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May 9, 2025

Sertil A. Kanbar, PhD, PE, CFM
Senior Engineer
Planning Department, Development Review Services
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

RE: TCL Comments Samana Apartments 6501 Bataan SW

Dear Mr. Kanbar:

I am writing in response to the review comments dated March 3, 2025

- 1) The PDF dots were removed.
- 2) Airport Dr. ROW added, there are no sidewalks on Airport, they are on Coors Blvd. The Survey is attached for your reference. The widths of sidewalks for all other streets added.
- 3) The street name was corrected.
- 4) Sidewalk and buffer dimensions added.
- 5) Crosswalks added.
- 6) Details moved to separate sheet.
- 7) Detail references corrected.
- 8) Sheet name changed
- 9) Noted.

Respectfully,

Scott C. Anderson AIA
Principal
Scott Anderson & Associates Architects



City of Albuquerque

Planning Department
Development Review Services Division

Traffic Scoping Form (REV 05/2024)

Project Title: _____

Zone Atlas Page: _____ DFT/DHO #: _____ BP #: _____

Development Street Address: _____

(If no City Address include a Vicinity Map with site highlighted and legible street names)

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ E-mail: _____

Development Information

Build out/Implementation Year: _____

Existing Use: _____

Describe Proposed Development and Uses:

Days and Hours of Operation (if known): _____

Facility

Building Size (sq. ft.): _____

Number of Residential Units: _____

Number of Commercial Units: _____

Traffic Considerations

Expected Number of Daily Visitors/Patrons (if known):* _____

Expected Number of Employees (if known):* _____

Expected Number of Delivery Trucks/Buses per Day (if known):* _____

Trip Generations during PM/AM Peak Hour and ITE # (if known):* _____

Driveway(s) Located on: Street Name _____

Adjacent Roadway(s) Posted Speed: Street Name _____ Speed _____

Street Name _____ Speed _____

** If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required.*

Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation (e.g. Main Street, Major Transit, N/A): _____
<https://cabq.maps.arcgis.com/apps/webappviewer/index.html?id=53bf716981b14d25a31e7a2549c2d61b>

Comprehensive Plan Center Designation (e.g. urban center, Downtown, N/A): _____
<https://cabq.maps.arcgis.com/apps/webappviewer/index.html?id=53bf716981b14d25a31e7a2549c2d61b>

Street Functional Classification (e.g. Principal Arterial, Collector) : _____
<https://cabq.maps.arcgis.com/apps/webappviewer/index.html?id=53bf716981b14d25a31e7a2549c2d61b>

Jurisdiction of roadway (NMDOT, City, County): _____

Adjacent Roadway(s):

Name: _____ Traffic Volume: _____ Volume-to-Capacity Ratio (v/c): _____

Name: _____ Traffic Volume: _____ Volume-to-Capacity Ratio (v/c): _____

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/623/Traffic-Flow-Maps-and-Busiest-Intersecti> and <https://mrcog-nm.gov/574/Transportation-Analysis-and-Querying-App>

Adjacent Transit Service(s) : _____ Nearest Transit Stop(s): _____
<https://www.cabq.gov/gis/advanced-map-viewer>

Is site within 660 feet of Premium Transit?: _____
<https://cabq.maps.arcgis.com/apps/webappviewer/index.html?id=53bf716981b14d25a31e7a2549c2d61b>

Current/Proposed Bicycle Infrastructure : _____

Bikeways: <https://mrcog-nm.gov/544/Long-Range-System-maps>

Current/Proposed Sidewalk and buffer Infrastructure: _____

Sidewalk and buffer width : DPM Table 7.2.29

Submit by email to Traffic Engineer Curtis Cherne: ccherne@cabq.gov. Email or call 505-924-3986 for information.

For City Personnel Use:

TIS Determination

Note: Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [] No []

Thresholds Met? Yes [] No []

Mitigating Reasons for Not Requiring TIS and/or Notes:

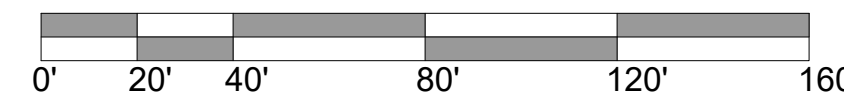
TRAFFIC ENGINEER

DATE



TRAFFIC CIRCULATION LAYOUT

SCALE: 1" = 40'-0"



LEGEND

[Brown Box]	BUILDING
[Grey Box]	CONCRETE
[Dark Grey Box]	ASPHALT PAVING
[Green Box]	LANDSCAPE
[Pink Triangle]	CLEAR SIGHT TRIANGLE

NOTE:

LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

ALL PAVING SHALL BE SHALL BE ASPHALT UNLESS NOTED OTHERWISE, REF. DETAIL THIS SHEET.

