

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

June 8, 2023

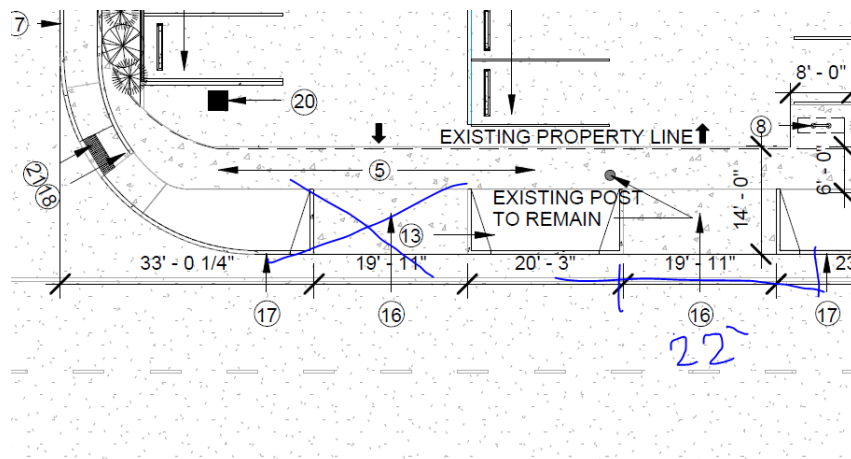
Oswaldo Olvera
Jeebs & Zuzu LLC
5924 Anaheim Ave. NE
Albuquerque, NM 87113

Re: Event Hall
900 Old Coors Dr. SW
Traffic Circulation Layout
Architect's Stamp 05-05-23 (L11-D070)

Dear Mr. Olvera,

Based upon the information provided in your submittal received 05-23-23, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. List the number of Bicycle parking spaces required by the IDO.
2. Identify all existing access easements and rights of way width dimensions.
3. Identify the right of way width, medians, curb cuts, and street widths on Old Coors Dr. and Alta Vista Ct.
4. The minimum distance from the site access to the intersection is 100 ft. so, the north side site access must be closed and replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing 2430.



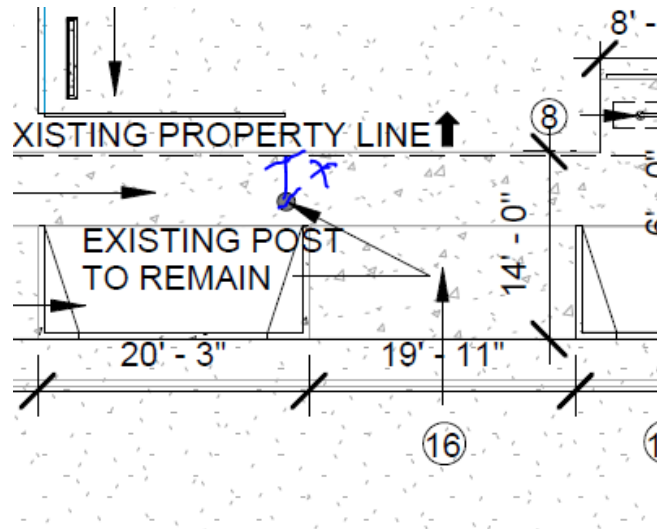
5. South side site access must be a minimum 22 ft. wide to serve two-way traffic.
6. A minimum 4-foot wide pedestrian path should be shown around the pole; show this dimension on the site plan to ensure that a minimum 4-foot wide path is obtained.

CITY OF ALBUQUERQUE

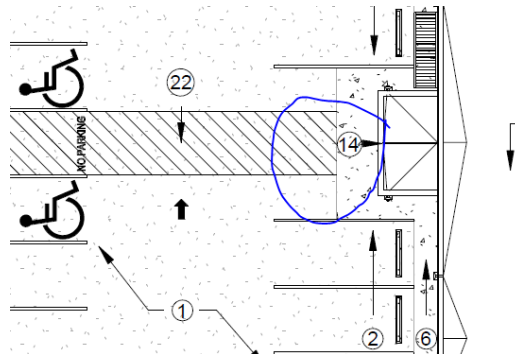
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7. Please clarify, is this ADA pathway flush or an ADA ramp will be provided?



8. Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
9. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way.; provide a copy of refuse approval.
10. Provide a copy of Fire Marshall approval.
11. Show the clear sight triangle and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
12. Please specify the City Standard Drawing Number when applicable.
13. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
14. Please provide a letter of response for all comments given.

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- 15. Traffic Studies:** See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (**Contact Matt Grush: mgrush@cabq.gov**).

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675

PO Box 1293

Sincerely,

Albuquerque

Marwa Al-najjar

NM 87103

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

www.cabq.gov

\ma via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: EVENT HALL Building Permit # _____ Hydrology File # _____

DRB# _____ EPC# _____

Legal Description: LT 33A (REPL OF LOTS 32, 33, & 34 VISTA-ALTA ADDN CONT 19,759 SQ FT M/L SW. ABQ NM 87121 City Address OR Parcel 900 OLD COORS DR

Applicant/Agent: JEERBS & ZUZU LLC Contact: UBALDO MUNOZ

Address: 5924 KNAHEIM AVE. NE ABQ NM Phone: 505.797.1318

Email: 87113 ubaldo@jeerbsandzuzu.com

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

TYPE OF DEVELOPMENT: ☐ PLAT (#of lots) ☐ RESIDENCE ☐ DRB SITE ☐ ADMIN SITE: _____

RE-SUBMITTAL: ☐ YES ☒ NO

DEPARTMENT: ☒ TRANSPORTATION ☐ HYDROLOGY/DRAINAGE

Check all that apply:

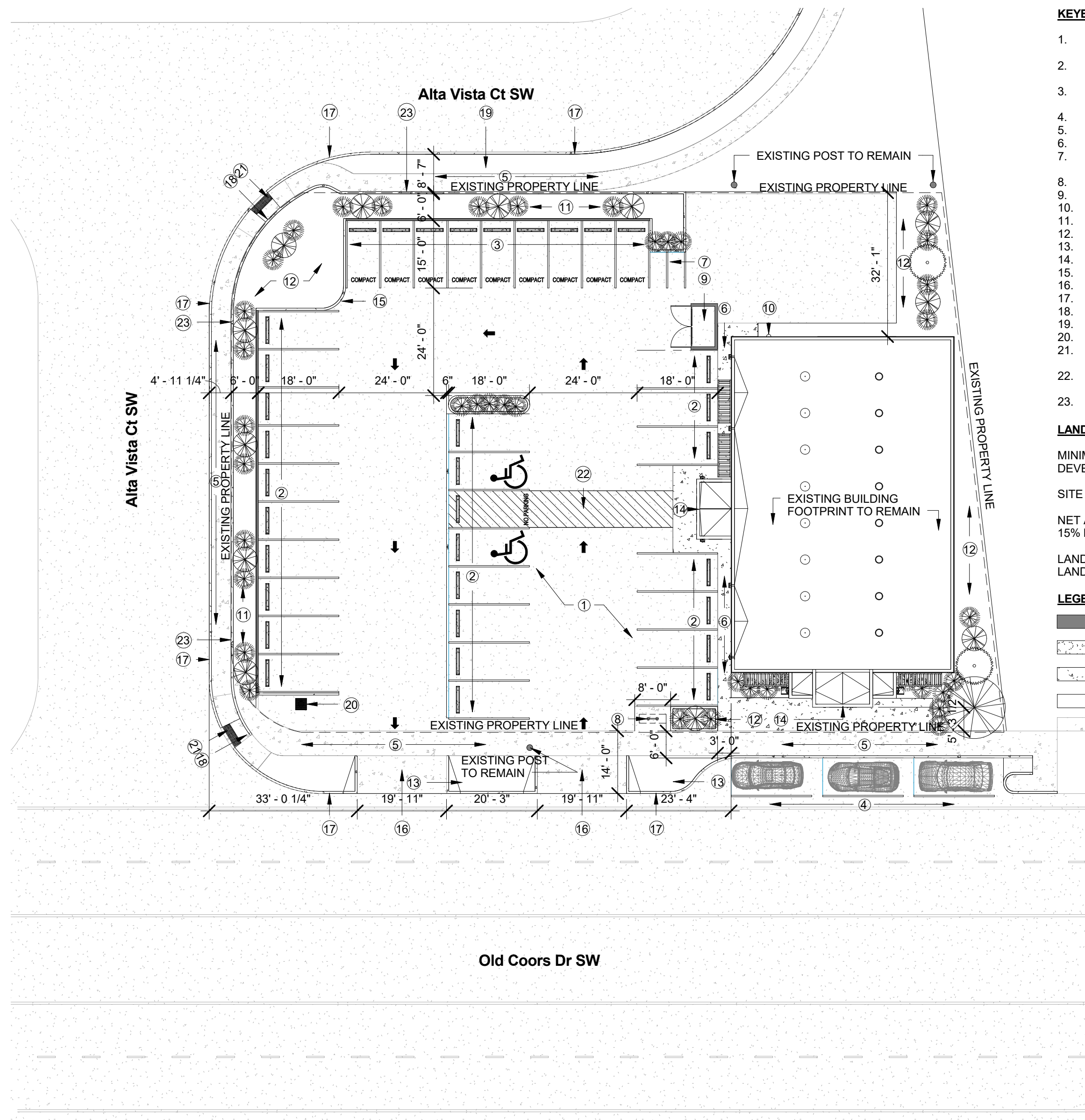
TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOOD PLAN DEVELOPMENT PERMIT APP.
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ADMINISTRATIVE
- ☐ TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

