

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

August 15, 2023

Xavier Nuno-Whelan, RA
DizignX
2440 Mares Rd. SW
Albuquerque, NM 87105

Re: Martinez Retail Center
1021 Old Coors Dr SW
Traffic Circulation Layout
Engineer's/Architect's Stamp XX-XX-XX (L11-D071)

Dear Mr. Nuno-Whelan,

Based upon the information provided in your submittal received 08-08-23, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. List the number of Motorcycle and Bicycle parking spaces required by the IDO.
2. Identify all existing access easements and rights of way width dimensions.
3. Clarify existing property lines and proposed property lines.
4. It appears there is a property line in the middle of the site plan, are you going to replat? Please address this concern.
5. Site accesses:
 - Per the DPM, Curb Returns rather than Drivepads are recommended on Arterials.
 - Per the DPM, A 50 ft. access throat length is required.
 - 200 ft. is the minimum required distance from commercial site access points to the intersection. Please show this dimension on the site plan.
 - Are you going to close the existing drivepad off Old Coors? Due to the existing manhole, please contact Water Authority department (jshell@abqwua.org).
6. Keynote 2: please provide pedestrian pathway details (length, width, cross slope and running slope).
7. Provide details for the proposed interior ADA ramps.
8. The pavement marking "MC" should be shown in the opposite direction for motorcycles entering the parking space.
9. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
10. ADA accessible pedestrian pathway should not be placed behind parking space or adjacent to a vehicular way. Vehicle and pedestrian/wheel chair conflicts should be avoided as much as possible.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

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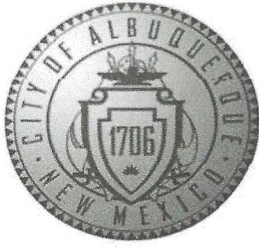
11. Provide a copy of Fire Marshall AND Solid Waste Approval.
12. Please specify the City Standard Drawing Number when applicable.
13. Shared Site access: driveways that straddle property lines, or are entirely on one property but are to be used by another property, shall have an access easement. Please include a copy of your shared access agreement with the adjacent property owner.
14. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
15. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (**Contact Matt Grush: mgrush@cabq.gov**).
16. Please provide a letter of response for all comments given.

PO Box 1293 Once corrections are complete resubmit
1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
Albuquerque 3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.
NM 87103 for log in and evaluation by Transportation.
If you have any questions, please contact me at (505) 924-3675.
www.cabq.gov Sincerely,

Marwa Al-najjar

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

\xxx via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: Martinez Retail Center Building Permit # Pending Hydrology File # _____
DRB# _____ EPC# _____

Legal Description: _____ City Address OR Parcel 1021 Old Coors DR
Albuquerque, NM 87105

Applicant/Agent: Xavier Nuño-whelan Contact: _____
Address: 2440 Mares Rd SW Phone: (505) 507-3408
Email: DIZIGNX@gmail.com

Applicant/Owner: _____ Contact: _____
Address: _____ Phone: _____
Email: _____

TYPE OF DEVELOPMENT: ☐ PLAT (#of lots) ☐ RESIDENCE ☐ DRB SITE ☐ ADMIN SITE: _____
RE-SUBMITTAL: ☐ YES ☒ NO

DEPARTMENT: ☒ TRANSPORTATION ☐ HYDROLOGY/DRAINAGE
Check all that apply:

