

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

June 25, 2024

Robert Fierro, P.E.
Fierro & Company
6300 Montano Rd. NW
Albuquerque, NM 87120

**RE: Martinez Retail Center
Grading & Drainage Plan
Engineer's Stamp Date: 6/21/2024
Hydrology File: L11D071**

Dear Mr. Fierro:

PO Box 1293

Based upon the information provided in your submittal received 06/11/2024, the Grading & Drainage Plan is approved for Grading Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

Albuquerque

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

NM 87103

If you have any questions, please contact me at 924-3314 or amontoya@cabq.gov.

www.cabq.gov

Sincerely,

Anthony Montoya, Jr., P.E.
Senior Engineer, Hydrology
Planning Department, Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: _____ Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: _____

Applicant/Agent: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)

TYPE OF DEVELOPMENT: PLAT (#of lots) _____ RESIDENCE
DFT SITE ADMIN SITE

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G&D PLAN
- GRADING & DRAINAGE PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
ADMINISTRATIVE
- TRAFFIC CIRCULATION LAYOUT FOR DFT
APPROVAL
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- CONCEPTUAL TCL DFT APPROVAL
- PRELIMINARY PLAT APPROVAL
- FINAL PLAT APPROVAL
- SITE PLAN FOR BLDG PERMIT DFT
APPROVAL
- SIA/RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- OTHER (SPECIFY) _____

DATE SUBMITTED: _____



- KEYED NOTES:**
- EXISTING DRIVEWAY
 - CONSTRUCT 1-FT WIDE CURB OPENING.
 - CONSTRUCT DRIVEPAD PER C.O.A. STD. DWG. 2425A.
 - CONSTRUCT SIDEWALK PER C.O.A. STD. DWG. 2430.
 - RETAINING WALL. DESIGN BY OTHERS. ENTIRE FOOTER AND WALL MUST BE LOCATED WITHIN THE PROPERTY. NO PORTION OF THIS WALL CAN BE ON THE PROPERTY LINE NOR IN THE RIGHT-OF-WAY.

- STORMWATER QUALITY VOLUME POND:**
- TOP ELEV.=5009.75, BTM. ELEV.=5009.0, WSEL at Spillway=5009.5', 6H:1V SIDE-SLOPE VOL. at Spillway=475 CU.FT.
 - TOP ELEV.=5009.25, BTM. ELEV.=5007.5, WSEL at Spillway=5009.0', 3H:1V SLOPE VOL. at Spillway=200 CU.FT.
 - TOP ELEV.=5007.75, BTM. ELEV.=5006.0, WSEL at Spillway=5007.5', 3H:1V SLOPE VOL. at Spillway=337 CU.FT.
 - TOP ELEV.=5009.25, BTM. ELEV.=5007.5, WSEL at Spillway=5009.0', 3H:1V SLOPE VOL. at Spillway=236 CU.FT.
 - TOP ELEV.=5009.25, BTM. ELEV.=5008.0, WSEL at Spillway=5009.0', 3H:1V SLOPE VOL. at Spillway=73 CU.FT.
 - TOP ELEV.=5009.25, BTM. ELEV.=5008.0, WSEL at Spillway=5009.0', 3H:1V SLOPE VOL. at Spillway=178 CU.FT.
 - TOP ELEV.=5009.25, BTM. ELEV.=5008.0, WSEL at Spillway=5009.0', 3H:1V SLOPE VOL. at Spillway=238 CU.FT.
 - TOP ELEV.=5008.75, BTM. ELEV.=5008.0, WSEL at Spillway=5008.5', 3H:1V SLOPE VOL. at Spillway=655 CU.FT.

