

SCOTT C. ANDERSON & associates architects

2818 4th St. NW, Suite C. Albuquerque NM 87107 scott@scaarchitects.com 505.401.7575

May 9, 2025

Sertil A. Kanbar, PhD, PE, CFM Senior Engineer Planning Department, Development Review Services City of Albuquerque PO Box 1293 Albuquerque, NM 87103

RE: TCL Comments Samana Apartments 6501 Bataan SW

Dear Mr. Kanbar:

I am writing in response to the review comments dated March 3, 2025

- 1) The PDF dots were removed.
- 2) Airport Dr. ROW added, there are no sidewalks on Airport, they are on Coors Blvd. The Survey is attached for your reference. The widths of sidewalks for all other streets added.
- 3) The street name was corrected.
- 4) Sidewalk and buffer dimensions added.
- 5) Crosswalks added.
- 6) Details moved to separate sheet.
- 7) Detail references corrected.
- 8) Sheet name changed
- 9) Noted.

Respectfully,

Scott C. Anderson AIA

Principal

Scott Anderson & Associates Architects



City of Albuquerque

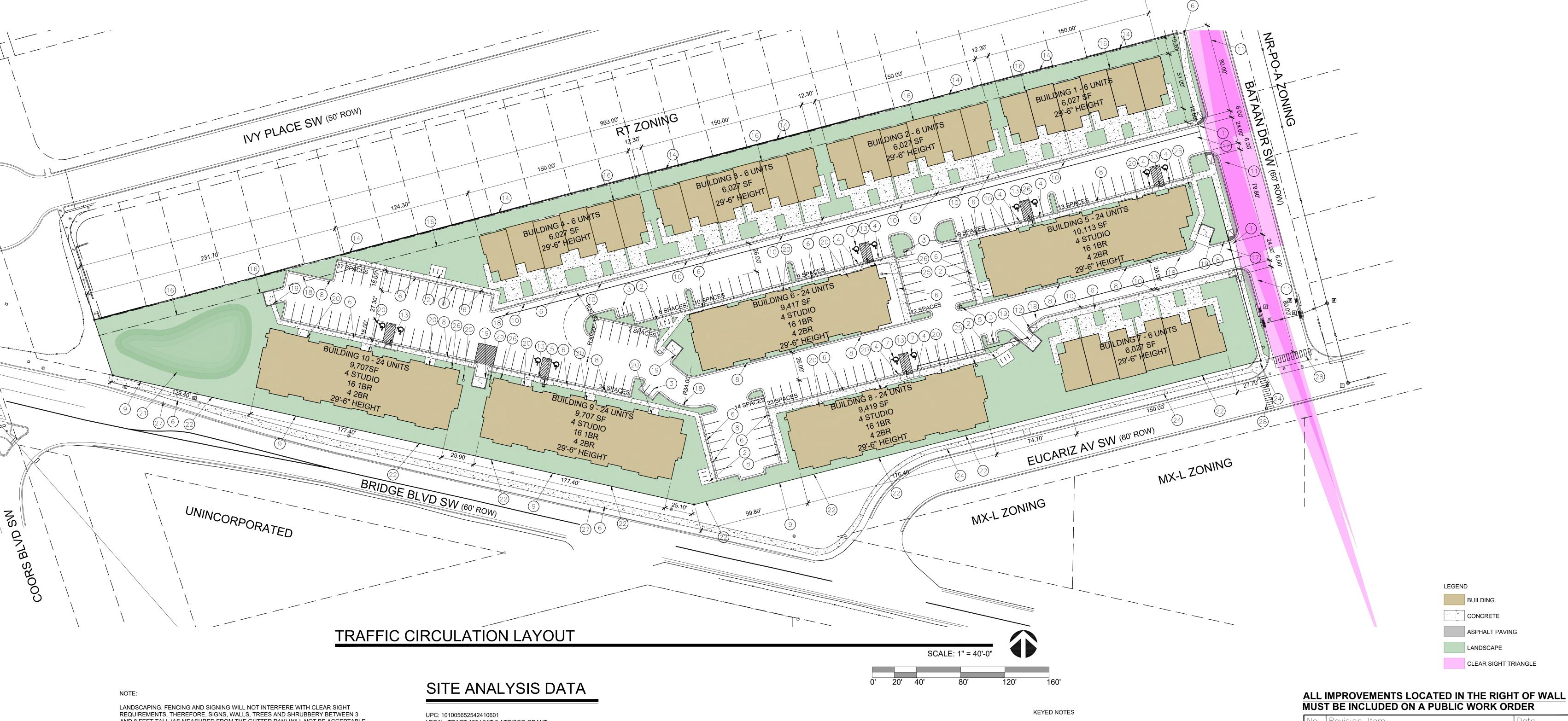
Planning Department
Development Review Services Division