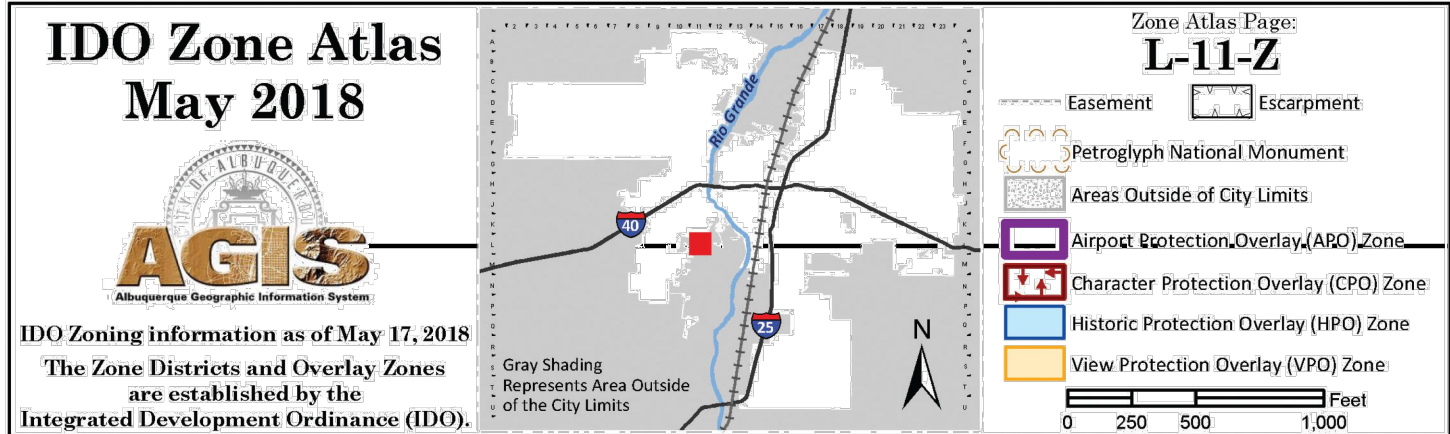
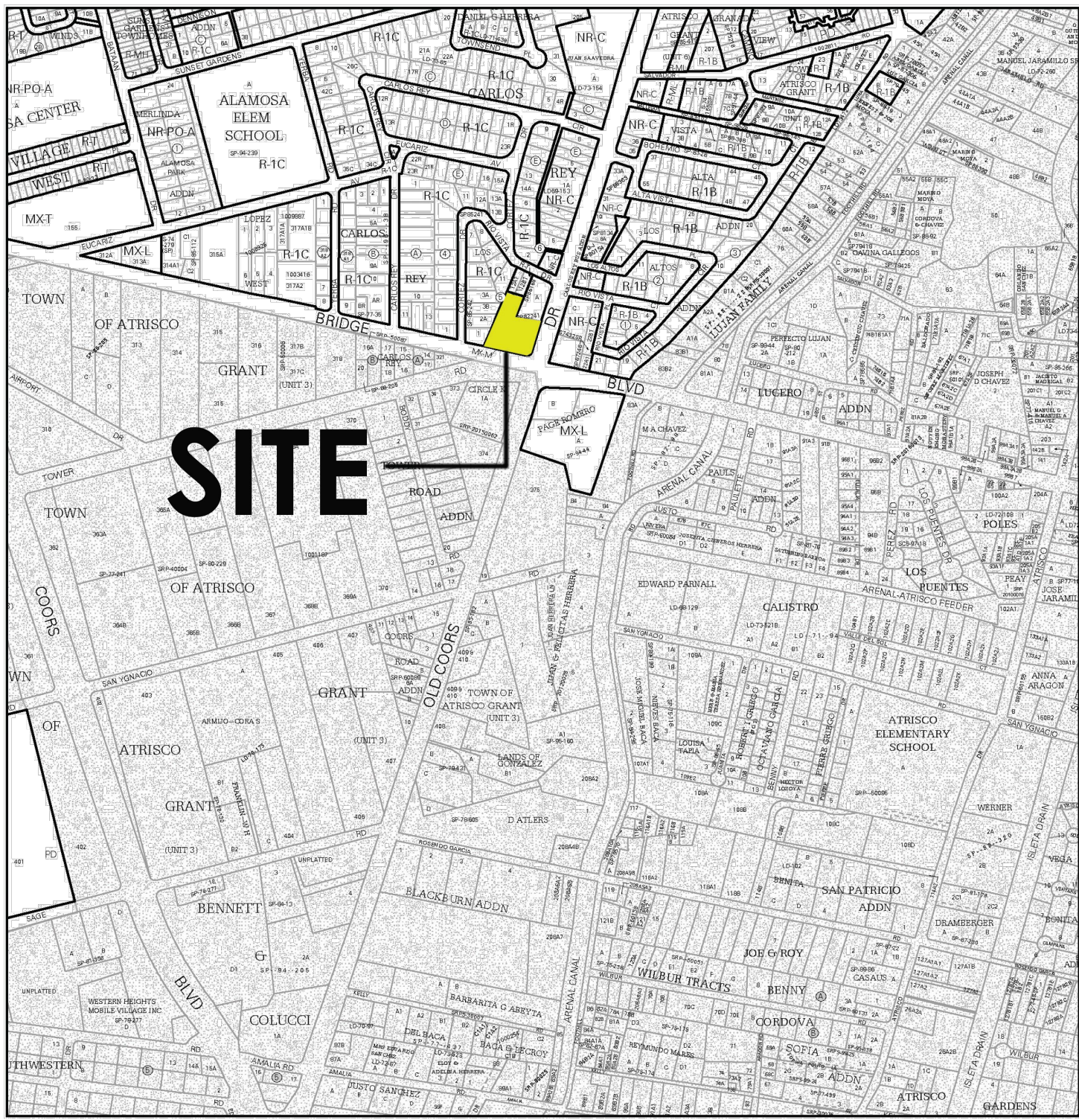
TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOOD PLAN DEVELOPMENT PERMIT APP.
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ADMINISTRATIVE
- ☐ TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY)
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

