

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

April 3, 2025

Xavier Nuno, R.A  
DISIGNX  
2440 Mares Rd SW  
Albuquerque, NM 87105

**Re: Martinez Retail/ PHASE 1**  
**1021 Old Coors Dr. SW**  
**Traffic Circulation Layout**  
Architect's Stamp 04-22-24 (L11D071)

Dear Mr. Nuno,

The TCL submittal received 04-02-2025 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. **1. AN APPROVED PLAT IS A CONDITION OF RELEASING THE FINAL CO FOR PHASE 1.**  
**2. EXISTING DRIVE ACCESS OFF BRIDGE BLVD MUST BE CLOSED AND REPLACE WITH NEW SIDEWALK PER CITY STD DWG 2430.**

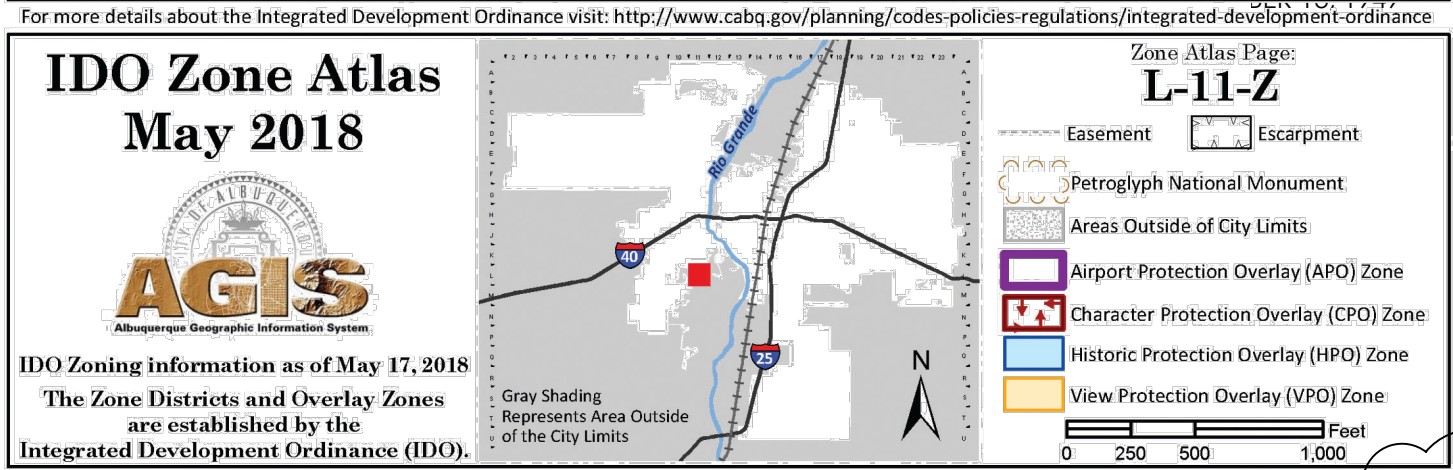
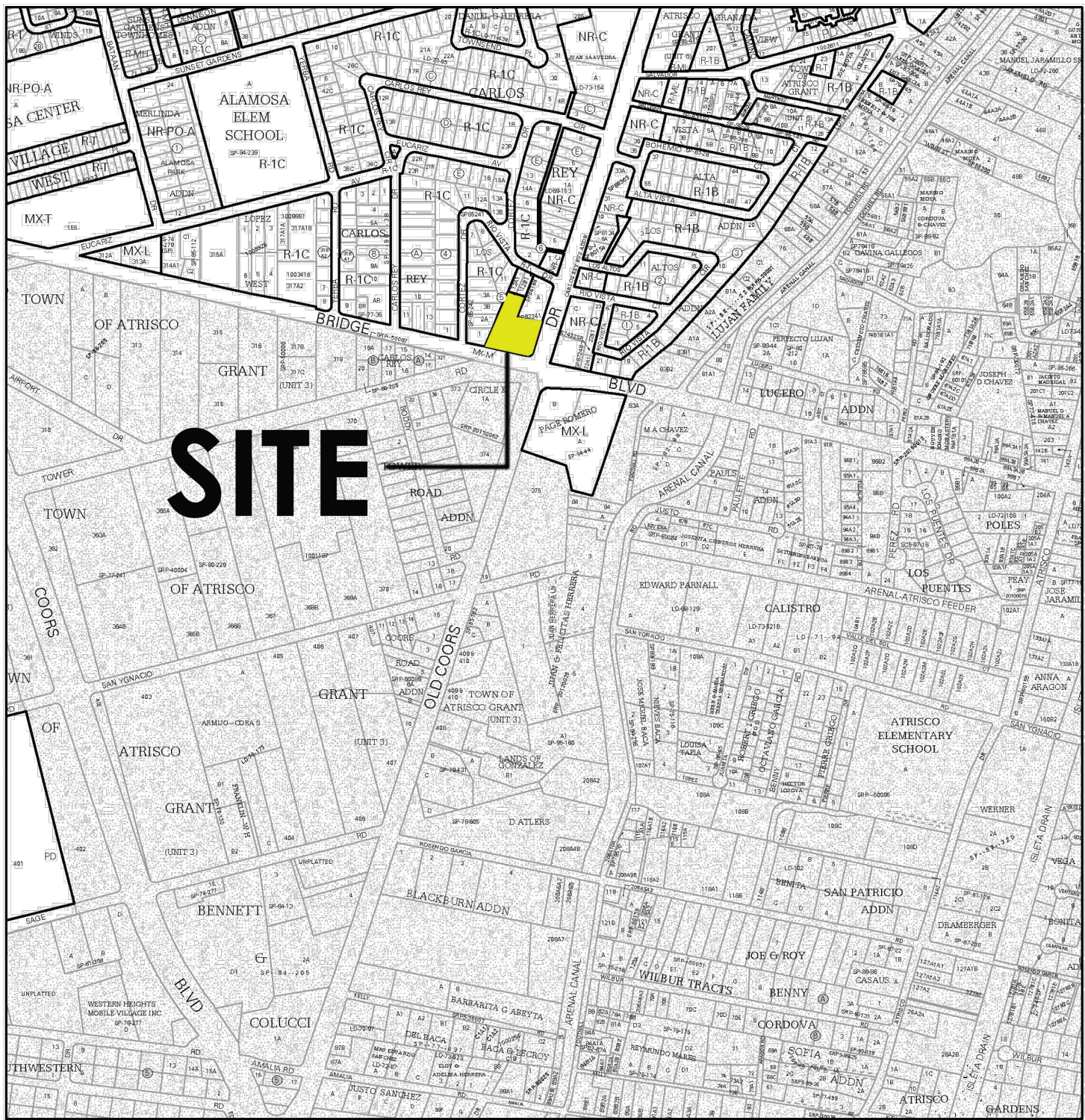
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