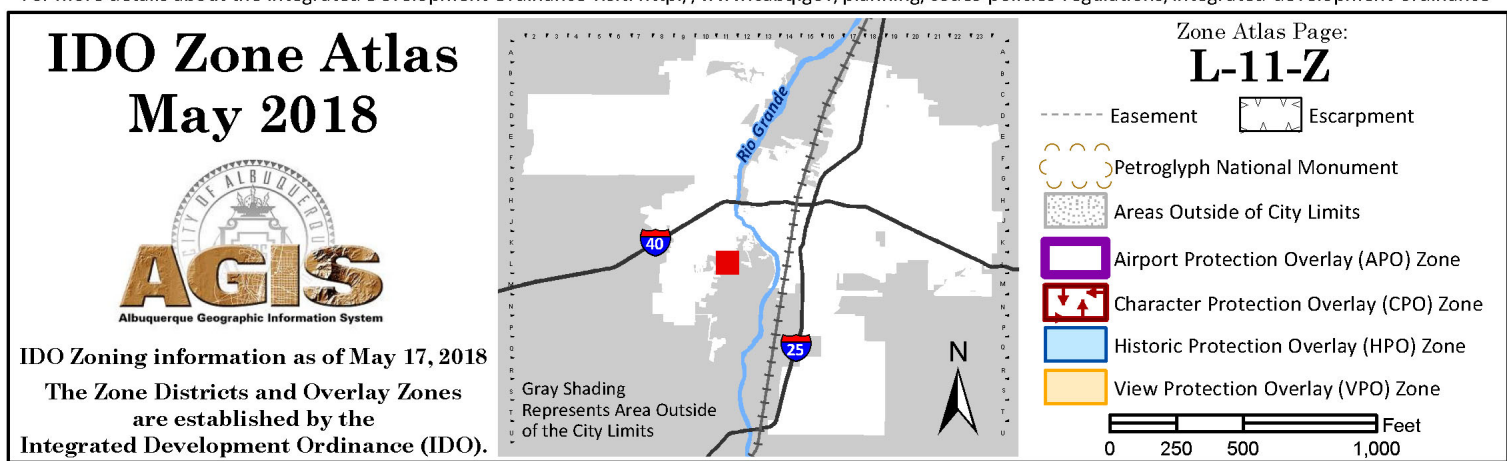
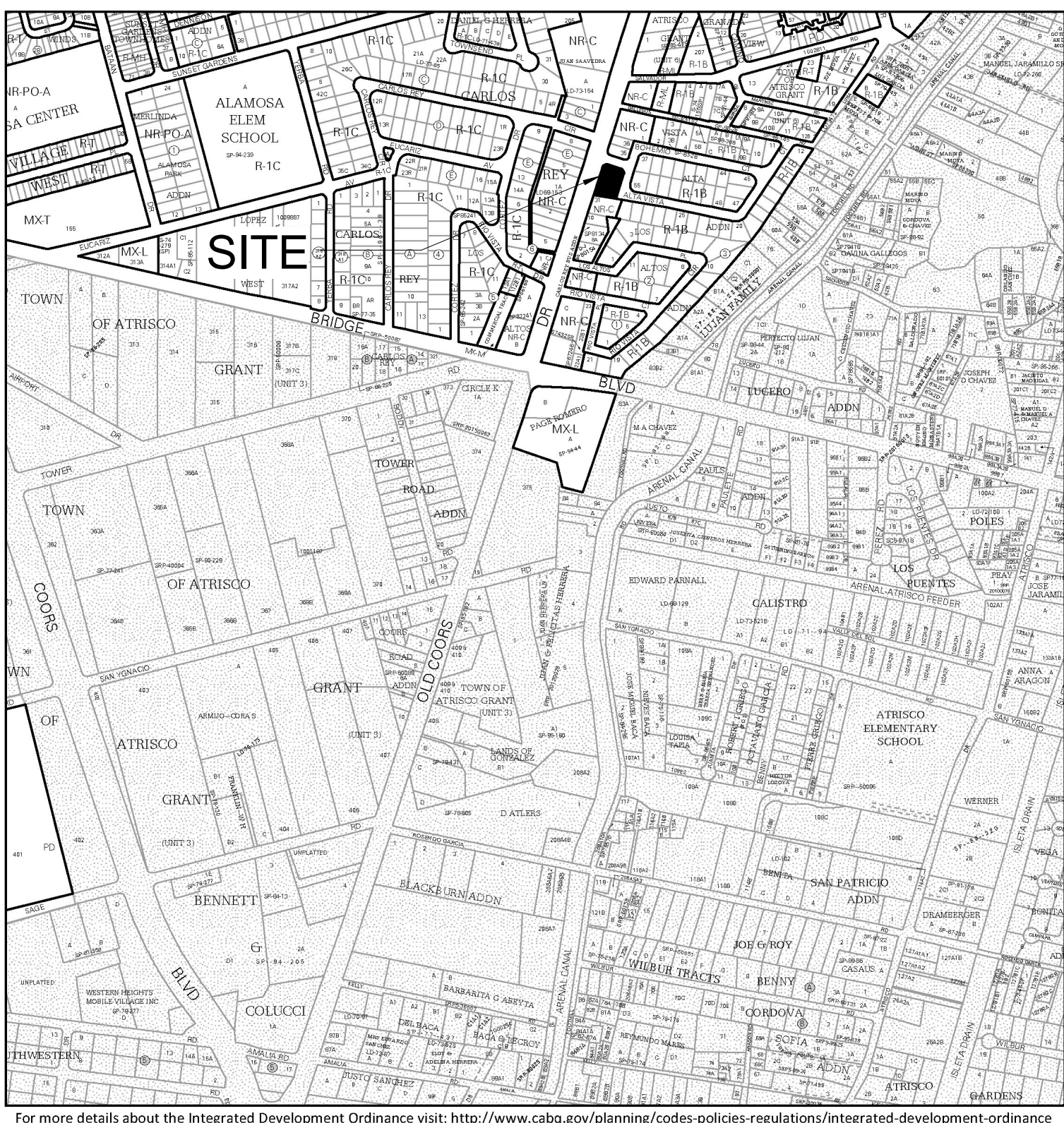
TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ CONCEPTUAL TCL DRB APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOOD PLAN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: MAY 22, 2023



