

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 19, 2025

Scott Anderson, RA
Scott Anderson & Associates Architects
5009 Royene NE
Albuquerque, NM 87110

scott@scaarchitects.com

Re: Samana Apartments
6501 Bataan SW
Traffic Circulation Layout
Engineer's Stamp 5-1-25 (L11D072) TRANS-2025-00131

Dear Mr. Anderson,

The TCL submittal received 5-12-2025 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, and the TCL to the [ABQ-PLAN](#) for log in and evaluation by Transportation.

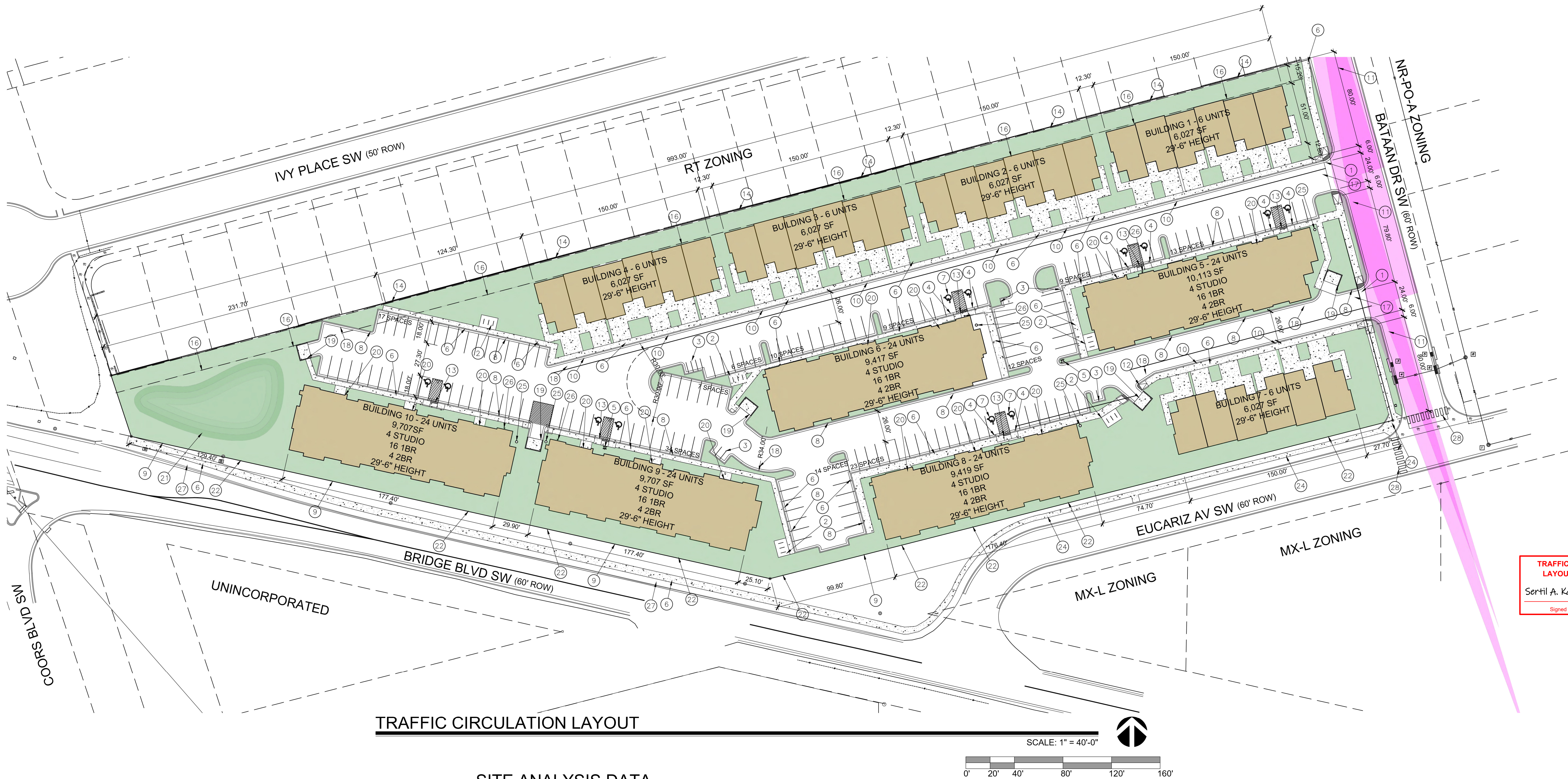
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Sertil A. Kanbar