- GENERAL GRADING NOTES:**
- THE CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES SHOWN AND COORDINATE WITH ALL UTILITY OWNERS PRIOR TO ANY EXCAVATION.
 - THE CONTRACTOR SHALL LIMIT DISTURBANCE OF NATIVE VEGETATION TO A MINIMUM.
 - THIS PLAN RECOMMENDS POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES TO PROHIBIT PONDING OF RUNOFF WHICH MAY CAUSE STRUCTURAL SETTLEMENT. FUTURE ALTERATION OF GRADES ADJACENT TO THE PROPOSED STRUCTURES IS NOT RECOMMENDED.
 - PERFORM GRADING AND EXCAVATION WORK IN COMPLIANCE WITH APPLICABLE SPECIFICATIONS, REQUIREMENTS, CODES AND ORDINANCES OF CITY OF ALBUQUERQUE, NEW MEXICO.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF OR OBTAINING EXCESS CUT OR FILL MATERIAL REQUIRED FOR FINAL GRADE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND COORDINATING WITH NEW MEXICO ONE CALL PRIOR EXCAVATION.
 - CLEAR AND GRUBBING PER NM APWA SECTION 201 SPECIFICATION.
 - SPOT ELEVATIONS ARE TO FINISH GRADE UNLESS NOTED OTHERWISE.
 - THE CONTRACTOR SHALL CONFINE THEIR WORK TO WITHIN THE CONSTRUCTION LIMITS AND/OR PUBLIC RIGHT-OF-WAY TO PRESERVE EXISTING VEGETATION, LANDSCAPING, AND PRIVATE PROPERTY. APPROVAL OF THESE PLANS DOES NOT GIVE OR IMPLY ANY PERMISSION TO TRESPASS OR WORK ON PRIVATE PROPERTY. PERMISSION MUST BE GRANTED IN WRITING BY THE OWNER OF THAT PROPERTY.
 - CONTRACTOR TO CLEAN UP SEDIMENT AND DEBRIS ON THE STREET, WHICH IS CAUSED BY CONSTRUCTION, AT THE END OF EACH WORK DAY. TEMPORARY DIRT RAMPS ARE NOT TO BE LEFT IN STREETS OR NEAR CURB.