- KEYED NOTES:**
1. RECOAT, SEAL, AND RESTRIPE EXISTING ASPHALT DRIVEWAY AND PARKING AREAS.
 2. NEW STANDARD PARKING THROUGHOUT SITE TO BE A MINIMUM OF 8.5'X18' AS PER TABLE 7.4.77 OF DPM
 3. NEW COMPACT PARKING THROUGHOUT SITE TO BE A MINIMUM OF 7.5' X 15'
 4. EXISTING PARKING AND CURB RAMP TO REMAIN.
 5. EXISTING SIDEWALK AND CURBING TO REMAIN.
 6. NEW 3' SIDEWALK.
 7. NEW MOTORCYCLE PARKING TO BE A MINIMUM OF 4'X8' PER TABLE 7.4.77 OF DPM. SEE 2/TCL1.1 FOR DETAILS.
 8. NEW SURFACE MOUNTED BICYCLE RACKS.
 9. NEW CMU REFUSE ENCLOSURES.
 10. EXISTING ELECTRICAL METER TO REMAIN.
 11. NEW 6" 0" LANDSCAPE BUFFER PER IDO.
 12. NEW XEROSCAPE AREA.
 13. EXISTING PUBLIC XEROSCAPE AREA TO REMAIN.
 14. NEW ENTRY TO EXISTING BUILDING.
 15. NEW CONCRETE 6" CURB. SEE 13/TCL1.1 FOR DETAILS.
 16. EXISTING CURB CUTS ONTO ADJACENT PROPERTIES.
 17. EXISTING CURB TO REMAIN.
 18. EXISTING PUBLIC CURB RAMP TO REMAIN.
 19. EXISTING LANDSCAPE BUFFER TO REMAIN.
 20. EXISTING FRENCH DRAIN TO REMAIN.
 21. NEW TRUNCATED DOMES TO BE INSTALLED. SEE 7/TCL1.1 FOR DETAIL.
 22. NEW ADA CONCRETE PARKING PAD ONTO NEW ENTRY. SEE 6/TCL 1.1 FOR DETAILS.
 23. NEW 6" CMU SITE WALL @ 3'-0" HIGH ALONG ALTA VISTA CT SW.
- LANDSCAPE CALCULATIONS:**
- MINIMUM OF 15% OF THE NET LOT AREA OF EACH DEVELOPMENT SHALL CONTAIN LANDSCAPING PER IDO
- SITE AREA - BUILDING AREA: = 19,759 SF - 3,999 SF
- NET AREA: = 15,760 SF
15% LANDSCAPE = 15,760 SF x .15
- LANDSCAPE REQUIRED = 2,364 SF
LANDSCAPE PROVIDED = **2,505 SF**
- LEGEND:**
- NEW CMU SITE WALL.
 - EXISTING ASPHALT.
 - NEW CONCRETE.
 - LANDSCAPE / XEROSCAPE.
 - EXISTING CONCRETE.



PROJECT INFORMATION:

LEGAL DESCRIPTION	LT 33A (REPL OF LTS 32, 33 & 34) VISTA-ALTA ADDN CONT 19,759 SQ FT ML 101105630745711034
UPC	0.4536
ACRES	NR-C
ZONING	MULTI PURPOSE CENTER
ACTUAL USE	A-2
MULTI PURPOSE CENTER	VB - NON SPRINKLED
CONSTRUCTION TYPE	

FLOOR AREAS:

COMMUNITY CENTER	2,100 SF
COMPLEMENTARY AREAS	1,375 SF
TOTAL AREA	3,475 SF

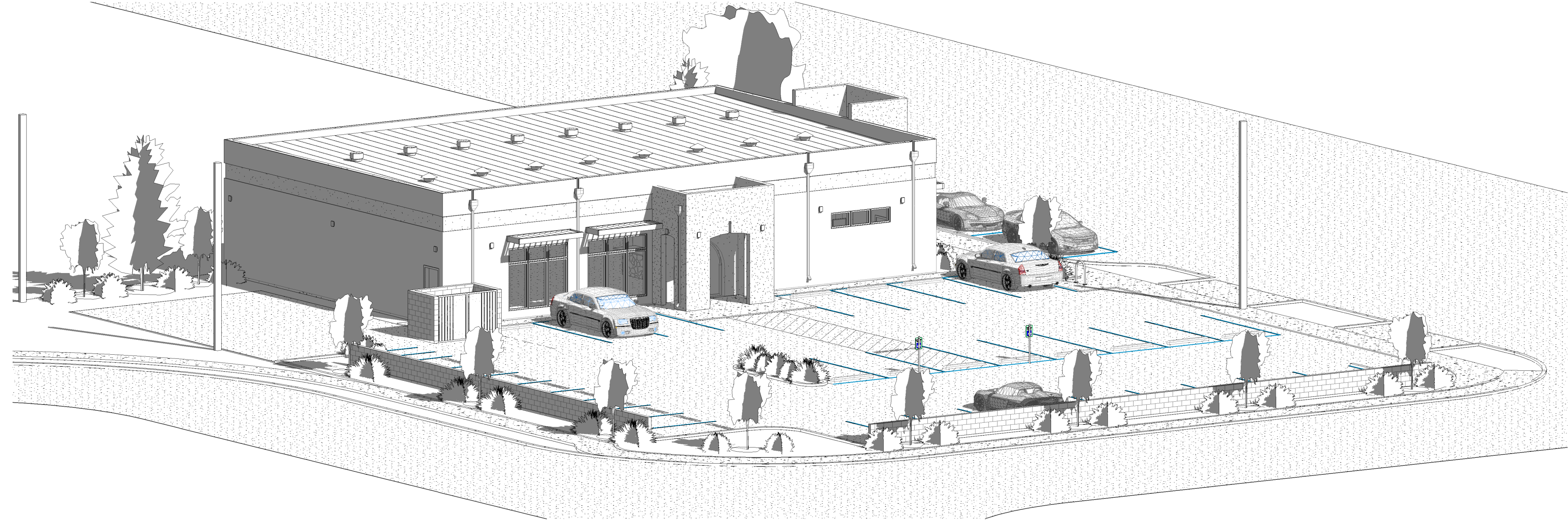
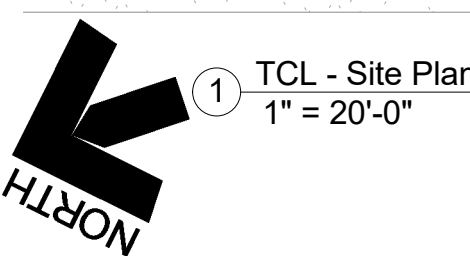
OCCUPANCY LOAD:

ASSEMBLY AREA:	
UNCONCENTRATED (TABLES & CHAIRS) 15 NET:	140 PEOPLE
UNCONCENTRATED ASSEMBLY: 2,100 SF / 15 NET=	
ACCESSORY STORAGE / MECH / EQUIP 300 GROSS:	
MECH / JANITOR: 43 SF / 300 GROSS =	1 PEOPLE
SHOPS / VOCATIONAL ROOM 50 NET:	
WARMING KITCHEN: 106 SF / 50 GROSS =	3 PEOPLE
TOTAL OCCUPANCY: 144 PEOPLE	

PARKING CALCS:

PARKING REQUIREMENTS	
ORDINANCE (IDO) SECTION 5-5	
UPDATED PARKING REQUIREMENTS PER IDO	
1 SPACE / 4 SEATS IN MAIN ASSEMBLY	
TOTAL OCCUPANCY 144 PEOPLE / 4 =	36 PARKING SPACES PROVIDED
2 SPACES REQ. (PER IDO) PER	
26-50 VEHICLE PARKING SPACES	2 MOTORCYCLE SPACES PROVIDED

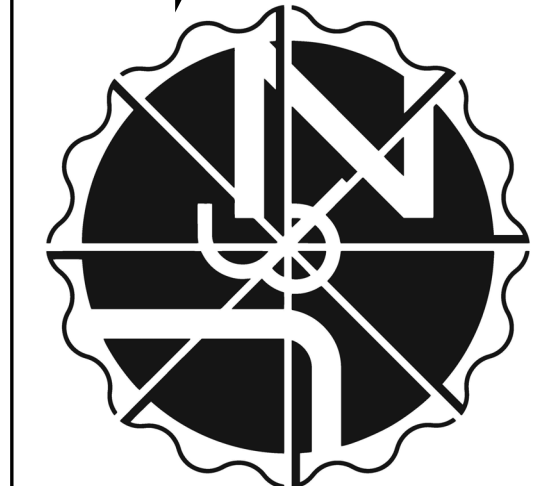
- GENERAL NOTES:**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH IBC 2015, UMC 2015, UPC 2015, NEC 2017, ANSI A117.1-2009 AND IN ACCORDANCE WITH LOCAL PERMIT REQUIREMENTS. SUBCONTRACTORS SHALL VERIFY LOCAL REQUIREMENTS.
 2. ALL UTILITIES (PRIVATE AND PUBLIC) AND ACCESS CONNECTIONS SHALL BE COORDINATED, FEES PAID AND CONSTRUCTION INSTALLED AS REQUIRED BY GOVERNING AGENCIES OR COMPANY. EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SPECIFIC PERMIT, APPROVALS AND PAYING ALL FEES AND TAXES.
 3. ALL BROKEN AND CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER AND PER CITY STANDARD DWG 2430 AND 2415A.
 4. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN THE WORK ORDER.
 5. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.



JEEBS & ZUZU, LLC.