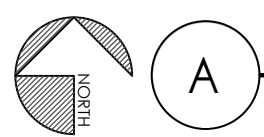
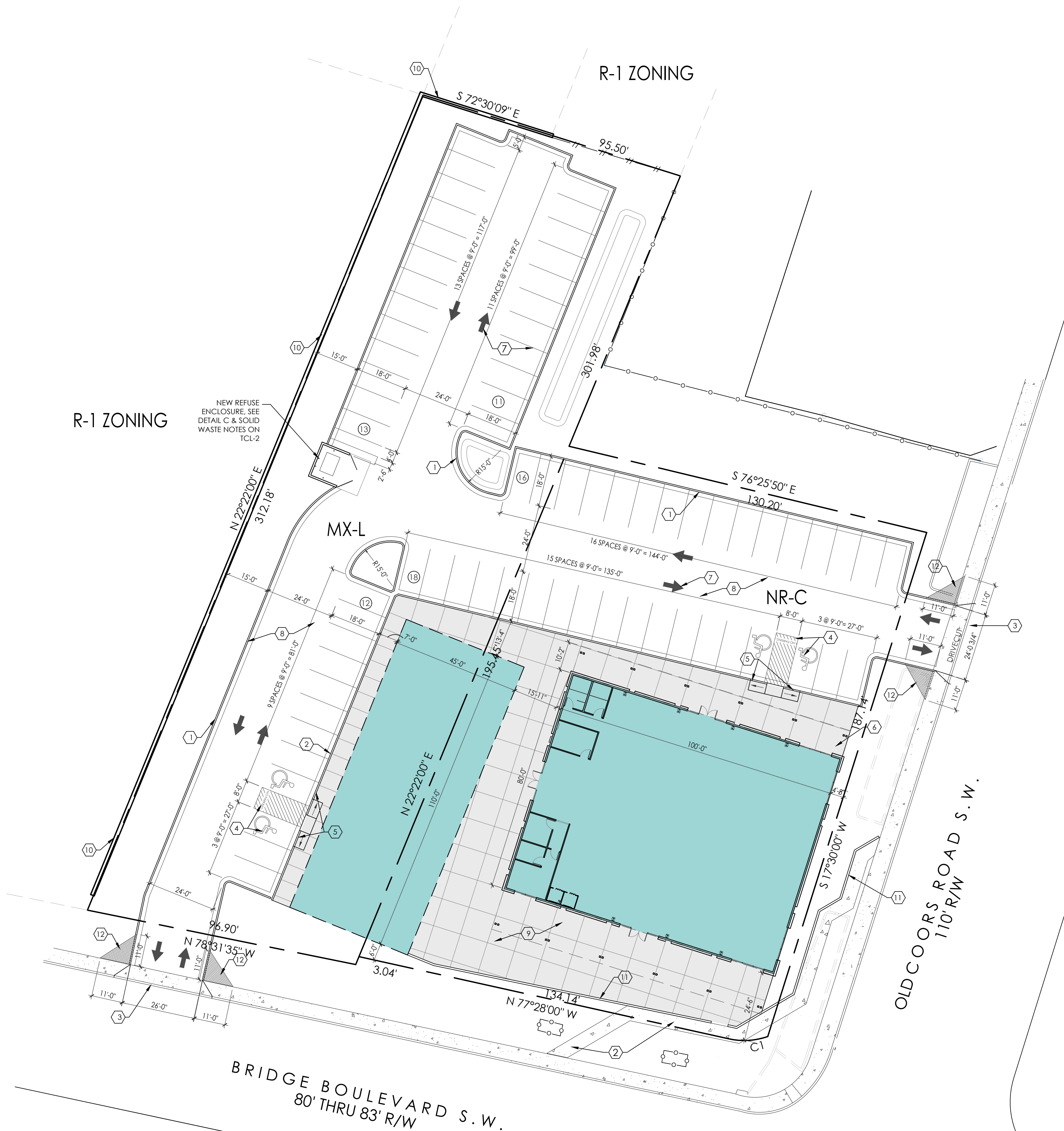
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ CONCEPTUAL TCL DRB APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOOD PLAN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY)