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED IN ACCORDANCE WITH IDO SECTION 5-5 (G).

ALL OUTDOOR LIGHT FIXTURES SHALL BE LED. FIXTURES 70 WATTS OR GREATER SHALL BE SHIELDED USING FULL CUTOFF LIGHT FIXTURES.

BUILDING MOUNTED SIGNS SHALL BE EXTERNALLY ILLUMINATED AND SHALL NOT EXTEND MORE THAN 2 FEET ABOVE THE EXTERIOR WALLS OF THE BUILDING.

WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER.

SITE LIGHTING WILL BE PROVIDED BY LIGHT BOLLARDS AND WALL MOUNTED FIXTURES AND SHALL COMPLY WITH 5-8 OF THE IDO

BROKEN OR CRACKED SIDEWALK IS TO BE REPLACED WITH NEW SIDEWALK PER COA STD DRAWING 2430

ALL TOWNHOUSES SHALL HAVE EV CHARGING IN THE GARAGE

SITE ANALYSIS DATA

UPC: 101005652542410601
 LEGAL: TRACT 155 UNIT 6 ATRISCO GRANT
 ZONING: MX-T
 ZONE ATLAS PAGE: L-10 & L-11

GROSS LOT AREA = 5.66 AC = 246,549 SF
 BUILDING FOOTPRINT = 78,498 SF
 NET LOT AREA = 188,051 SF
 REQUIRED LANDSCAPE AREA @ 15% = 25,207 SF ; 55,501 SF PROVIDED

IDO TABLE 5-5-1 PARKING :
 MULTI-FAMILY
 1 BEDROOM: 108 EACH X 1.2 SPACES = 129.6 SPACES
 2 BEDROOM: 12 EACH X 1.6 SPACES = 19.2 SPACES
 3 BEDROOM: 30 EACH X 1.8 SPACES = 54 SPACES
 TOTAL SPACES REQUIRED: 202.8 SPACES
 SPACES PROVIDED = 214 SPACES

MOTORCYCLE PARKING 151-300 SPACES: 5 SPACES REQUIRED / 6 PROVIDED
 ADA PARKING 201-300 SPACES: 7 SPACES REQUIRED/ 12 PROVIDED VAN ACCESSIBLE
 BIKE PARKING 10% OF 214: 22 REQUIRED, 30 SPACES PROVIDED
 EV PARKING 5% OF 214: 11 REQUIRED, 30 PROVIDED

IDO TABLE 2-4-1 OPEN SPACE:
 1 BEDROOM: 80 EA X 225 SF X 0.5 = 9,000 SF
 2 BEDROOM: 16 EA X 285 SF X 0.5 = 2,280 SF
 3 BEDROOM: 30 EA X 350 SF X 0.5 = 5,250 SF
 STUDIO: 16 EA X 225 SF X 0.5 = 1,800 SF

TOTAL REQUIRED = 18,330 SF
 GRADE LEVEL OPEN SPACE = 81,738 SF PROVIDED
 UPPER FLOOR BALCONIES & DECKS = 6,660 SF PROVIDED

IDO 14-16-4-3(B)(8)(b) 1 TREE REQUIRED PER GROUND FLOOR UNIT = 90 TREES
 1 TREE REQUIRED FOR 2ND FLOOR UNITS = 60 TREES
 TOTAL TREE REQUIREMENT = 150 TREES

SOLID WASTE CALCS:
 142 UNITS X 0.55 CY = 78.1 CY PER WEEK

SOLID WASTE NOTES:

THE SLOPE LEADING TO THE TRASH ENCLOSURE/DUMPSTER SHALL BE NO GREATER THAN 1/8" PER FOOT ON THE APPROACH.

THERE IS NO FOOD SERVICE FOR THIS PROJECT.

RECYCLING CONTAINERS LOCATED ADJACENT TO THE REFUSE ENCLOSURE, SEE KEYED NOTE.

THIS FACILITY WILL NOT DISTRIBUTE, OR PROCESS FOOD, OR DRINK THAT WOULD LEAK FROM THE REFUSE CONTAINER.

THE REFUSE DRIVER SHALL HAVE ACCESS TO TRASH ENCLOSURE/DUMPSTER BY 5:00AM.

THERE ARE NO OVERHANGING WIRES LEADING TO AND EXITING FROM THE TRASH ENCLOSURE.

THIS PROJECT WILL NOT ALTER EXISTING TRASH SERVICE FOR THE SURROUNDING BUSINESSES DURING CONSTRUCTION.

PROPERTY OWNER RESPONSIBLE FOR PLACING RECYCLING AT DESIGNATED COLLECTION POINT ON COLLECTION DAY.