**Architecture
Construction
Design-Build**

5924 ANAHEIM AVENUE NE SUITE A
ALBUQUERQUE, NM 87113
P. 505-797-1318



job no:	Project Number
drawn:	O.O
checked:	J&Z
date:	May 05, 2023

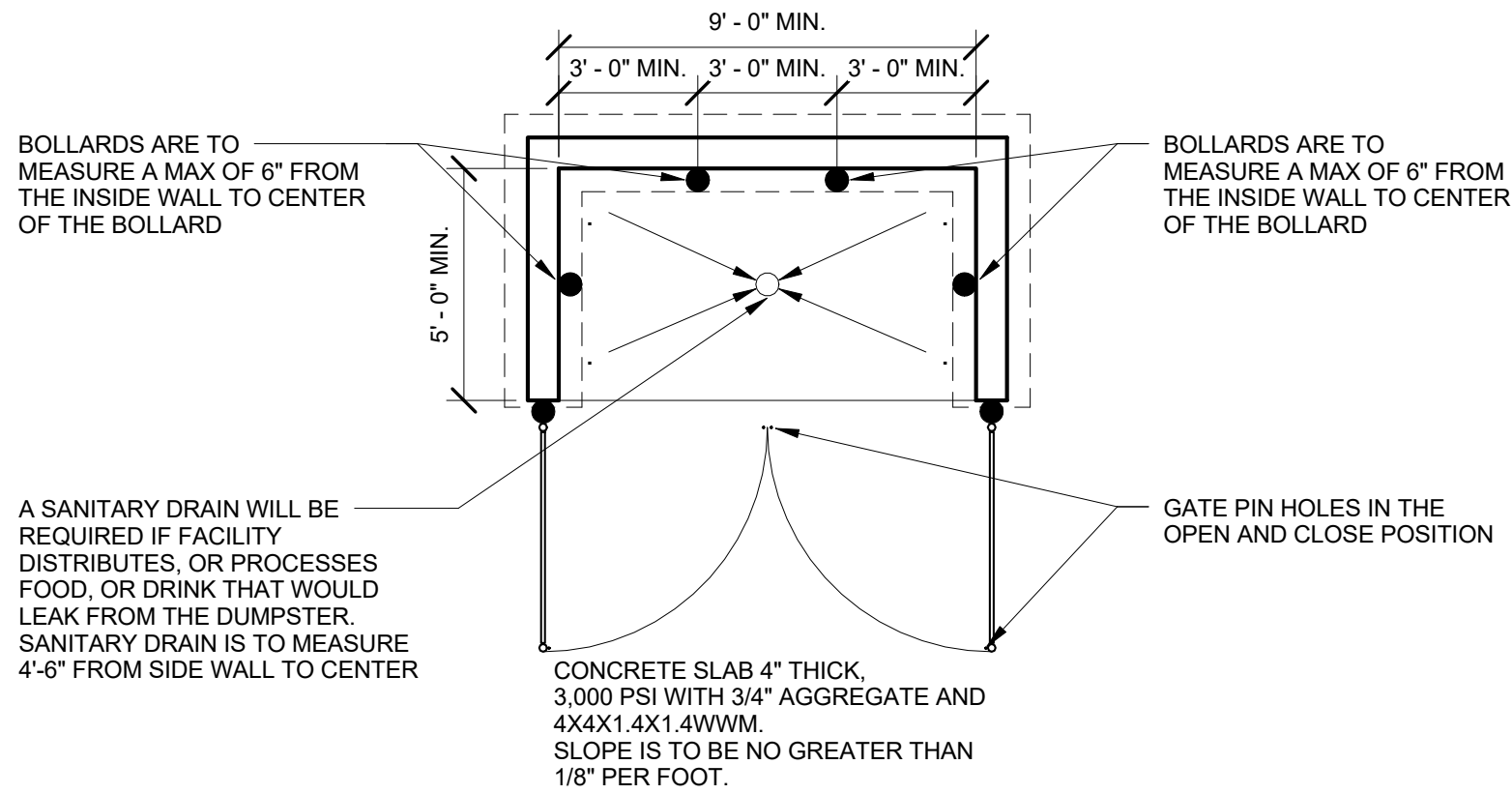
TRAFFIC CIRCULATION LAYOUT

EVENT HALL

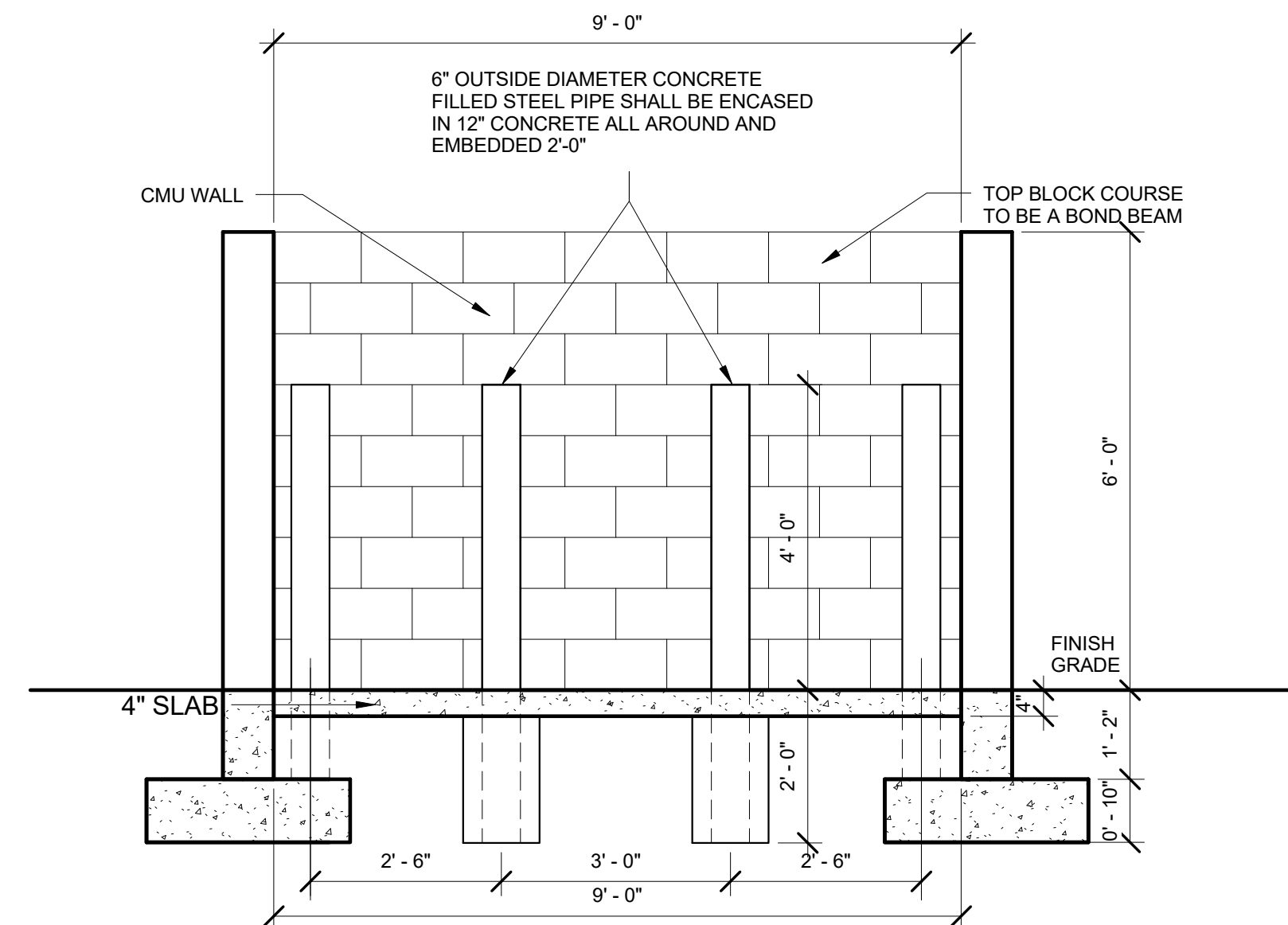
www.jeebsandzuzu.com