Traffic Scoping Form (REV 05/2024)

Project Title:		
Zone Atlas Page:	DFT/DHO #:	BP #:
Development Street Address	ss:	
(If no City Address include	a Vicinity Map with site highlighted and	legible street names)
		Contact:
	E-mail:	
1 попсπ.	L-man.	
Development Information	1	
Build out/Implementation Yea	ar:	
Existing Use:		
Describe Proposed Developme		
Days and Hours of Operation	(if known):	
<u>Facility</u>		
Building Size (sq. ft.):		
Number of Residential Units:		
Number of Commercial Units	::	
Fraffic Considerations		
	isitors/Patrons (if known):*	
	ees (if known):*	
Expected Number of Delivery	Trucks/Buses per Day (if known):*	
Trip Generations during PM/A	AM Peak Hour and ITE # (if known):*	
Driveway(s) Located on: Street	Name	
Adjacent Roadway(s) Posted S	Speed: Street Name	Speed
	Street Name	Speed

^{*} If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required.

Roadway Information (adjacent	to site)	
Comprehensive Plan Corridor Designa https://cabq.maps.arcgis.com/apps/webappviewer/in	ation (e.g. Main Street, Major Transdex.html?id=53bf716981b14d25a31	sit, N/A):
Comprehensive Plan Center Designati https://cabq.maps.arcgis.com/apps/webappviewer/in		
Street Functional Classification (e.g. Pri https://cabq.maps.arcgis.com/apps/webappviewer/in	ncipal Arterial, Collector): dex.html?id=53bf716981b14d25a31e	27a2549c2d61b
Jurisdiction of roadway (NMDOT, Cir	ty, County):	
Adjacent Roadway(s):		
Name:	_Traffic Volume:	Volume-to-Capacity Ratio (v/c):
Name:	_Traffic Volume:	Volume-to-Capacity Ratio (v/c):
Traffic Volume and V/C Ratio: https://www.nm.gov/574/Transportation-Analysis-and-		e-Flow-Maps-and-Busiest-Intersecti and https://mrcog-
Adjacent Transit Service(s): https://www.cabq.gov/gis/advanced-map-viewer	Nearest	Transit Stop(s):
Is site within 660 feet of Premium Tra https://cabq.maps.arcgis.com/apps/webappviewer/in		
Current/Proposed Bicycle Infrastructu Bikeways: https://mrcog-nm.gov/544/Lon		
Current/Proposed Sidewalk and buffer Sidewalk and buffer width: DPM Table 7		
Submit by email to Traffic Engineer C	Curtis Cherne: ccherne@cal	oq.gov. Email or call 505-924-3986 for information.
For City Personnel Use:		
TIS Determination		
Note: Changes made to development TIS determination.	proposals / assumptions, fr	om the information provided above, will result in a new
Traffic Impact Study (TIS) Require	d: Yes [] No []	
Thresholds Met? Yes [] No []		
Mitigating Reasons for Not Requiring	TIS and/or Notes:	
TRAFFIC ENGINEER	DATE	-



AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

ALL PAVING SHALL BE SHALL BE ASPHALT UNLESS NOTED OTHERWISE, REF. DETAIL THIS SHEET.

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED IN ACCORDANCE WITH IDO SECTION 5-5 (G).

ALL OUTDOOR LIGHT FIXTURES SHALL BE LED. FIXTURES 70 WATTS OR GREATER SHALL BE SHIELDED USING FULL CUTOFF LIGHT FIXTURES.

BUILDING MOUNTED SIGNS SHALL BE EXTERNALLY ILLUMINATED AND SHALL NOT EXTEND MORE THAN 2 FEET ABOVE THE EXTERIOR WALLS OF THE BUILDING.

WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER.