C: CO Clerk, File





TRAFFIC CIRCULATION  
LAYOUT APPROVED

Ernest Dwyer  
Signed Date  
4/3/2025

### DESIGN STANDARDS

- A. ALL CURB ACCESS RAMPS (DRIVE PADS) SHALL BE CONSTRUCTED TO MEET THE CITY OF ALBUQUERQUE STD. DRAWINGS 2425.
- B. ALL SIDEWALKS SHALL BE CONSTRUCTED TO MEET THE STD. OF THE CITY OF ALBUQUERQUE STD. DRAWING 2430.
- C. ALL SIDEWALK CONSTRUCTION SHALL MEET THE STDs. OF THE CITY OF ALBUQUERQUE STD. DRAWING 2431.
- D. ALL SIDEWALK JOINTS AND TRANSITIONS BETWEEN EXISTING AND NEW SIDEWALKS SHALL CONFORM TO THE CITY OF ALBUQUERQUE STD. DRAWING 2450.
- E. ALL NEW CURB CUTS TO THE SITE MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STD. DRAWING 2425 WITH THE GUTTER PROFILE MATCHING EXISTING.
- F. ALL NEW CURB AND GUTTERS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STD. DRAWING 2415A, MATCHING EXISTING PROFILES.

### PARKING CALCULATIONS

REQUIRED SPACES:  
PER CABQ IDO 2022  
RESTAURANT = 5.6 SPACES PER 1000 S.F. 2,000/1,000 = 11 SPACES REQUIRED  
GENERAL RETAIL = 3.5 SPACES PER 1000 S.F. 10,950/1,000 = 38 SPACES REQUIRED  
ACCESSIBLE PARKING SPACES REQUIRED 51-100 = 04 (1 VAN ACCESSIBLE)  
TOTAL SPACES REQUIRED= 53 (1 VAN ACCESSIBLE)

BICYCLE SPACED = 10% OF 65 SPACES PROVIDED = 6 BICYCLE SPACES REQUIRED  
MOTORCYCLE PARKING = FOR 51-100 VEHICLE SPACES (3 MOTORCYCLE SPACES REQUIRED)

PARKING SPACES PROVIDED:  
REGULAR PARKING SPACES = 49 SPACES PROVIDED  
COMPACT PARKING SPACES = 06 SPACES PROVIDED  
ACCESSIBLE PARKING SPACES = 04 SPACES PROVIDED (4 VAN ACCESSIBLE)  
TOTAL SPACED PROVIDED= 59 SPACES PROVIDED