900 OLD COORS DR SW, ALBUQUERQUE, NM 87121

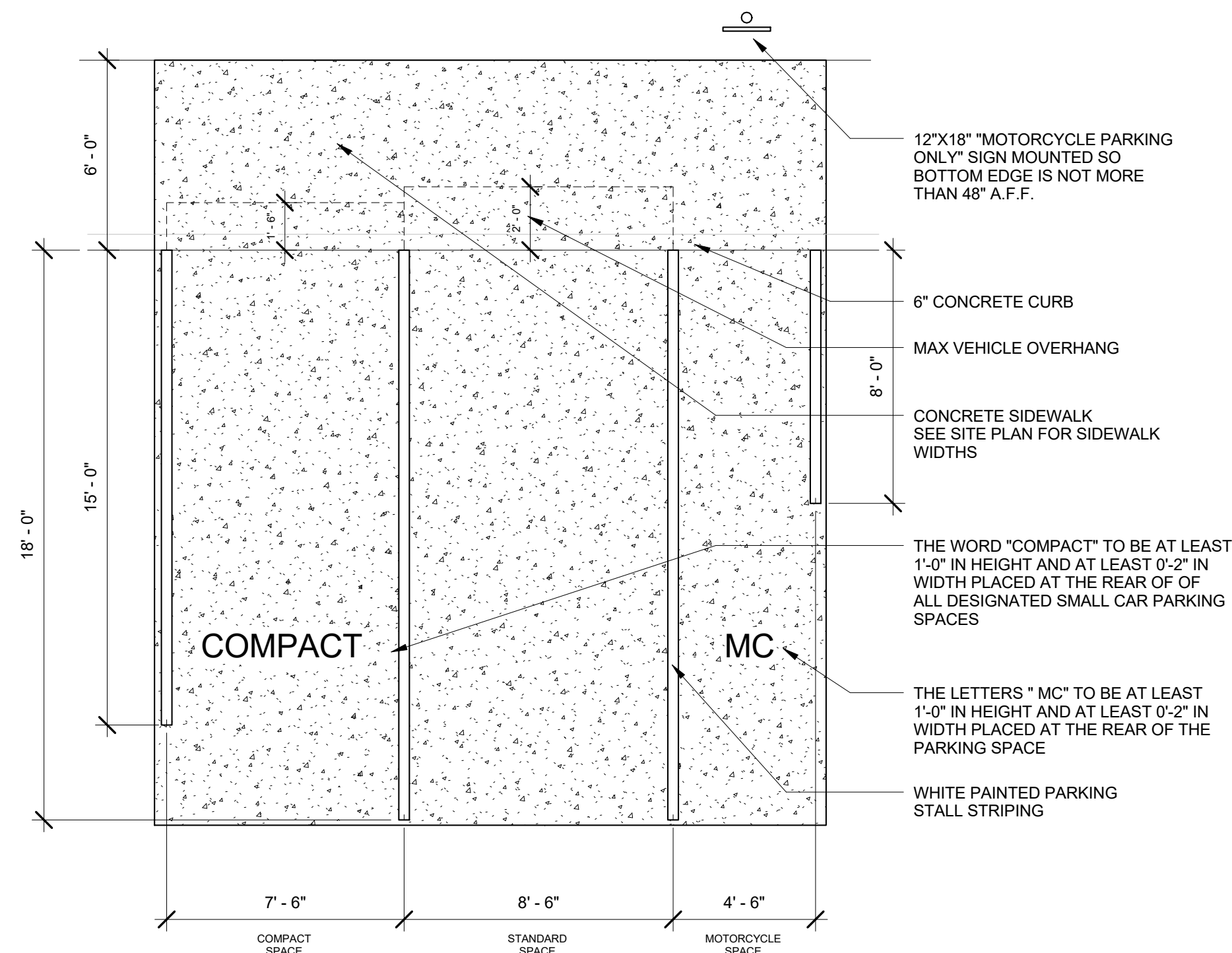
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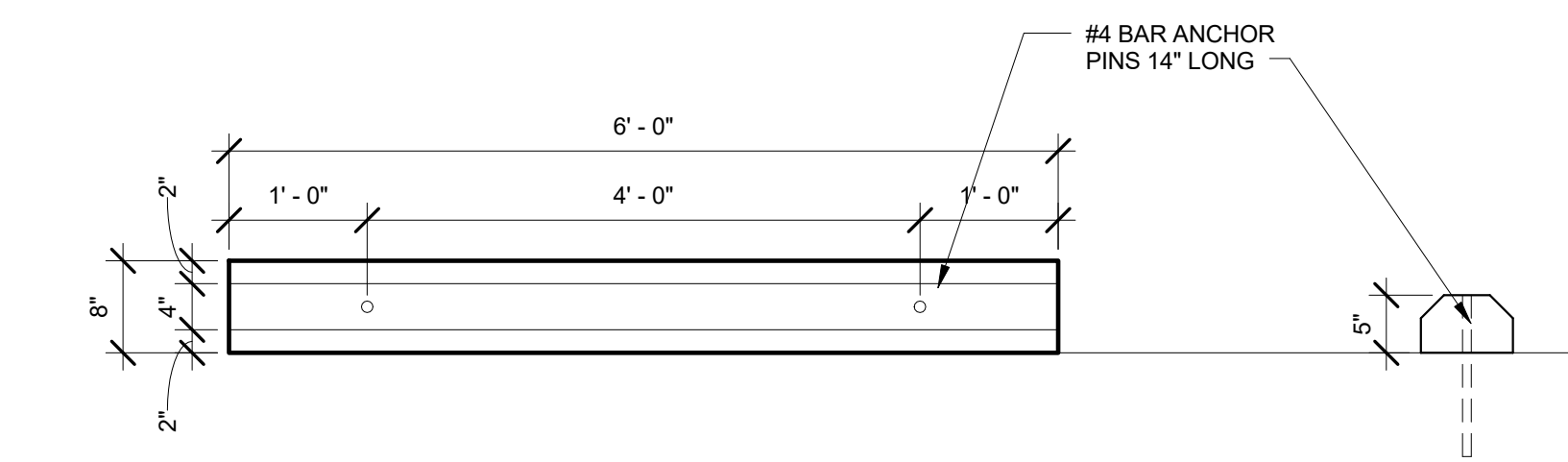
8 Single Refuse Enclosure Detail
1/4" = 1'-0"



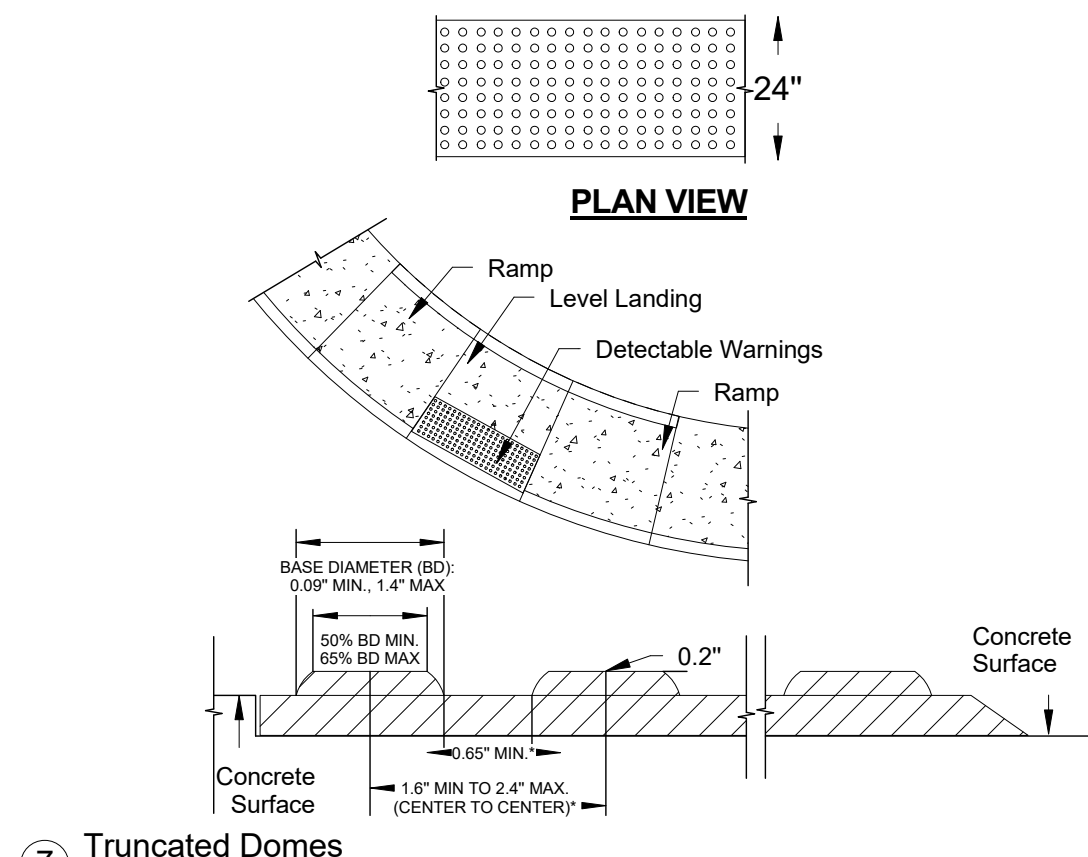
15 Trash Enclosure Section Detail
1/2" = 1'-0"