SITE LIGHTING WILL BE PROVIDED BY LIGHT BOLLARDS AND WALL MOUNTED FIXTURES AND SHALL COMPLY WITH 5-8 OF THE IDO

BROKEN OR CRACKED SIDEWALK IS TO BE REPLACED WITH NEW SIDEWALK PER COA

STD DRAWING 2430 ALL TOWNHOUSES SHALL HAVE EV CHARGING IN THE GARAGE LEGAL: TRACT 155 UNIT 6 ATRISCO GRANT ZONING: MX-T ZONE ATLAS PAGE: L-10 & L-11

GROSS LOT AREA = 5.66 AC = 246,549 SF BUILDING FOOTPRINT = 78,498 SF NET LOT AREA = 168,051 SF

REQUIRED LANDSCAPE AREA @ 15% = 25,207 SF; 55,501 SF PROVIDED

IDO TABLE 5-5-1 PARKING : MULTI-FAMILY

1 BEDROOM: 108 EACH X 1.2 SPACES = 129.6 SPACES 2 BEDROOM: 12 EACH X 1.6 SPACES = 19.2 SPACES 3 BEDROOM: 30 EACH X 1.8 SPACES = 54 SPACES TOTAL SPACES REQUIRED: 202.8 SPACES SPACES PROVIDED = 214 SPACES

EV PARKING 5% OF 214: 11 REQUIRED, 30 PROVIDED

MOTORCYCLE PARKING 151-300 SPACES: 5 SPACES REQUIRED / 6 PROVIDED ADA PARKING 201-300 SPACES: 7 SPACES REQUIRED/ 12 PROVIDED VAN ACCESSIBLE BIKE PARKING 10% OF 214: 22 REQUIRED, 30 SPACES PROVIDED

IDO TABLE 2-4-1 OPEN SPACE: 1 BEDROOM: 80 EA X 225 SF X 0.5 = 9,000 SF 2 BEDROOM: 16 EA X 285 SF X 0.5 = 2,280 SF 3 BEDROOM: 30 EA x 350 SF X 0.5 = 5,250 SF STUDIO: 16 EA X 225 SF X 0.5 = 1,800 SF

TOTAL REQUIRED = 18,330 SF

GRADE LEVEL OPEN SPACE = 81,738 SF PROVIDED UPPER FLOOR BALCONIES & DECKS = 6,660 SF PROVIDED

IDO 14-16-4-3(B)(8)(b) 1 TREE REQUIRED PER GROUND FLOOR UNIT = 90 TREES 1 TREE REQUIRED FOR 2ND FLOOR UNITS = 60 TREES TOTAL TREE REQUIREMENT = 150 TREES

SOLID WASTE CALCS: 142 UNITS X 0.55 CY = 78.1 CY PER WEEK

SOLID WASTE NOTES:

THE SLOPE LEADING TO THE TRASH ENCLOSURE/DUMPSTER SHALL BE NO GREATER THAN 1/8" PER FOOT ON THE APPROACH.

THERE IS NO FOOD SERVICE FOR THIS PROJECT.

RECYCLING CONTAINERS LOCATED ADJACENT TO THE REFUSE ENCLOSURE, SEE KEYED NOTE.

THIS FACILITY WILL NOT DISTRIBUTE, OR PROCESS FOOD, OR DRINK THAT WOULD LEAK FROM THE REFUSE CONTAINER.

THE REFUSE DRIVER SHALL HAVE ACCESS TO TRASH ENCLOSURE/DUMPSTER BY

THERE ARE NO OVERHANGING WIRES LEADING TO AND EXITING FROM THE TRASH ENCLOSURE.

THIS PROJECT WILL NOT ALTER EXISTING TRASH SERVICE FOR THE SURROUNDING BUSINESSES DURING CONSTRUCTION.

PROPERTY OWNER RESPONSIBLE FOR PLACING RECYCLING AT DESIGNATED COLLECTION POINT ON COLLECTION DAY.

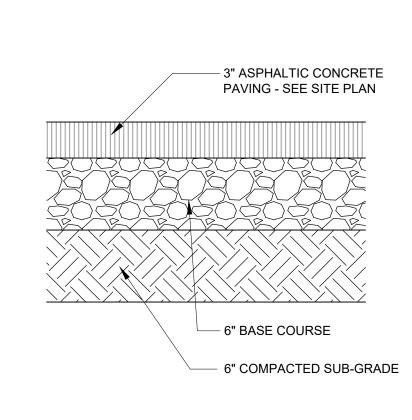
OWNER SHALL PURCHASE 8 CY REFUSE CONTAINER.