DATE SUBMITTED: 8/7/2023



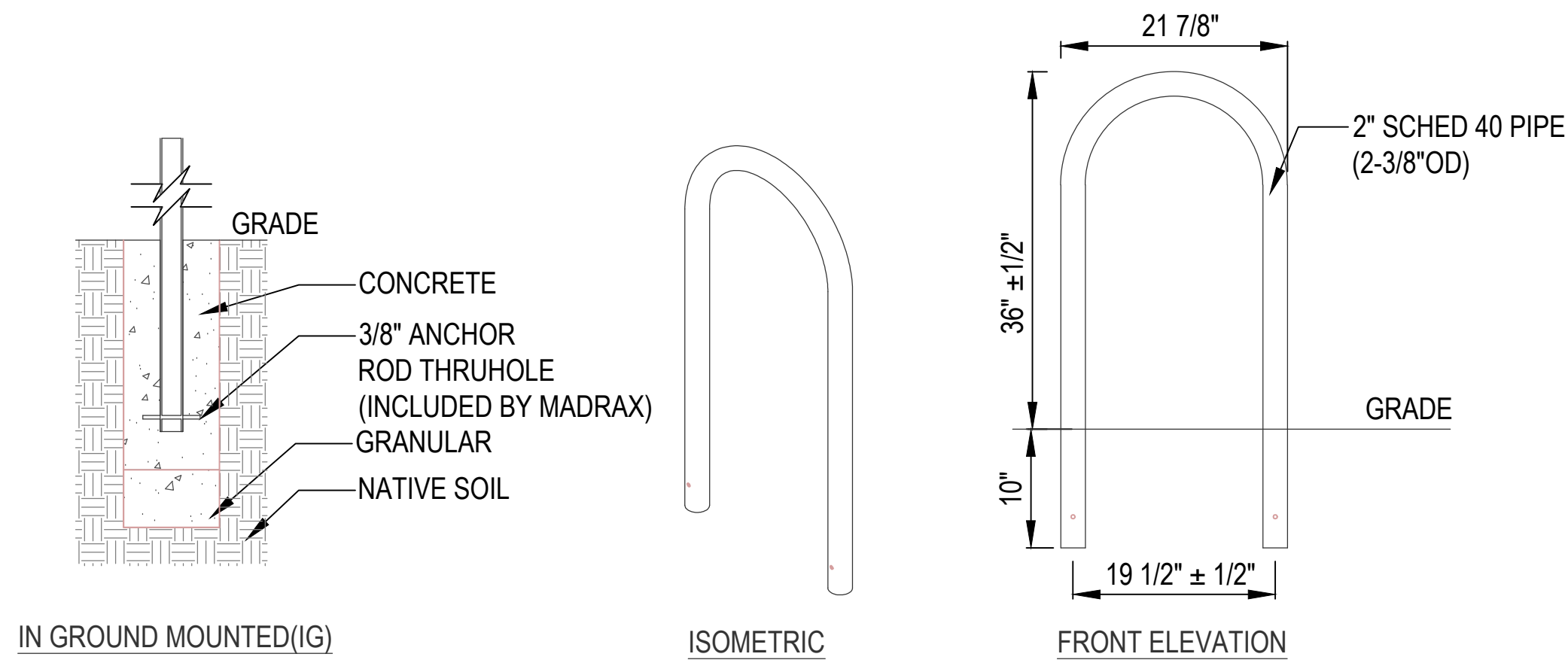
ZONE ATLAS MAP - L-11-Z
N.T.S.