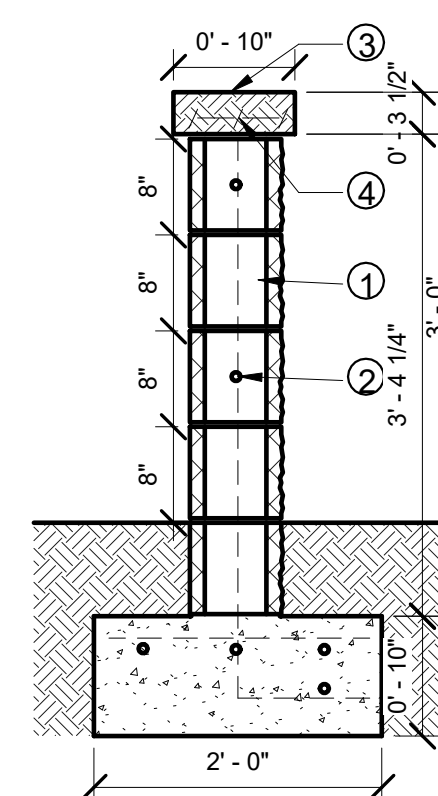
18 Standard, Compact, & MC Parking Detail
1/4" = 1'-0"



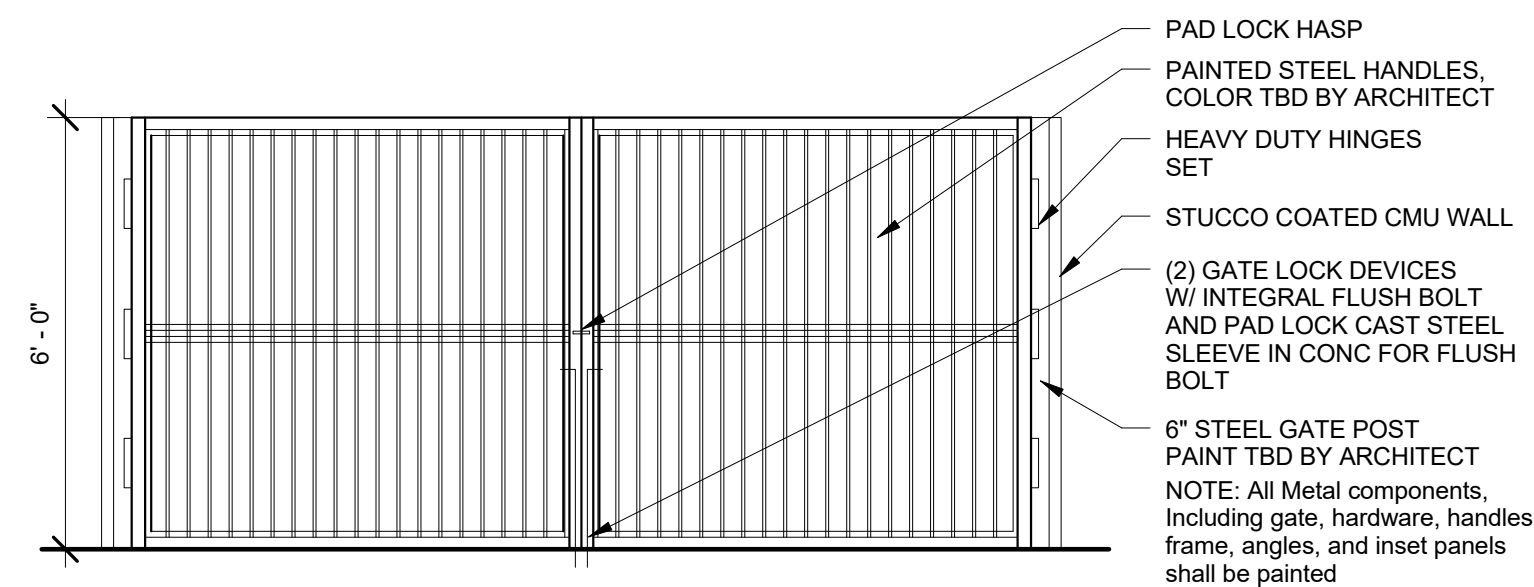
12 Concrete Bumper Detail
3/4" = 1'-0"



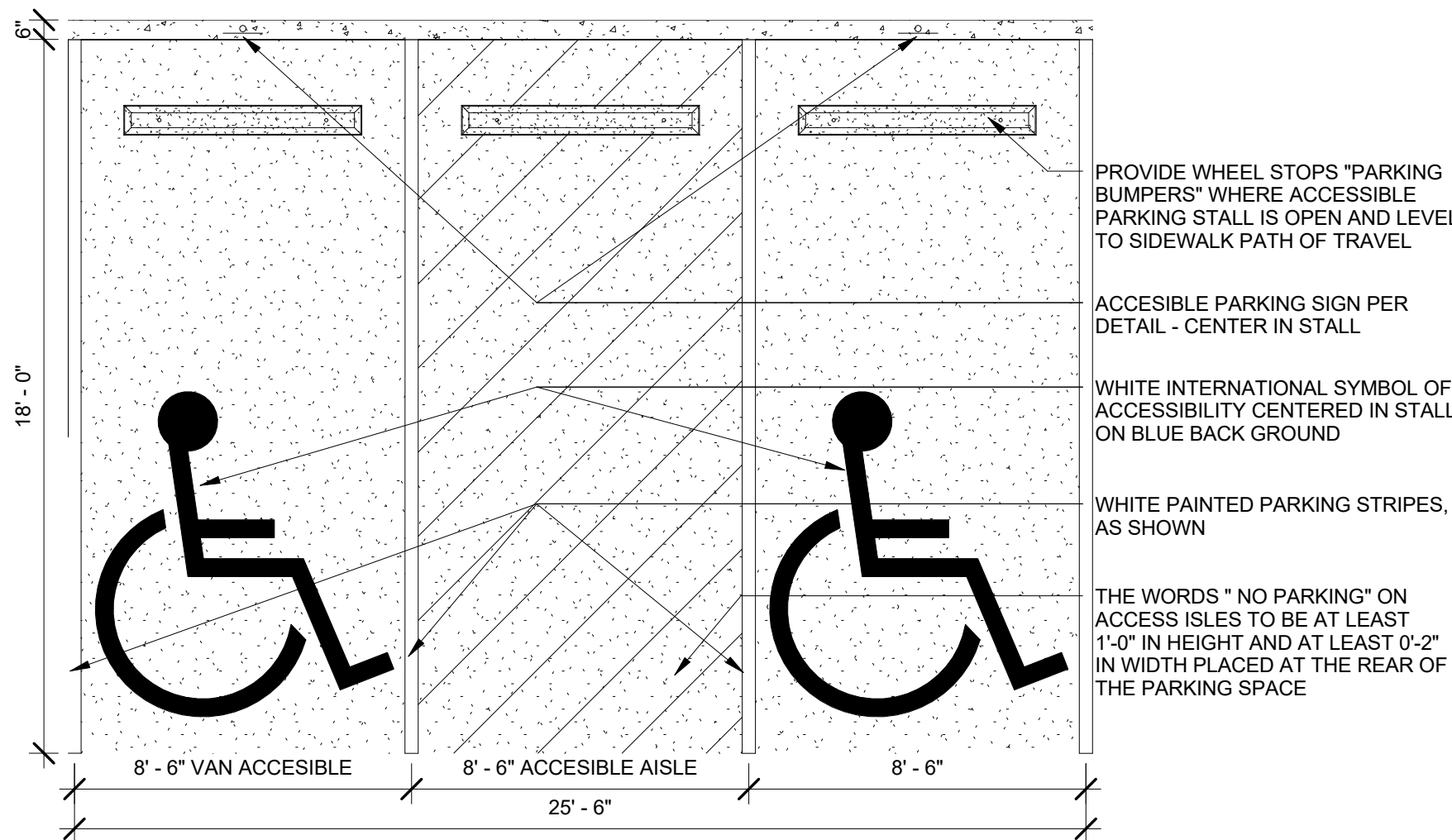
7 Truncated Domes
1/8" = 1'-0"