Sertil Kanbar, PhD, PE, CFM
Sr. Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



TRAFFIC CIRCULATION
LAYOUT APPROVED

Sertil A. Kanbar 5/19/2025

Signed Date

- LEGEND
- BUILDING
 - CONCRETE
 - ASPHALT PAVING
 - LANDSCAPE
 - CLEAR SIGHT TRIANGLE

TRAFFIC CIRCULATION LAYOUT

NOTE:

LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

ALL PAVING SHALL BE SHALL BE ASPHALT UNLESS NOTED OTHERWISE, REF. DETAIL THIS SHEET.

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED IN ACCORDANCE WITH IDO SECTION 5-5 (G).

ALL OUTDOOR LIGHT FIXTURES SHALL BE LED. FIXTURES 70 WATTS OR GREATER SHALL BE SHIELDED USING FULL CUTOFF LIGHT FIXTURES.

BUILDING MOUNTED SIGNS SHALL BE EXTERNALLY ILLUMINATED AND SHALL NOT EXTEND MORE THAN 2 FEET ABOVE THE EXTERIOR WALLS OF THE BUILDING.

WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER.

SITE LIGHTING WILL BE PROVIDED BY LIGHT BOLLARDS AND WALL MOUNTED FIXTURES AND SHALL COMPLY WITH 5-8 OF THE IDO

BROKEN OR CRACKED SIDEWALK IS TO BE REPLACED WITH NEW SIDEWALK PER COA STD DRAWING 2430

ALL TOWNHOUSES SHALL HAVE EV CHARGING IN THE GARAGE

SITE ANALYSIS DATA

UPC: 1010056525424 10601
LEGAL: TRACT 155 UNIT 6 ATRISCO GRANT
ZONING: MX-T
ZONE ATLAS PAGE: L-10 & L-11

GROSS LOT AREA = 5.66 AC = 246,549 SF
BUILDING FOOTPRINT = 78,498 SF
NET LOT AREA = 168,051 SF
REQUIRED LANDSCAPE AREA @ 15% = 25,207 SF ; 55,501 SF PROVIDED

IDO TABLE 5-5-1 PARKING :
MULTI-FAMILY
1 BEDROOM: 108 EACH X 1.2 SPACES = 129.6 SPACES
2 BEDROOM: 12 EACH X 1.8 SPACES = 19.2 SPACES
3 BEDROOM: 30 EACH X 1.8 SPACES = 54 SPACES
TOTAL SPACES REQUIRED: 202.8 SPACES
SPACES PROVIDED = 214 SPACES

MOTORCYCLE PARKING 151-300 SPACES: 5 SPACES REQUIRED / 6 PROVIDED
ADA PARKING 201-300 SPACES: 7 SPACES REQUIRED/ 12 PROVIDED VAN ACCESSIBLE
BIKE PARKING 10% OF 214: 22 REQUIRED. 30 SPACES PROVIDED
EV PARKING 5% OF 214: 11 REQUIRED. 30 PROVIDED

IDO TABLE 2-4-1 OPEN SPACE:
1 BEDROOM: 80 EA X 225 SF X 0.5 = 9,000 SF
2 BEDROOM: 16 EA X 285 SF X 0.5 = 2,280 SF
3 BEDROOM: 30 EA X 350 SF X 0.5 = 5,250 SF
STUDIO: 16 EA X 225 SF X 0.5 = 1,800 SF

TOTAL REQUIRED = 18,330 SF

GRADE LEVEL OPEN SPACE = 81,738 SF PROVIDED
UPPER FLOOR BALCONIES & DECKS = 6,660 SF PROVIDED

IDO 14-16-4-3(B)(8)(b) 1 TREE REQUIRED PER GROUND FLOOR UNIT = 90 TREES
1 TREE REQUIRED FOR 2ND FLOOR UNITS = 60 TREES
TOTAL TREE REQUIREMENT = 150 TREES

SOLID WASTE CALCS:
142 UNITS X 0.55 CY = 78.1 CY PER WEEK

SOLID WASTE NOTES:

THE SLOPE LEADING TO THE TRASH ENCLOSURE/DUMPSTER SHALL BE NO GREATER THAN 1/8" PER FOOT ON THE APPROACH.