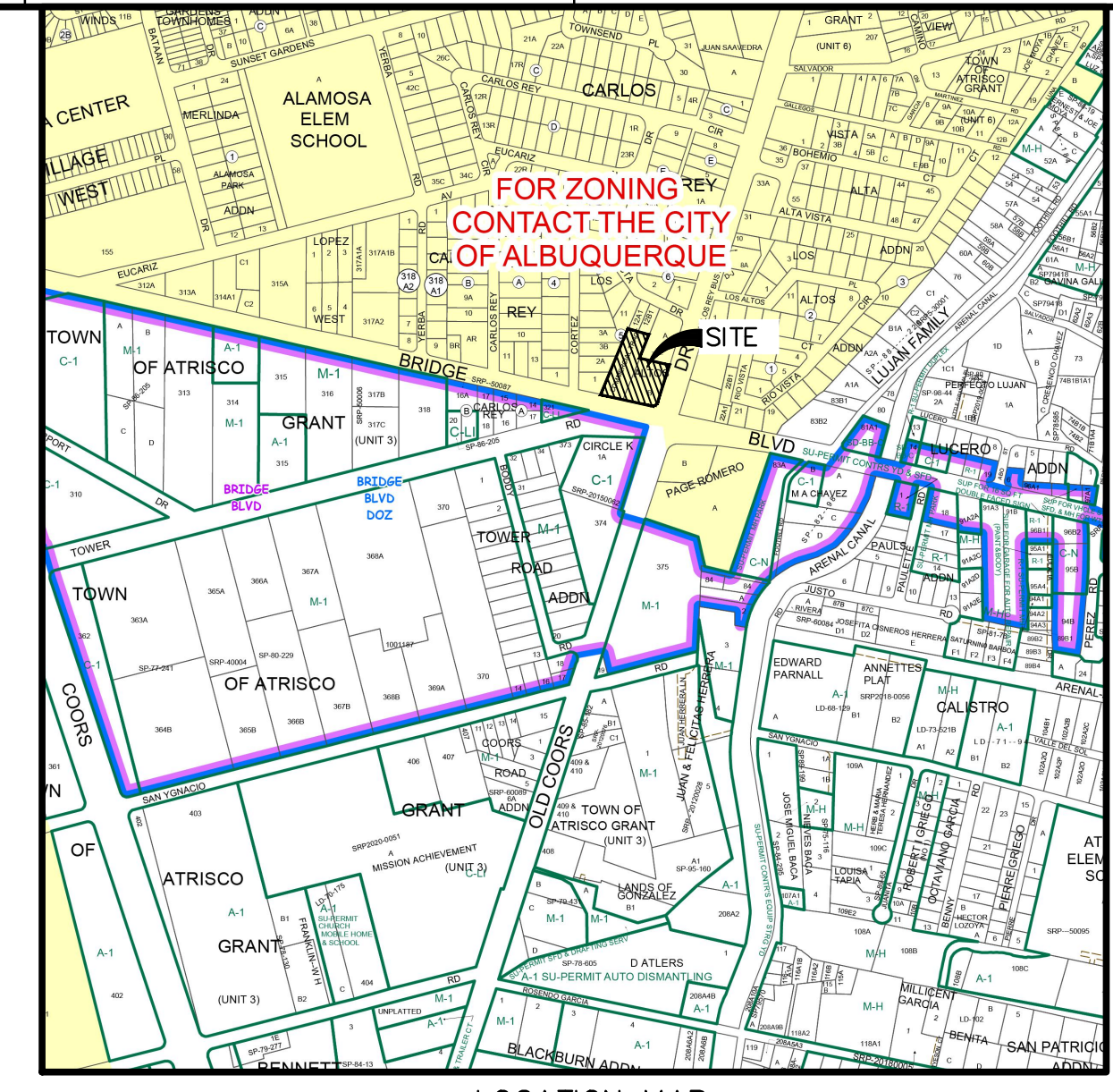
PROJECT INFORMATION

BENCHMARK
 CITY OF ALBUQUERQUE SURVEY MONUMENT; ACS BM, NM-45-4A
 NORTHING: 1480289.338 (NM SPC, CENTRAL ZONE, NAD 1983)
 EASTING: 1505415.447 (NM SPC, CENTRAL ZONE, NAD 1983)
 ELEVATION: 5005.696' (NAVD 1988, U.S. SURVEY FOOT)

DESCRIPTION
 TRACT "B" BLOCK 5 LAND DIVISION PLAT LOS ALTOS SUBDIVISION (LOT 14 & PORTION OF LOT 13 & PORTION OF COMMERCIAL RACT BLOCK 5)

FLOOD NOTE:
 THIS PROPERTY LIES WITHIN FLOOD ZONE X WHICH IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD. AS DETERMINED BY F.E.M.A. AND SHOWN ON THE FLOOD INSURANCE RATE MAP DATED AUGUST 16, 2012, MAP NO. 35001C0329H.

SURVEYOR INFORMATION
 TOPOGRAPHIC SURVEY PERFORMED OCTOBER 2022.



LOCATION MAP
 ZONE ATLAS MAP: L-11-Z

City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED
 DATE: 06/25/2024
 BY: [Signature]
 HydroTrans # L110071

THE APPROVAL OF THESE PLANS DOES NOT CONSTITUTE TO VERIFY THE ACCURACY OF ANY DATA OR INFORMATION PROVIDED BY THE CLIENT. THE CITY OF ALBUQUERQUE DOES NOT GUARANTEE THE ACCURACY OF ANY DATA OR INFORMATION PROVIDED BY THE CLIENT. THE CITY OF ALBUQUERQUE DOES NOT GUARANTEE THE ACCURACY OF ANY DATA OR INFORMATION PROVIDED BY THE CLIENT. THE CITY OF ALBUQUERQUE DOES NOT GUARANTEE THE ACCURACY OF ANY DATA OR INFORMATION PROVIDED BY THE CLIENT.

APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN FILED ON THE DEVELOPMENT.

LEGEND

- APPARENT PROPERTY BOUNDARY
- APPARENT ADJOINING PROPERTY LINE
- x-x- EXISTING FENCE
- EXISTING WALL
- PROPERTY CORNER
- APPARENT PROPERTY CORNER
- ROOF FLOW DIRECTION
- - - EXISTING MAJOR CONTOUR
- - - EXISTING MINOR CONTOUR
- - - PROPOSED MAJOR CONTOUR
- - - PROPOSED MINOR CONTOUR
- OHE OVERHEAD ELECTRIC
- POND CONTOUR
- 26.29 FINISHED GRADE
- B.W. BOTTOM OF WALL
- T.W. TOP OF WALL
- NEW RETAINING WALL
- △ POND ID

Fierro & Company
 ENGINEERING | SURVEYING
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 ALBUQUERQUE, NEW MEXICO 87107
 PH (505) 352-8930
 www.fierrocompany.com

ROBERT J. FIERRO
 NEW MEXICO
 20585
 17-21-2024
 PROFESSIONAL ENGINEER

MARTINEZ RETAIL CENTER
 1021 OLD COORS DR. S.W.
 ALBUQUERQUE, NM 87105

PROJECT NAME	PROJECT NO.	DATE	REV.	DESCRIPTION	BY
	23066	JUNE 2024			

DESIGNED BY: RJF
 DRAWN BY: JB
 CHECKED BY: RJF
 DATE: JUNE 2024

SHEET TITLE
GRADING PLAN
 SHEET NO:
C-1

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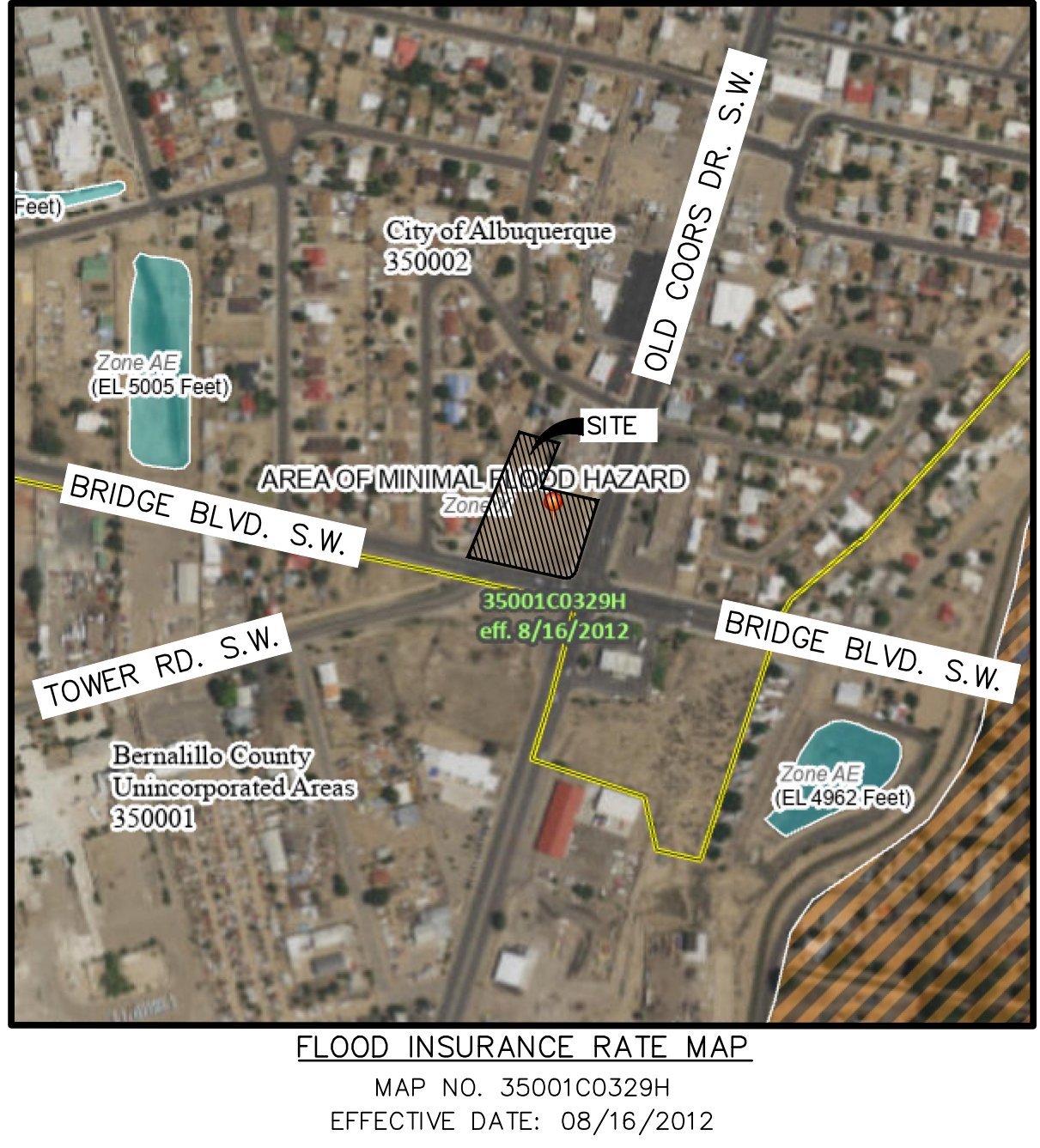
HYDROLOGY SUMMARY							
ZONE 1							
BASIN	Total Area (acres)	Land Treatment (%)				Q _{100yr-6hr} (cfs)	V _{100yr-6hr} (ac-ft)
		A	B	C	D		
100	1.307	0.0	0.0	100.0	0.0	3.8	0.103
200	0.704	0.0	23.0	0.0	77.0	2.6	0.111
201	0.603	0.0	16.0	0.0	84.0	2.3	0.100