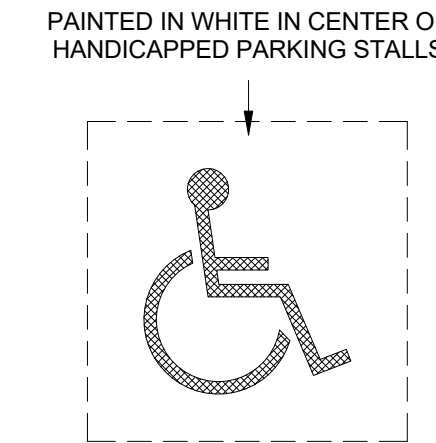
5 Raised Bed Planter Detail
3/4" = 1'-0"



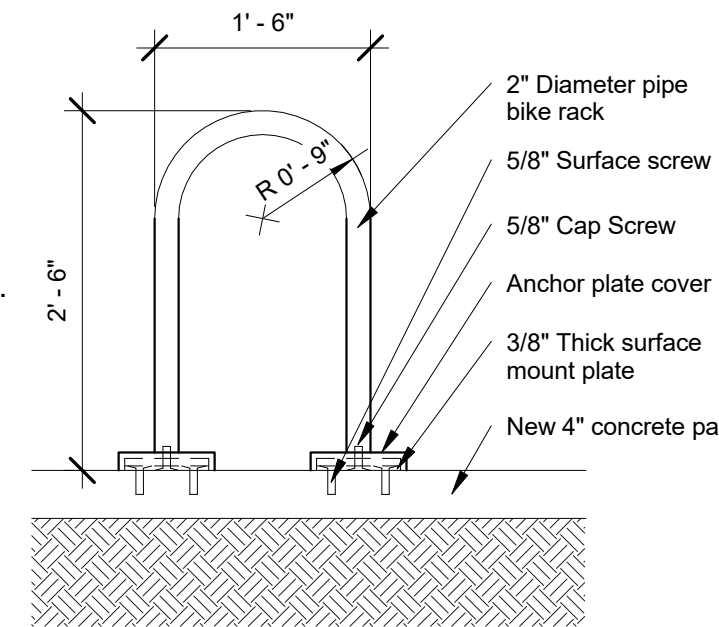
16 Trash Enclosure Gate Elevation
3/8" = 1'-0"



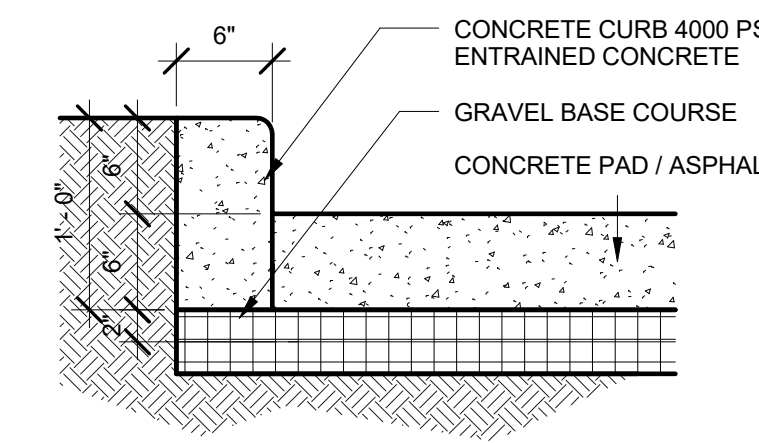
6 ADA Parking Plan
1/4" = 1'-0"



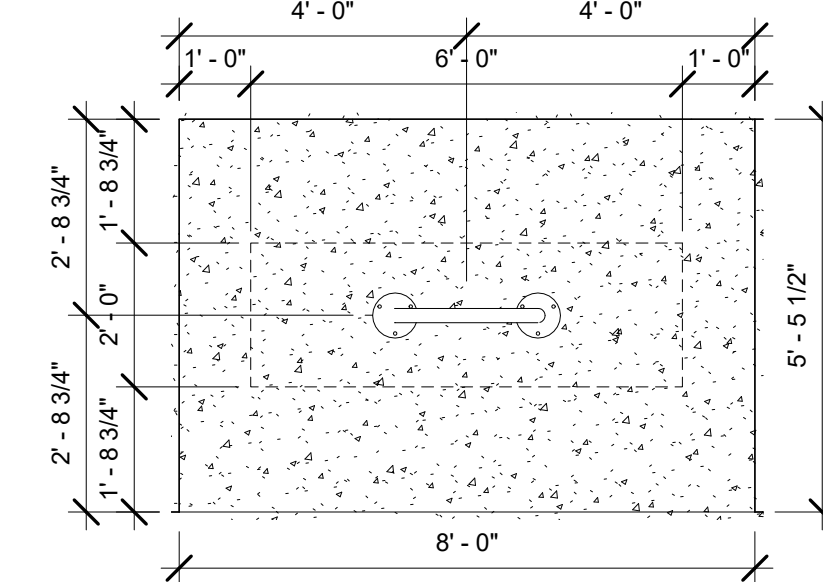
11 Accessible Parking Space Marking
1/4" = 1'-0"



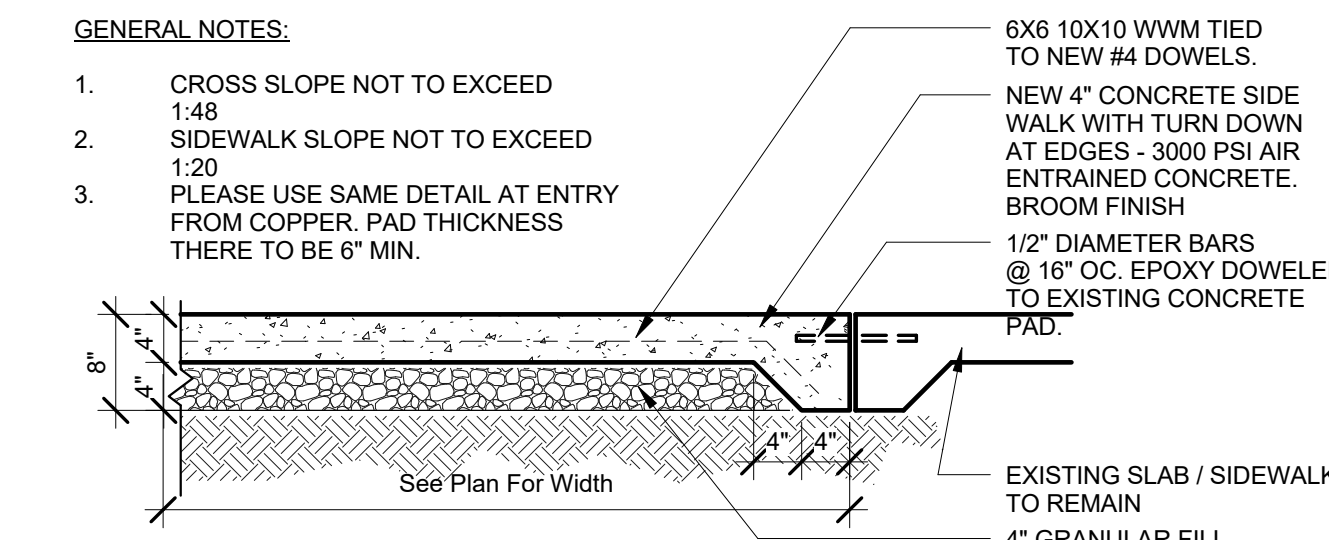
3 Bike Rack Detail
3/4" = 1'-0"