THERE IS NO FOOD SERVICE FOR THIS PROJECT.

RECYCLING CONTAINERS LOCATED ADJACENT TO THE REFUSE ENCLOSURE, SEE KEYED NOTE.

THIS FACILITY WILL NOT DISTRIBUTE, OR PROCESS FOOD, OR DRINK THAT WOULD LEAK FROM THE REFUSE CONTAINER.

THE REFUSE DRIVER SHALL HAVE ACCESS TO TRASH ENCLOSURE/DUMPSTER BY 5:00AM.

THERE ARE NO OVERHANGING WIRES LEADING TO AND EXITING FROM THE TRASH ENCLOSURE.

THIS PROJECT WILL NOT ALTER EXISTING TRASH SERVICE FOR THE SURROUNDING BUSINESSES DURING CONSTRUCTION.

PROPERTY OWNER RESPONSIBLE FOR PLACING RECYCLING AT DESIGNATED COLLECTION POINT ON COLLECTION DAY.


OWNER SHALL PURCHASE 8 CY REFUSE CONTAINER.

KEYED NOTES

- NEW DRIVE CUT REF CITY OF ALBUQUERQUE STANDARD DETAIL 2426 FOLLOW PARALLEL RAMP DETAIL, NOTE DETAIL 2446 FOR DETECTABLE WARNING SURFACE.
- 6 SPACE BIKE RACK, REF DETAIL SHEET A-501
- MOTORCYCLE PARKING SIGN REF DETAIL SHEET A-501
- H.C. PARKING SIGN, REF DETAIL ON SHEET A-501
- NEW FIRE HYDRANT
- NEW 6' SIDEWALK, 2% MAX CROSS SLOPE, 1.5% PREFERRED CROSS SLOPE, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2430
- HC PARKING SYMBOL
- CURB AND GUTTER, REF COA DETAIL
- EXISTING PROPERTY LINE
- NEW ROLL CURB REF CITY OF ALBUQUERQUE STANDARD DETAIL 2415A.
- CLEAR SIGHT TRIANGLE, LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FT TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
- CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2441, NOTE DETAIL 2446 FOR DETECTABLE WARNING SURFACE
- PARALLEL RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2443
- EXISTING BLOCK WALL
- REFUSE CONTAINER, REF DETAIL THIS SHEET
- IDO SETBACK LINE
- ASPHALT PAVING
- RECYCLING CONTAINER STORAGE POINT
- TRASH ENCLOSURE
- FRONT DOOR
- RETENTION POND
- NEW 6FT RETENTION WALL
- NEW METAL FENCE REFERENCE DETAIL ON A-501
- EXISTING 5FT SIDEWALK
- PIV
- FDC
- 5FT LANDSCAPE BUFFER
- NEW CROSSWALK

ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WALL
MUST BE INCLUDED ON A PUBLIC WORK ORDER

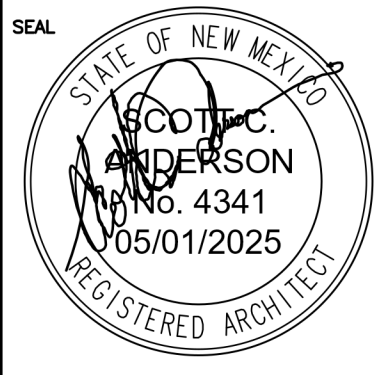
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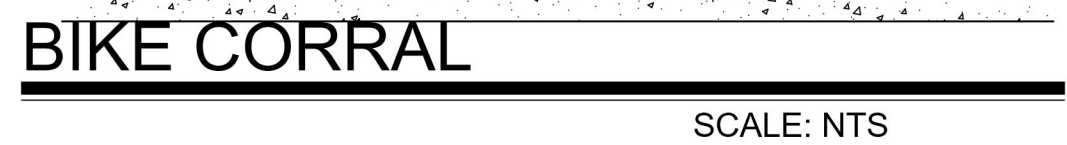




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505.401.7375

SAMANA APARTMENTS
6501 BATAAN DR SW
ALBUQUERQUE, NM 87109

DRAWING TITLE
TRAFFIC CIRCULATION LAYOUT

SEAL 	DESIGNED DRAWN CHECKED REVIEWED DATE 05/01/2025	PROJECT NO SCALE DRAWING NO A-100 OF
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