TCL NOTES: 1. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE. 2. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER. 3. REFUSE VEHICLE MANEUVERING SHALL BE CONTAINED ON-SITE. THE REFUSE VEHICLE SHALL NOT BACK INTO THE PUBLIC RIGHT AWAY.	KEYED NOTES 1. INSTALL NEW CONCRETE CURB & GUTTER, AS SHOWN, PER DPM STANDARDS. 2. INSTALL NEW CONCRETE SIDEWALK, PER DPM STANDARDS. 3. INSTALL NEW CONCRETE DRIVEWAY, PER DPM STANDARDS. 4. HANDICAPPED ACCESSIBLE AISLE STRIPING PER LOCAL CITY CODE & STANDARDS WITH THE WORD "NO-PARKING" MIN. 12" HIGH 2" STROKE, BLUE COLOR. 4" WIDE WHITE STRIPING @ 1'-6" O.C. AT 45° ANGLE, TYPICAL. INTERNATIONAL SYMBOL OF ACCESSIBILITY, CENTER IN PARKING SPACE. SYMBOL SHALL BE COLOR WHITE ON BLUE BACKGROUND 5. INSTALL ACCESSIBLE PARKING SIGNAGE, POLE- MOUNTED, AT EACH OF THE (4) SPACES AS SHOWN, SEE DETAIL B/TCL-2 6. INSTALL BIKE RACK, SEE DETAIL A/TCL-2 7. INSTALL PARKING STRIPING AND DIRECTIONAL ARROWS AS SHOWN, PER DPM STANDARDS. 8. INSTALL NEW CONCRETE PAVING, FOR ENTIRE PARKING LOT, TYP. 9. INSTALL CONCRETE PAVING THROUGHOUT OUTDOOR PATIO AREA, TYP. 10. EXISTING 8'-0" HIGH CMU WALL TO REMAIN. 11. NEW 36" HIGH CONCRETE WALL, WITH STUCCO FINISH, SEE DETAIL ____/TCL-2 12. 11'-0"x11'-0" CLEAR SIGHT TRIANGLE, SEE TCL NOTES, THIS SHEET. 13. MOTORCYCLE PARKING SPACE WITH POLE MOUNTED SIGN, SEE DETAIL B/TCL-2
DESIGN STANDARDS 1. ALL CURB ACCESS RAMPS (DRIVE PADS) SHALL BE CONSTRUCTED TO MEET THE CITY OF ALBUQUERQUE STD. DRAWINGS 2425. 2. ALL SIDEWALKS SHALL BE CONSTRUCTED TO MEET THE STD. OF THE CITY OF ALBUQUERQUE STD. DRAWING 2430. 3. ALL SIDEWALK CONSTRUCTION SHALL MEET THE STDs. OF THE CITY OF ALBUQUERQUE STD. DRAWING 2431. 4. ALL SIDEWALK JOINTS AND TRANSITIONS BETWEEN EXISTING AND NEW SIDEWALKS SHALL CONFORM TO THE CITY OF ALBUQUERQUE STD. DRAWING 2450. 5. ALL NEW CURB CUTS TO THE SITE MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STD. DRAWING 2425 WITH THE GUTTER PROFILE MATCHING EXISTING. 6. ALL NEW CURB AND GUTTERS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STD. DRAWING 2415A, MATCHING EXISTING PROFILES.	
PARKING CALCULATIONS REQUIRED SPACES: PER CABQ IDO 2022 RESTAURANT = 8 SPACES PER 1000 S.F. 4,000/1,000= 4x8 = 32 SPACES REQUIRED GENERAL RETAIL = 4 SPACES PER 1000 S.F. 8,000/1,000= 8x4= 32 SPACES REQUIRED ACCESSIBLE PARKING SPACES REQUIRED S1-100 = 04 (1 VAN ACCESSIBLE) TOTAL SPACES REQUIRED= 68 (1 VAN ACCESSIBLE) PARKING SPACES PROVIDED: REGULAR PARKING SPACES = 66 SPACES PROVIDED ACCESSIBLE PARKING SPACES= 04 SPACES PROVIDED (2 VAN ACCESSIBLE) TOTAL SPACES PROVIDED= 70 SPACES PROVIDED	
GENERAL NOTES A. PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED. B. PREMISE IDENTIFICATION - SHALL BE MINIMUM 24 INCHES HIGH x .5 INCH WIDE AND SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL BE VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. C. PROVIDE EXPANSION JOINTS IN CONCRETE WALK @ 40' O.C. AND WHERE CONCRETE ABUTS THE BUILDING. D. G.C. TO PROVIDE FIRE EXTINGUISHERS 2A-10-BC. 1 PER EACH 3,000 SF. REFER TO FLOOR PLANS FOR QUANTITY AND LOCATIONS.	