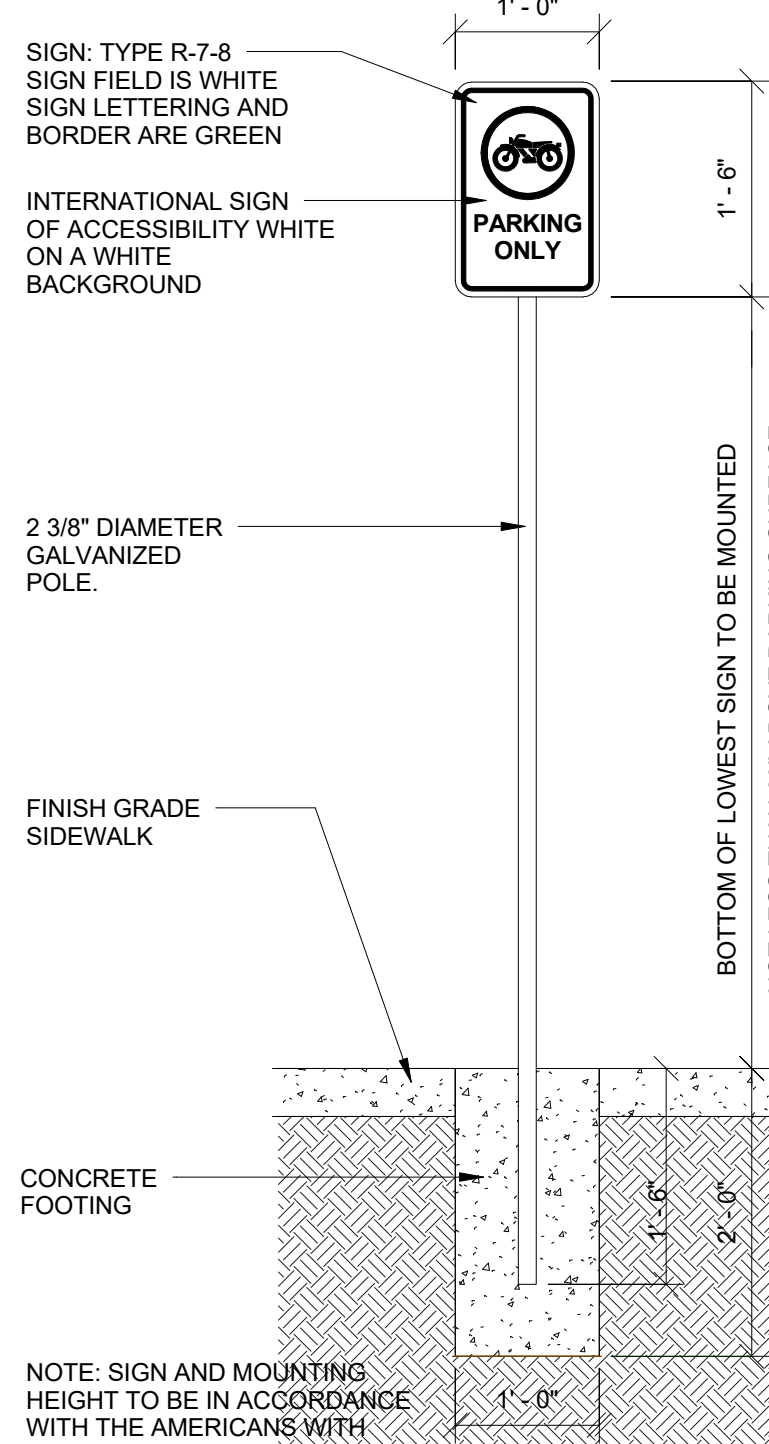
13 Curb Section Detail
1" = 1'-0"



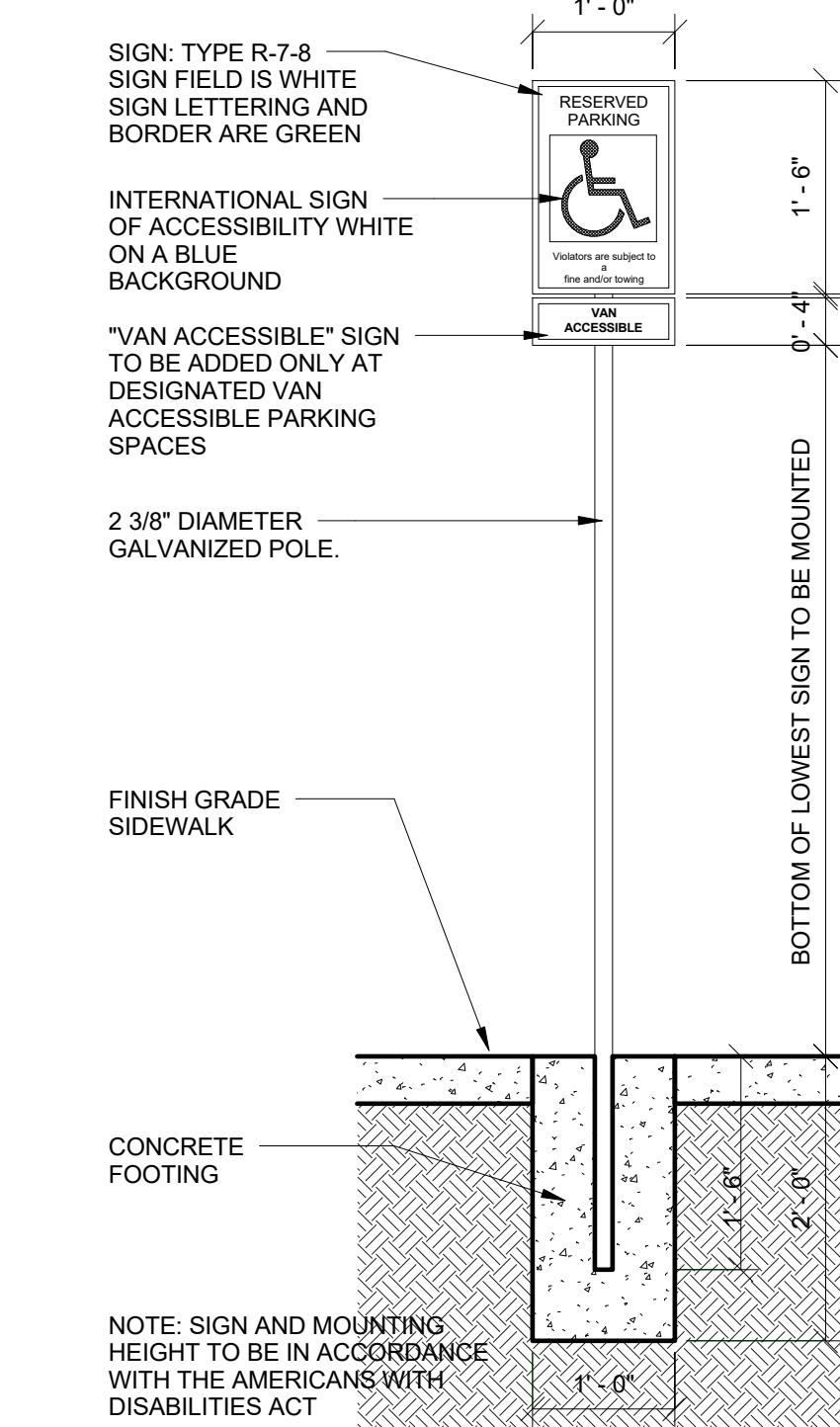
4 Bike Rack Plan
3/8" = 1'-0"



14 Sidewalk Detail
3/4" = 1'-0"

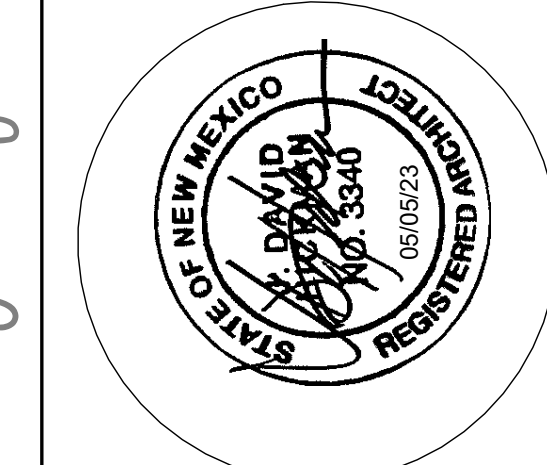


2 Motorcycle Sign
3/4" = 1'-0"

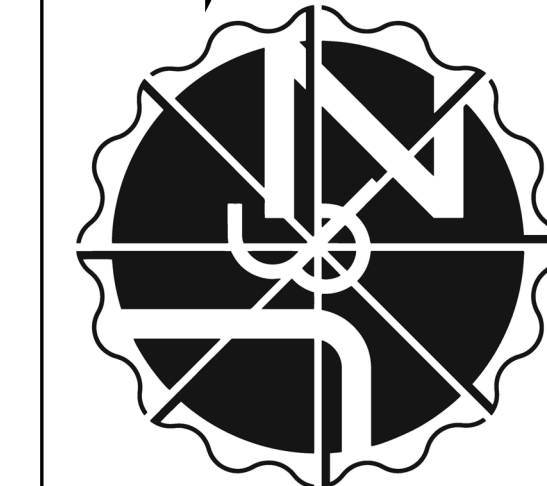


1 ADA Parking Signage
3/4" = 1'-0"

www.jeebsandzuzu.com



JEEBS & ZUZU, LLC.
Architecture
Construction
Design-Build
5924 ANAHEIM AVENUE NE SUITE A
ALBUQUERQUE, NM 87113
P. 505-797-1318



job no: Project Number
drawn: 0.0
checked: J&Z
date: May 05, 2023

EVENT HALL
900 OLD COORS DR SW, ALBUQUERQUE, NM 87121

SITE DETAIL

sheet no:

TCL1.1