BICYCLE SPACES= 06 PROVIDED  
MOTORCYCLE SPACES= 04 PROVIDED

COMPACT PARKING @ 25% OF SPACES IF MORE THAN 20 SPACES REQUIRED PER IDO

2021 NEW MEXICO COMMERCIAL ENERGY CONSERVATION CODE:  
MERCANTILE CENTER TO HAVE 5% ELECTRIC VEHICLE CHARGERS & 10% WIRED FOR FUTURE EV CHARGING STATIONS

5% OF 59 SPACES = 3 SPACES WITH EV CHARGING CAPABILITY  
10% OF 59 SPACES = 6 SPACES WIRED FOR FUTURE EV CHARGING

3/15/25

### KEYED NOTES

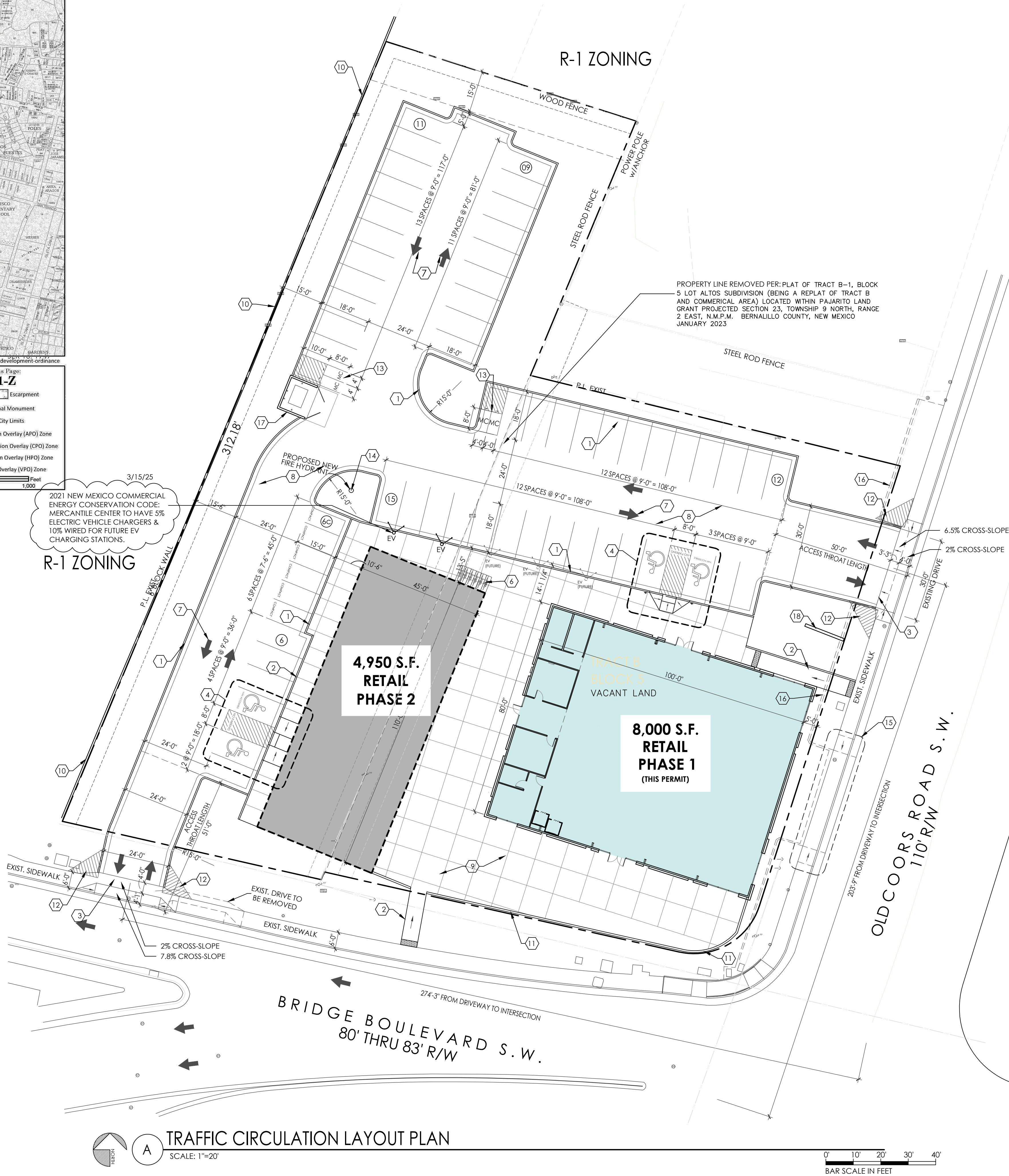
- INSTALL NEW CONCRETE CURB & GUTTER, AS SHOWN, PER DPM STANDARDS. SEE DETAIL 5, AS-2/TCL-2
- 6'-0" WIDE ACCESSIBLE PATH FROM EXISTING SIDEWALK TO SOUTH PATIO ENTRY OR NORTH ENTRY SEE DETAIL H & 1/AS-2 OR TCL-2
- TIE NEW CONCRETE DRIVEWAY TO EXISTING 30'-0" WIDE DRIVEWAY WITH FLUSH TRANSITION.
- SEE SHEET AS-2 FOR ACCESSIBLE PARKING AND RAMP DETAILS.
- INSTALL ACCESSIBLE PARKING SIGNAGE, POLE- MOUNTED, AT EACH OF THE (4) SPACES AS SHOWN, SEE DETAIL B /SHT. AS-2/ TCL-2
- INSTALL BIKE RACKS (6). SEE DETAIL A/ SHT. AS-2/TCL-2
- INSTALL PARKING STRIPING AND DIRECTIONAL ARROWS AS SHOWN, PER DPM STANDARDS.
- INSTALL NEW CONCRETE PAVING, FOR ENTIRE PARKING LOT, TYP.
- INSTALL CONCRETE PAVING THROUGHOUT OUTDOOR PATIO AREA, TYP.
- EXISTING 8'-0" HIGH CMU WALL TO REMAIN.
- NEW 36" HIGH CONCRETE WALL, WITH STUCCO FINISH, SEE DETAIL G/ SHT. AS-2/TCL-2
- 11'-0"x11'-0" CLEAR SIGHT TRIANGLE, SEE TCL NOTES, SHT. AS-1/TCL-1.
- MOTORCYCLE PARKING SPACE WITH POLE MOUNTED SIGN, SEE DETAIL C/ SHT. AS-2/TCL-2
- NEW FIRE HYDRANT TO BE INSTALLED PER CABQ FIRE DEPARTMENT STANDARDS.
- EXISTING DRIVEWAY TO BE CLOSED AND REMOVED, REPLACE SECTION WITH NEW SIDEWALK TO MATCH EXISTING PER CITY STANDARDS. SEE CITY STANDARD DWG. 2430 & 2431
- EXISTING CONCRETE WORK TO BE REMOVED WERE REQUIRED FOR LANDSCAPING, EXISTING DRIVEWAY AND GUTTERS ARE TO REMAIN, ALL NEW WORK IS WITHIN EXISTING SIDEWALKS.
- NEW REFUSE ENCLOSURE, SEE DETAIL F, THIS SHEET.
- LOCATION OF FUTURE MONUMENT SIGN, PERMIT TO BE OBTAINED BY SIGN COMPANY.