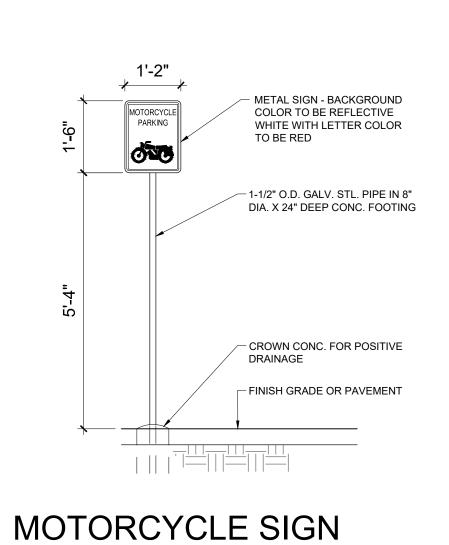
- 1. NEW DRIVE CUT REF CITY OF ALBUQUERQUE STANDARD DETAIL 2426 FOLLOW PARALLEL RAMP DETAIL, NOTE DETAIL 2446 FOR DETECTABLE WARNING SURFACE.
- 2. 6 SPACE BIKE RACK, REF DETAIL SHEET A-501
- 3. MOTORCYCLE PARKING SIGN REF DETAIL SHEET A-501
- 4. H.C. PARKING SIGN, REF DETAIL ON SHEET A-501 NEW FIRE HYDRANT
- NEW 6' SIDEWALK, 2% MAX CROSS SLOPE, 1.5% PREFERRED CROSS SLOPE, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2430
- HC PARKING SYMBOL 8. CURB AND GUTTER, REF COA DETAIL
- 9. EXISTING PROPERTY LINE
- 10. NEW ROLL CURB REF CITY OF ALBUQUERQUE STANDARD DETAIL 2415A. 11. CLEAR SIGHT TRIANGLE. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FT TALL (AS MEASURED FROM THE
- 12. CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2441, NOTE DETAIL 2446 FOR DETECTABLE WARNING SURFACE

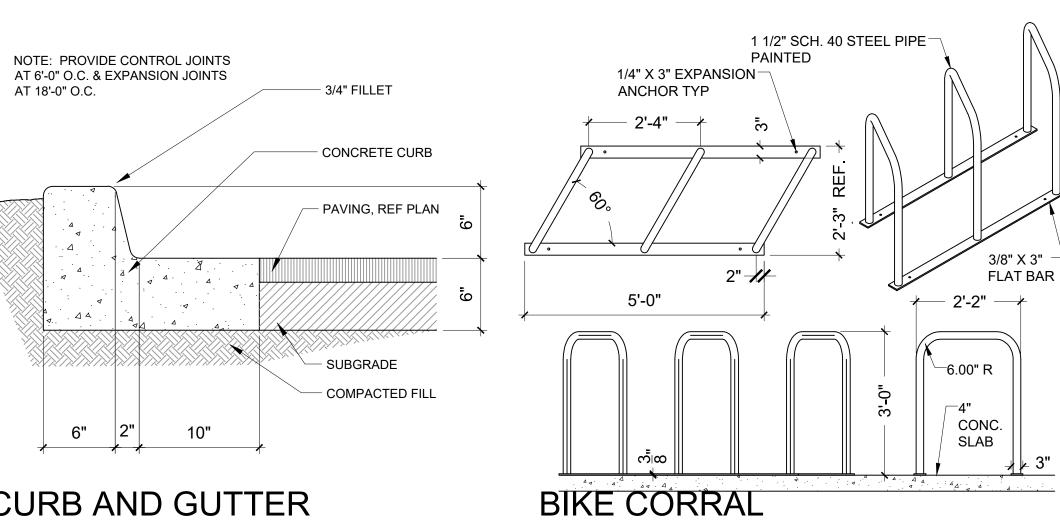
GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE

- 13. PARALLEL RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2443
- 14. EXISTING BLOCK WALL
- 15. REFUSE CONTAINER, REF DETAIL THIS SHEET
- 16. IDO SETBACK LINE 17. APSHALT PAVING
- 18. RECYCLING CONTAINER STORAGE POINT 19. TRASH ENCLOSURE
- 20. FRONT DOOR 21. RETENTION POND
- 22. NEW 6FT RETENTION WALL
- 23. NEW METAL FENCE REFERENCE DETAIL ON A-501 24. EXISTING 5FT SIDEWALK
- 25. PIV 26. FDC
- 27. 5FT LANDSCAPE BUFFER 28. NEW CROSSWALK