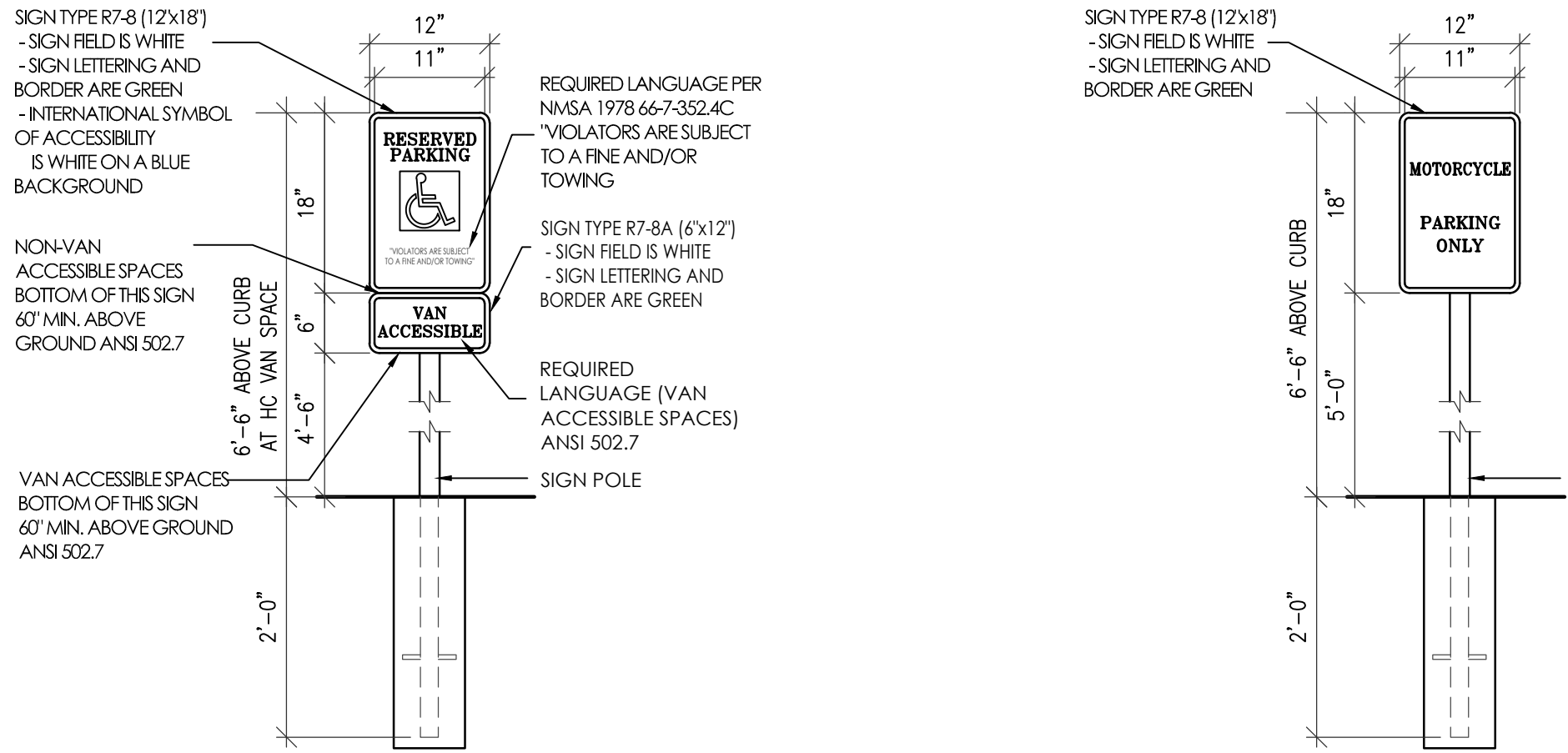


TRAFFIC CIRCULATION LAYOUT PLAN





A BICYCLE RACK DETAIL
SCALE: 3/4"=1'-0"