OWNER SHALL PURCHASE 8 CY REFUSE CONTAINER.

KEYED NOTES

- NEW DRIVE CUT REF CITY OF ALBUQUERQUE STANDARD DETAIL 2426 FOLLOW PARALLEL RAMP DETAIL, NOTE DETAIL 2446 FOR DETECTABLE WARNING SURFACE.
- 6 SPACE BIKE RACK, REF DETAIL SHEET A-501
- MOTORCYCLE PARKING SIGN REF DETAIL SHEET A-501
- H.C. PARKING SIGN, REF DETAIL ON SHEET A-501
- NEW FIRE HYDRANT
- NEW 6" SIDEWALK, 2% MAX CROSS SLOPE, 1.5% PREFERRED CROSS SLOPE, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2430
- HC PARKING SYMBOL
- CURB AND GUTTER, REF COA DETAIL
- EXISTING PROPERTY LINE
- NEW ROLL CURB REF CITY OF ALBUQUERQUE STANDARD DETAIL 2415A
- CLEAR SIGHT TRIANGLE. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FT TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
- CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2441, NOTE DETAIL 2446 FOR DETECTABLE WARNING SURFACE
- PARALLEL RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2443
- EXISTING BLOCK WALL
- REFUSE CONTAINER, REF DETAIL THIS SHEET
- IDO SETBACK LINE
- APSHALT PAVING
- RECYCLING CONTAINER STORAGE POINT
- TRASH ENCLOSURE
- FRONT DOOR
- RETENTION POND
- NEW 6FT RETENTION WALL
- NEW METAL FENCE REFERENCE DETAIL ON A-501
- EXISTING 5FT SIDEWALK
- PIV
- FDC
- 5FT LANDSCAPE BUFFER
- NEW CROSSWALK

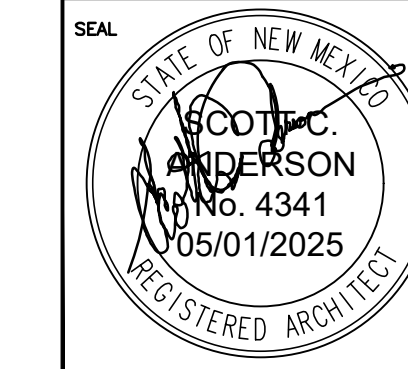
ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WALL MUST BE INCLUDED ON A PUBLIC WORK ORDER

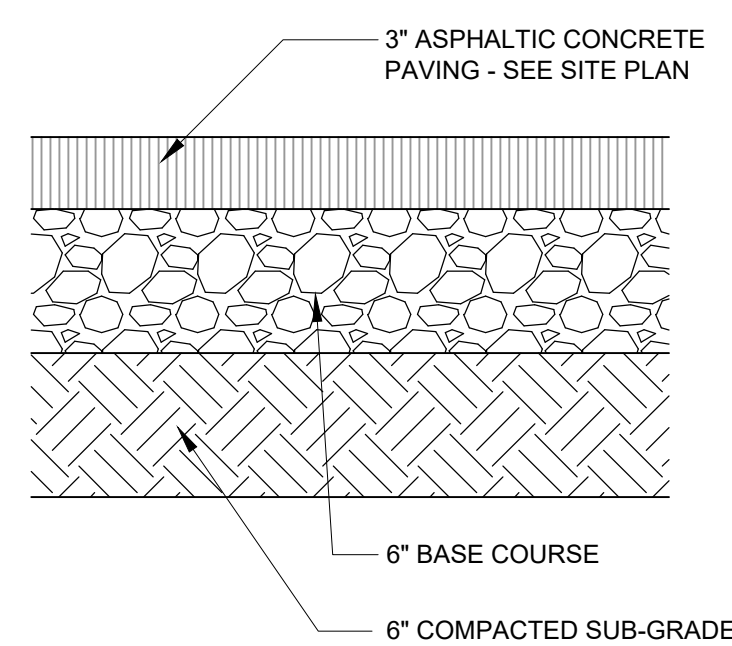
No.	Revision	Item	Date

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SAMANA APARTMENTS
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 ALBUQUERQUE, NM 87109