No Revision Item			Date		
	& associate 2818 4th St NW, Suite scott@sc	ANDERSON es architects C Albuquerque NM 87107 caarchitects.com 401.7575			
SAMANA APAR		401.7373			
6501 BATAAN I	OR SW				
ALBUQUERQU	E, NM 8710)9			
DRAWING TITLE TRAFF	IC CIRCUL	ATION LAYO	DUT		
SEAL OF NEW MEX	DESIGNED	PROJECT NO			
E COTTUC.	DRAWN	DRAWN SCALE			
PRIDERSON (NEW)	CHECKED				
$\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ $	REVIEWED	00			
STERED ARCHITE	DATE 05/01/2025		OF		







PAVING SECTION

SCALE: NTS

CLEAR ZONE

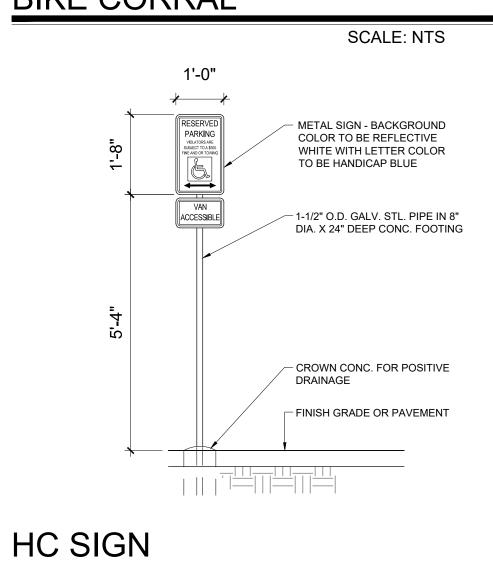
-4" CONC. SLAB

SCALE: 1/2" = 1'-0"

CURB AND GUTTER

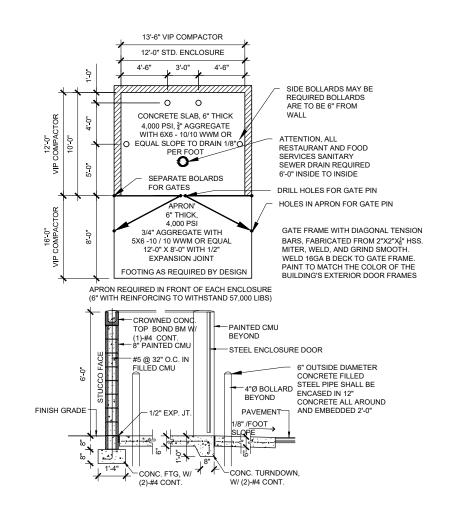
HC PARKING SIGN, REF DETAIL -WHEEL STOP PEDESTRIAN ROUTE - 4" STRIPE @ 36" OC PER NMSA, THE ADA ADJACENT ACCESS AISLE SHALL BE CLEARLY MARKED BY DIAGONAL, BLUE PAVEMENT STRIPING INTERNATIONAL SYMBOL
OF ACCESSIBILITY 36" PARKING -12" HIGH LETTERING WITHIN 8'-0" 9'-0" ACCESS AISLE MIN MIN

ADA PARKING



Revision Item SCOTT C. ANDERSON & associates architects 2818 4th St NW, Suite C Albuquerque NM 87107 scott@scaarchitects.com 505.401.7575 SAMANA APARTMENTS 6501 BATAAN DR SW ALBUQUERQUE, NM 87109 DRAWING TITLE SITE DETAILS PROJECT NO CHECKED 05/01/2025 REVIEWED

DATE 5/1/2025



TRASH ENCLOSURE

SCALE: 1/8" = 1'-0"

BIKE PARKING

1'-0" 2'-0" 2'-0" 2'-0" 2'-0"1'-0"

SCALE: 1/4" = 1'-0"

HC PAVEMENT MARKING

2'-3"