HYDROLOGY SUMMARY

City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED
 DATE: 06/25/2024
 BY: [Signature]
 HydroTrans # L110071

THE APPROVAL OF THESE PLANS AND PERMITS SHALL NOT BE CONSIDERED TO PREVENT CALCULATIONS OF ANY CITY OR JURISDICTION OR STATE LAW AND SHALL NOT BE A WARRANTY OF ANY KIND. THE CITY OF ALBUQUERQUE IS NOT PROVIDING ANY INSURANCE OR GUARANTEE OF ANY KIND. ANY USER OF THESE PLANS AND PERMITS SHALL NOT BE CHARGED OR LIABLE FOR ANY DAMAGES OR LOSSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING FROM THE USE OF THESE PLANS AND PERMITS.

APPROVAL OF GRADING & DRAINAGE PLAN(S) SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.



Introduction

The site is located at 1021 Old Coors Dr. S.W. and is 1.3 acres. This property has not been developed, but there have been several different plans proposed over the last decade. The proposed development now includes two buildings which will be used for retail. The purpose of this Grading & Drainage Plan is to 1) provide hydrologic and hydraulic analysis of the allowable and proposed condition, 2) satisfy allowable stormwater quality requirements, and 3) seek approval for building permit.

Methodology

Hydrologic procedures presented in the Hydrology Section of the DMP, Article 6-2(a), approved June 8, 2020 were followed. Precipitation Zone 1 data was used in the hydrologic computations.

Existing Condition

The site is undeveloped and flat with a 0.7% slope from the northwest corner of the site to the southwest corner of the site. There are public storm drain systems along both frontages of the site. Bridge Boulevard SW was recently improved, so there are sidewalks and driveways along the two frontages. The site does not receive offsite runoff.

