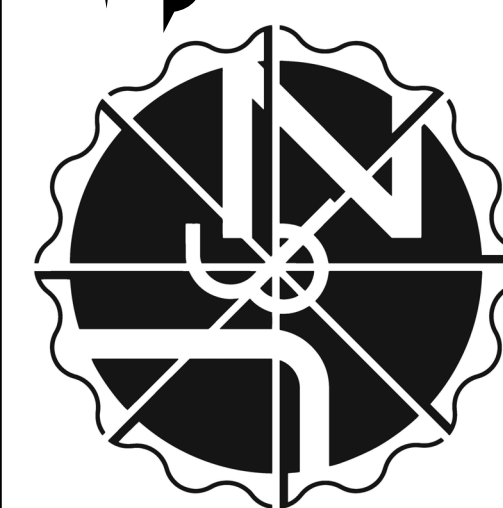
easy as pie



JEEBS & ZUZU, LLC.

***Architecture
Construction
Design-Build***

5924 ANAHEIM AVENUE NE SUITE A
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P: 505-797-1318



job no: Project Number

drawn: 0.0

checked: J&Z

date: May 05, 2023

2 Oct. 21, 2023

3 Oct. 23, 2023

900 OLD COORS DR SW, ALBUQUERQUE, NM 87121

SITE DETAILS

EVENT HALL

sheet no:

TCL1.1

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