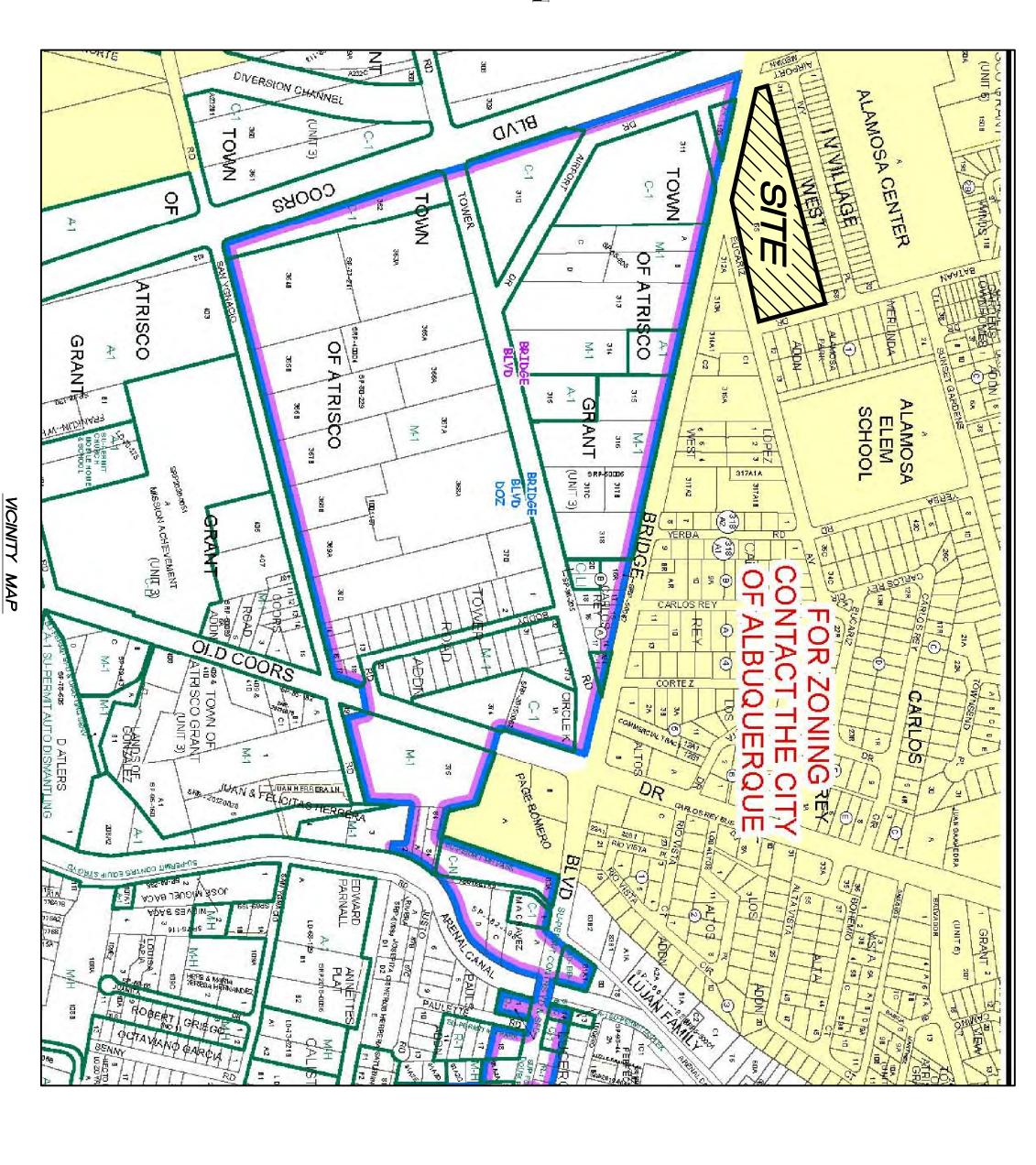
SCALE: NTS

- PAINTED IN WHITE

SCALE: NTS

SCALE: $\frac{1}{8}$ " = 1'-0"

SCALE: NTS



- from an JNIT 6 OF CITY OF Garry P. annary 3, "HUGG 9750"
- at were set are either a concrete nail with se indicated hereon.

- hown and designated and L-11, dated May

8 RIM ELEV.= 5015.16	7 TOP OF GRATE= 5036.25		5 TOP OF GRATE= 5014.18 6 TOP OF GRATE= 5014.11		3 TOP OF GRATE= 5014.35 4 TOP OF GRATE= 5014.46		_	2 RIM ELEV.= 5016.53	1 RIM ELEV.= 5014.28	STORM SEWER MANHOLES AND INLETS	
<u>(-)</u>	(\bar{\bar{\bar{\bar{\bar{\bar{\bar{	<u>(C)</u>	\bigcirc	(i)	\bigcirc	E	0	0	\bigcirc	(SAI
Approximate Sewer service locations per construction plans	RIM ELEV.= 5016.17	RIM ELEV.= 5033.91	RIM ELEV.= 5035.92	RIM ELEV.= 5034.54	RIM ELEV.= 5033.47	RIM ELEV.= 5028.90	RIM ELEV.= 5024.90	RIM ELEV.= 5020.03	RIM ELEV.= 5014.14	RIM ELEV.= 5019.09	SANITARY SEWER MANHOLES

and field notes for Atrisco Grant, Unit 6, Sanitary Sewer Extension SAS-53-71 dated 10-15-1971.