Proposed Condition

Development includes two buildings to be used for retail, parking lot, and several storm water quality ponds. The drainage pattern of the site will remain the same. Runoff from Basin 200 will retain the storm water quality runoff prior to discharging to Old Coors Road through the existing driveway. Runoff from Basin 201 will retain its storm water quality runoff prior to discharging to Bridge Boulevard.

The site is allowed free discharge due to the following reasons:

- 1) Proximity to existing storm drain. Therefore, the site's runoff will not affect the peak discharge in the storm drain, since it will be discharged before the peak flow at this location.
- 2) Prior drainage plans allowed free discharge.
- 3) The adjoining lot to the north recently was redeveloped with allowing free discharge.

This development will retain the storm water quality and will not adversely impact downstream drainage.

DRAINAGE REPORT

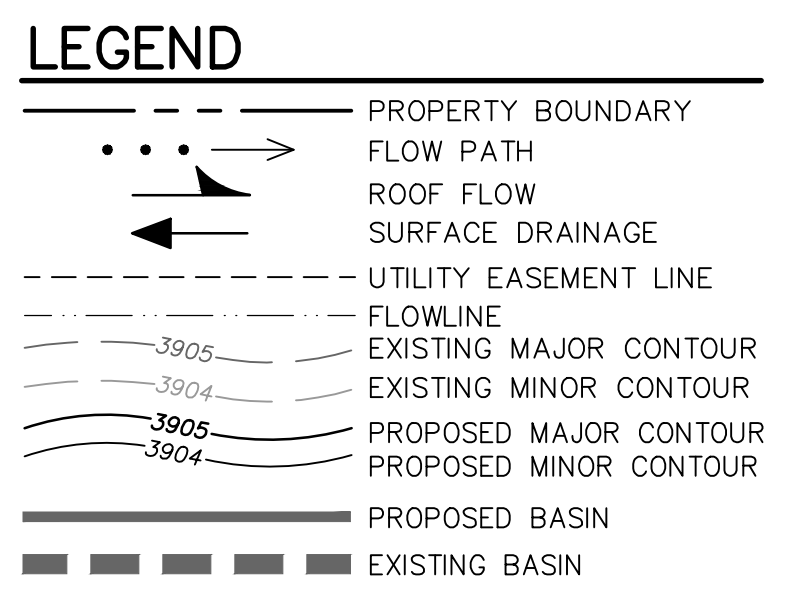
BASIN 200
 GIVEN:
 Area_p = 23,619 sq.ft.
 SOLUTION:
 SWQV_{REQUIRED} = $\frac{1}{2}(R_D \cdot Area_p) = \frac{1}{2}[0.620" \cdot 23,619 \text{ sq.ft}] = 1,220 \text{ cu.ft.}$
 SWQV_{PROVIDED}:
 = SWQP₁ + SWQP₂ + SWQP₃ + SWQP₄
 = 475 + 200 + 337 + 236 = 1,248 cu.ft.

CONCLUSION:
 SWQV_{PROVIDED} > SWQV_{REQUIRED}

BASIN 201
 GIVEN:
 Area_p = 22,058 sq.ft.
 SOLUTION:
 SWQV = $\frac{1}{2}(R_D \cdot Area_p) = \frac{1}{2}[0.620" \cdot 22,058 \text{ sq.ft}] = 1,140 \text{ cu.ft.}$
 SWQV_{PROVIDED}:
 = SWQP₅ + SWQP₆ + SWQP₇ + SWQP₈
 = 73 + 178 + 238 + 655 = 1,144 cu.ft.

CONCLUSION:
 SWQV_{PROVIDED} > SWQV_{REQUIRED}

SWQV ANALYSIS



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PROJECT NO.	23066
DESIGNED BY:	RJF
DRAWN BY:	JB
CHECKED BY:	RJF
DATE:	JUNE 2024
SHEET TITLE	
SHEET NO.	D-1

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