### TCL NOTES:

- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.
- REFUSE VEHICLE MANEUVERING SHALL BE CONTAINED ON-SITE, THE REFUSE VEHICLE SHALL NOT BACK INTO THE PUBLIC RIGHT AWAY.

### GENERAL NOTES

- PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- PREMISE IDENTIFICATION - SHALL BE MINIMUM 24 INCHES HIGH x .5 INCH WIDE AND SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL BE VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
- PROVIDE EXPANSION JOINTS IN CONCRETE WALK @ 40' O.C. AND WHERE CONCRETE ABUTS THE BUILDING.
- G.C. TO PROVIDE FIRE EXTINGUISHERS 2A-10-BC, 1 PER EACH 3,000 SF. REFER TO FLOOR PLANS FOR QUANTITY AND LOCATIONS.







A SCALE: 3/4"=1'-0'



SCALE: 3/4"=1'-0"



1. HANDICAPPED ACCESSIBLE AISLE STRIPING PER LOCAL CITY CODE & STANDARDS WITH THE WORD "NO-PARKING" MIN. 12" HIGH 2" STROKE, BLUE COLOR. 4" WIDE WHITE STRIPING @ 1'-6" O.C. AT 45° ANGLE, TYPICAL.
2. ACCESSIBLE PARKING SIGN. EITHER BUILDING MOUNTED, OR POLE MOUNTED, SEE DETAIL B, THIS SHEET.
3. SIDEWALK TO HAVE NO RUNNING SLOPE, AND A 1% CROSS SLOPE AWAY FROM BUILDING
4. 5'-0" x 2'-0" DETECTABLE WARNING SURFACE EXTENDING 24" IN THE DIRECTION OF TRAVEL.
5. 8.3% MAX SLOPE AT ACCESSIBLE RAMP
6. 10% MAX SLOPE SLOPE AT FLARED SIDES
7. INTERNATIONAL SYMBOL OF ACCESSIBILITY, CENTER IN PARKING SPACE, SYMBOL SHALL BE COLOR WHITE ON BLUE BACKGROUND.