THE RETAINING OF A PRIVATE UTILITY LINE—SPOTTING COMPANY MAY BE NECESSARY FOR COMPLETE UTILITY LINE—SPOTTING OF A SUBJECT PROPERTY. PAINT MARKS AND FLAGGING SET ON THE GROUND BY UTILITY COMPANIES AND OTHERS ARE USED TO DESIGNATE UNDERGROUND UTILITIES AS SHOWN HEREON: RED FOR ELECTRIC, BLUE FOR WATER, YELLOW FOR GAS, ORANGE FOR COMMUNICATIONS, GREEN FOR SEWER. ANY PIPE SIZES OR MATERIAL TYPES SHOWN HEREON WERE DERIVED FROM ASBUILT PLANS AS PROVIDED BY THE VARIOUS UTILITY COMPANIES. SURV—TEK, INC. MAKES NO REPRESENTATION THAT SAID INFORMATION IS CURRENT OR CORRECT. ARCHITECT, ENGINEER, AND CONTRACTOR WILL BE RESPONSIBLE FOR VERIFICATION OF SAID INFORMATION DURING THEIR DESIGN PROCESS. QUALIFIED SUBSURFACE UTILITY ENGINEERING (SUE) SERVICES MAY BE REQUIRED. UTILITIES LABELED WITH AN ASTERISK (*) ARE DERIVED OR TRANSCRIBED FROM PROVIDED PLANS AND MUST BE VERIFIED BY THE APPROPRIATE UTILITY. UTILITIES LABELED WITH AN POUND SIGN (#) ARE ASSUMED UTILITY LOCATIONS AND MUST BE VERIFIED BY THE APPROPRIATE UTILITY. SOURCE INFORMATION FROM PLANS AND MARKINGS HAVE BEEN BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY. NM 811 LOCATE REQUEST TICKET NUMBER 24MY210096, CREATION DATE: 05/21/24. THERE MAY BE PRIVATE UNDERGROUND UTILITY LINES NOT MITHIN DOCUMENTED EASEMENTS THAT WERE NOT MARKED OUT BY UTILITY LINE—SPOTTING COMPANIES NOTIFIED BY NM811 THIS PROJECT WAS CALLED IN TO NM811 AS A "DESIGN LOCATE". SOME UTILITY LINE—SPOTTING COMPANIES NOTIFIED BY NM811 CONSIDER "DESIGN LOCATE" CALLS AS LOW PRIORITY AND IN SOME CASES DELAY RESPONSE, PARTIALLY COMPLETE OR NOT RESPOND AT ALL.

SCHEDULE B, PART II As contained in the Title Commi Old Republic National Title Insura 22402092, Effective Date: April EXCEPTIONS

- (0)Reservations contained in the Patent from the United States of America, recorded August 21, 1905 in Book 35, Page 91, records of Bernalillo County, New Mexico. (Affects subject property— not plottable) ance Compa 29, 2024. this property by mitment Number
- 11. 70. All title and interest in and to oil, gas, coal and all other minerals within and underlying the premises, together with all other rights, privileges and immunities relating thereto.
 (Affects subject property— Non survey matter) Existing easements and rights of way. (Affects subject property— No Easements are cited in therefore none are plotted hereon) ule B,
- (i)Pro rata charges for water, sewer, and/or standby charges and any possible assessments for paving, sidewalk, sewer and water extensions which are or might be a lien by law but have not yet been filed for record in the Office of the County Clerk of Bernalillo County, New Mexico.

 (Affects subject property— Non survey matter)

DOCUMENTS USED IN PREPARATION OF THIS SURVEY:

- Jnrecorded Plat of Survey entitled "PLAT OF SURVEY TRACT 155, JNIT 6 OF VARIOUS TRACTS ALLOTTED FROM THE TOWN OF ATRISCO SRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO" serformed by Garry P. Hugg, New Mexico Professional Surveyor Number 5823, dated January 3, 1991.
- Plat entitled "AMENDED I.V. VILLAGE WEST A SUBDIVISION, ALBUQUERQUE, NEW MEXICO", filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 9, 1980 in Volume C17, Folio 61.
- Title Commitment prepared for this property by Old Republic National Title Insurance Company Commitment Number 22402092, Effective Date: April 29, 2024.
- Plat entitled "MERLIDA ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING A SUBDIVISION OF TRACTS 200-201-202 & WESTERLY PORTION OF TRACT 203, UNIT NO. SIX OF LANDS ALLOTTED FROM TOWN OF ATRISCO GRANT", filed in the Office of the County Clerk of Bernalillo County, New Mexico on October 4, 1946 in Volume B1, Folio 113.
- Certificate of Survey entitled "SURVEY OF TRACT 154, UNIT NO. ATRISCO GRANT", filed in the Office of the County Clerk of Berna County, New Mexico on July 31, 1970 in Volume A3, Folio 14.
- Plat entitled "LOTS 25-30 & 66-58, I.V. VILLAGE WEST BEING A REPLAT OF TRACT 154-A, OF THE AMENDED I.V. VILLAGE WEST, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the Office of the County Clerk of Bernalillo County, New Mexico on August 12, 1982 in Volume C20, Folio 14.
- Construction Plans entitled "DEVELOPMENT PLANS FOR CONSTRUCTION OF SOUTHWEST ISD OFFICE WATERLINE", prepared by Jean Bordenave, NM PE & PS no. 5110, dated April 11, 2008.
- Construction Plans entitled "SPECIAL ASSESSMENT DISTRICT 221, EUCARIZ AVENUE S.W.", prepared by Steven Metro, NM PE No. 8220, dated November 3, 1992. Construction Plans entitled "ATRISCO TRUNK MASTER PLAN WATER prepared by Boyle Engineering Corp. dated May 13, 1997.

The subject property lies within a Zone X (Area of minimal flood hazard) flood hazard area as shown on the National Flood Insurance Program, Flood Insurance Rate Maps Panel 35001C0329 H, dated August 16, 2012.

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Water Valve	Water Meter	Water Line Sanitary Sewer Clean—out	Under Ground Electric	Gas Line	lelepnone rine	Cable lelevision Line	Communications Line	Overhead Wires	Guy Wire	High Voltage Tower	Power Pole	Storm Sewer Line Storm Drain Inlet	Sanitary Sewer Line	Manhole Unknown Utility	Sanitary Sewer Manhole as shown on provided plans — Not Found	Sanitary Sewer Manhole	plans - Not Found	Storm Drain Manhole as shown on provided	
	8	\ominus		증품			M (G)	> °°°		(3)	0	0							
Electric Manhole	Water Manhole	Telephone Manhole	Wall	Handicap Parking Sign	Sign	Fiber Optic Pedestal	litility Pedestal	Concrete Symbol	Bollard	Light Pole w/2' conc base	Guard Rail	Chain Link Fence	Utility Box	PedestrianTraffic Light Post	Traffic Light Post	Telephone Pedestal	Traffic Pull Box	Electric Transformer	

VARIOUS TH THE TOWN TRACT 155 UNIT

S ALLOTTED ATRISCO GRANT

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PROJECTED SECTIONS 26 AND 2 OWNSHIP 10 NORTH , RANGE 2 EA NEW MEXICO PRINCIPAL MERIDIAN ME) XICO

N.15 deg.06' W, 307.70 f Bataan Road to the Nort! S.74 deg.54' W, 1009.61 i 18 deg.23' E, 53.86 feet along the Easterly righ irport Road to the Southwest corner; thence, herein described, , R.2E., N.M.P.M., ning thence h-of-way line of

N 18° 15'51"W, Airport Drive S.W. described. N 77°27'00"W , 538.85 feet along said Northerly right of way line of Bridge Boulevard S.W. to a point of intersection with said Easterly right of way line of Airport Drive S.W.; Thence, 15°00'21"E , 305.75 feet along said W taan Drive S.W. to a point of intersection y line of Eucariz Avenue S.W.; Thence, 529.07 feet along said Northerly right of way line of to a point of intersection with the Northerly right lge Boulevard S.W. (a 5/8" Rebar and cap stamped place); Thence, aid Easterly right of way line of beginning of the parcel herein ne common to said Tract 155 Westerly right of way line of corner of the parcel herein stamped "L.S. 5823" found in esterly right of way line of with the Northerly right of 5 (a 5/8" Rebar ne of Airport Drive lage West as the ed "AMENDED I.V. f Bernalillo County, io 61, whence the s S 43°36'52" W,

on which it is based um Standard Detail intly established and 3, 4, 5, 6(a), 7(a), 8, The field work was mpany; Southside and Old Republic