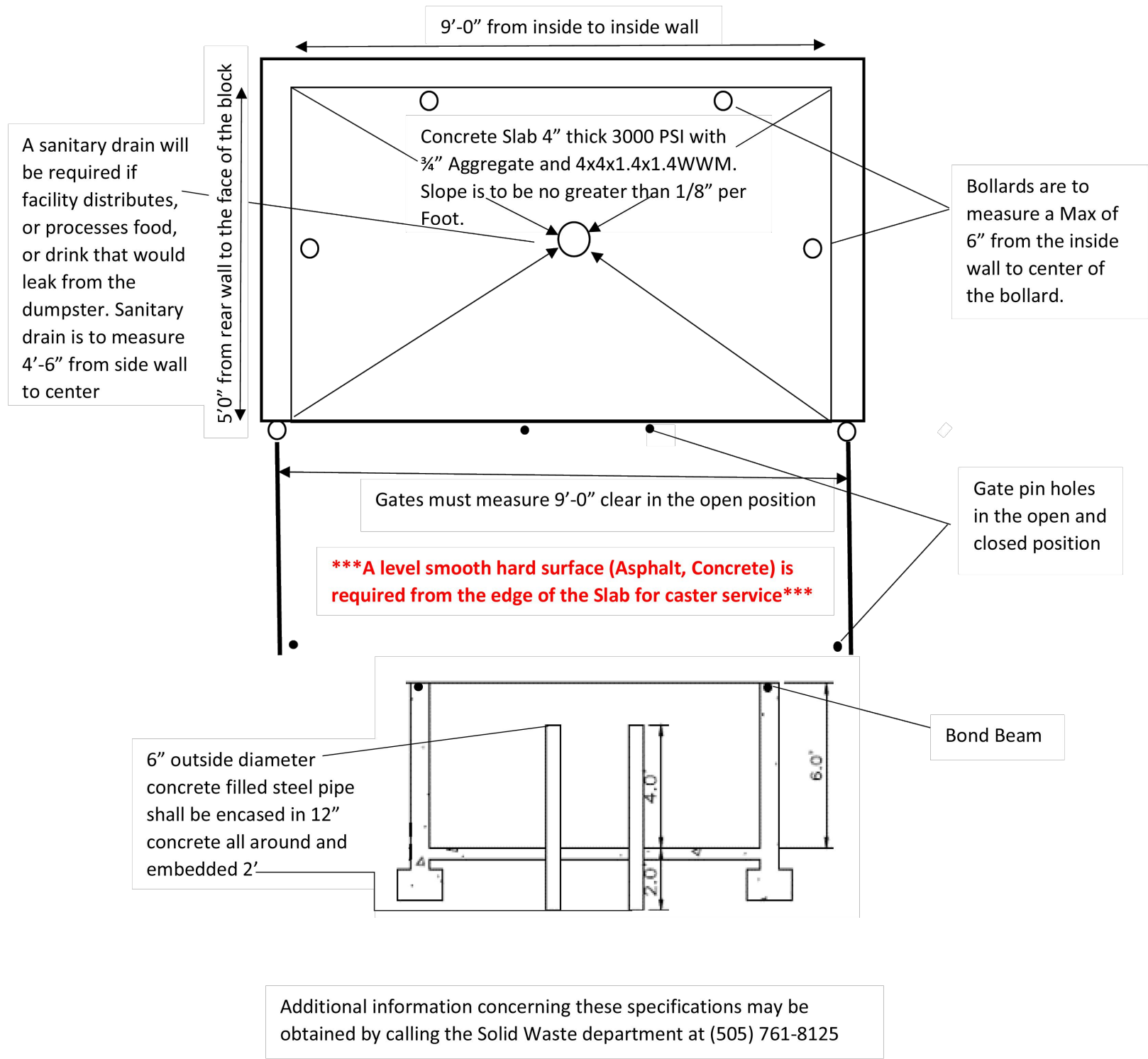


B ACCESSIBLE PARKING SIGN DETAIL
SCALE: 3/4"=1'-0"

C MOTORCYCLE PARKING SIGN DETAIL
SCALE: 3/4"=1'-0"

City of Albuquerque
Solid Waste Management Department
4600 Edith Blvd NE
Albuquerque, NM 87107

Minimum Requirements for a Swanson Enclosure



C REFUSE ENCLOSURE - PLAN AND SECTION
SCALE: 1/4"=1'-0"