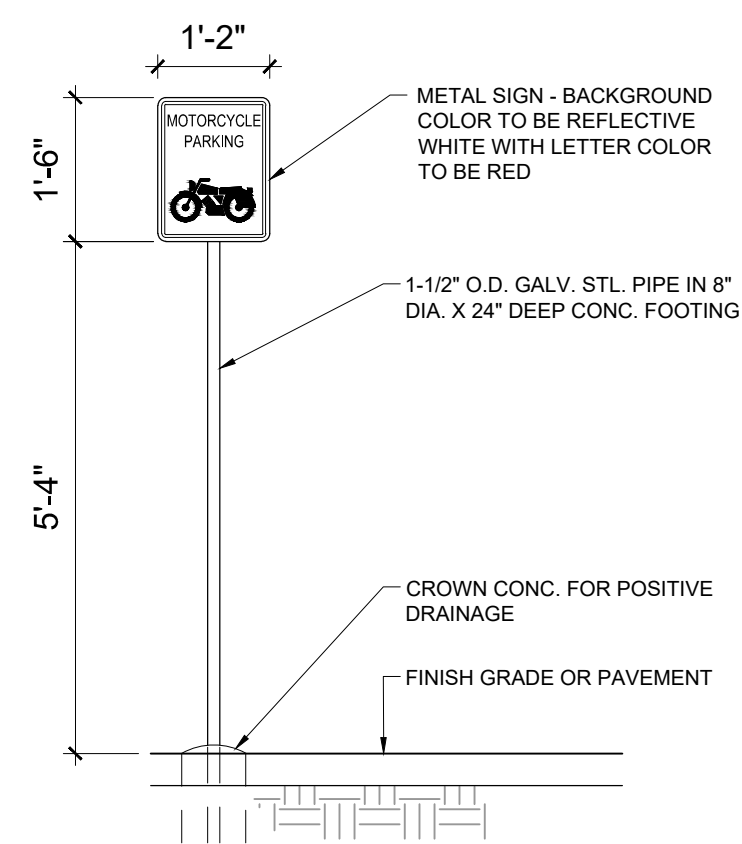
TRAFFIC CIRCULATION LAYOUT	
DESIGNED	PROJECT NO
DRAWN	SCALE
CHECKED	DRAWING NO
REVIEWED	A-100
DATE	05/01/2025





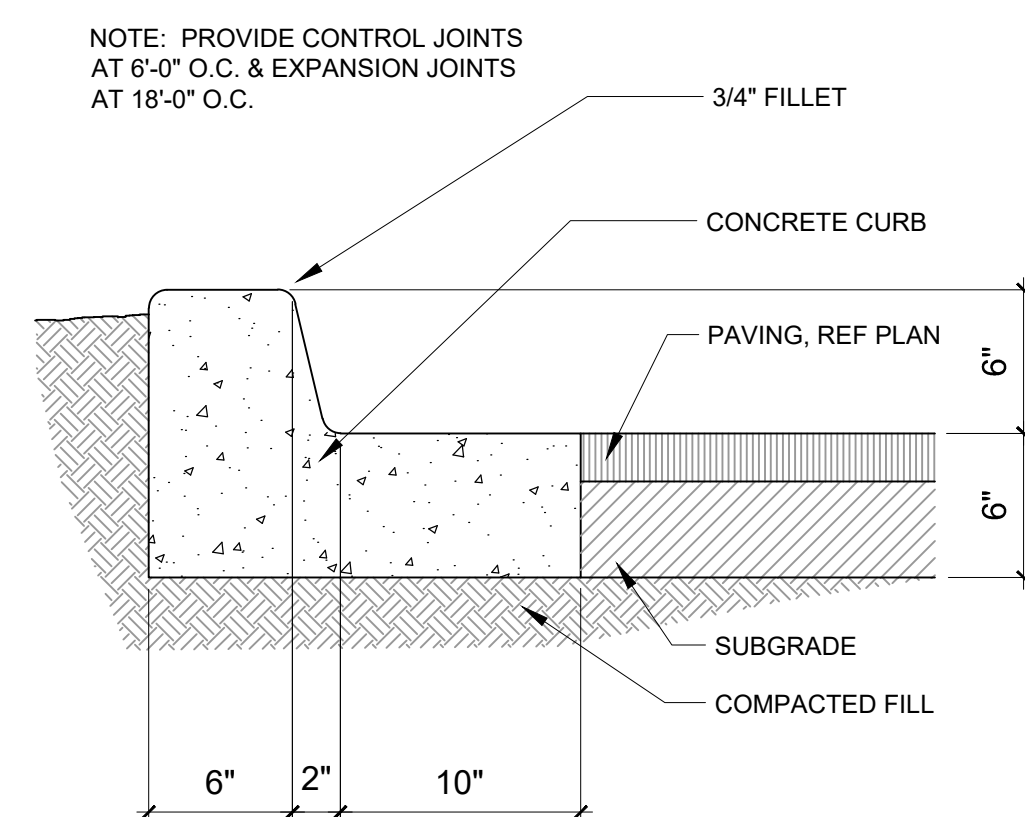
PAVING SECTION

SCALE: NTS



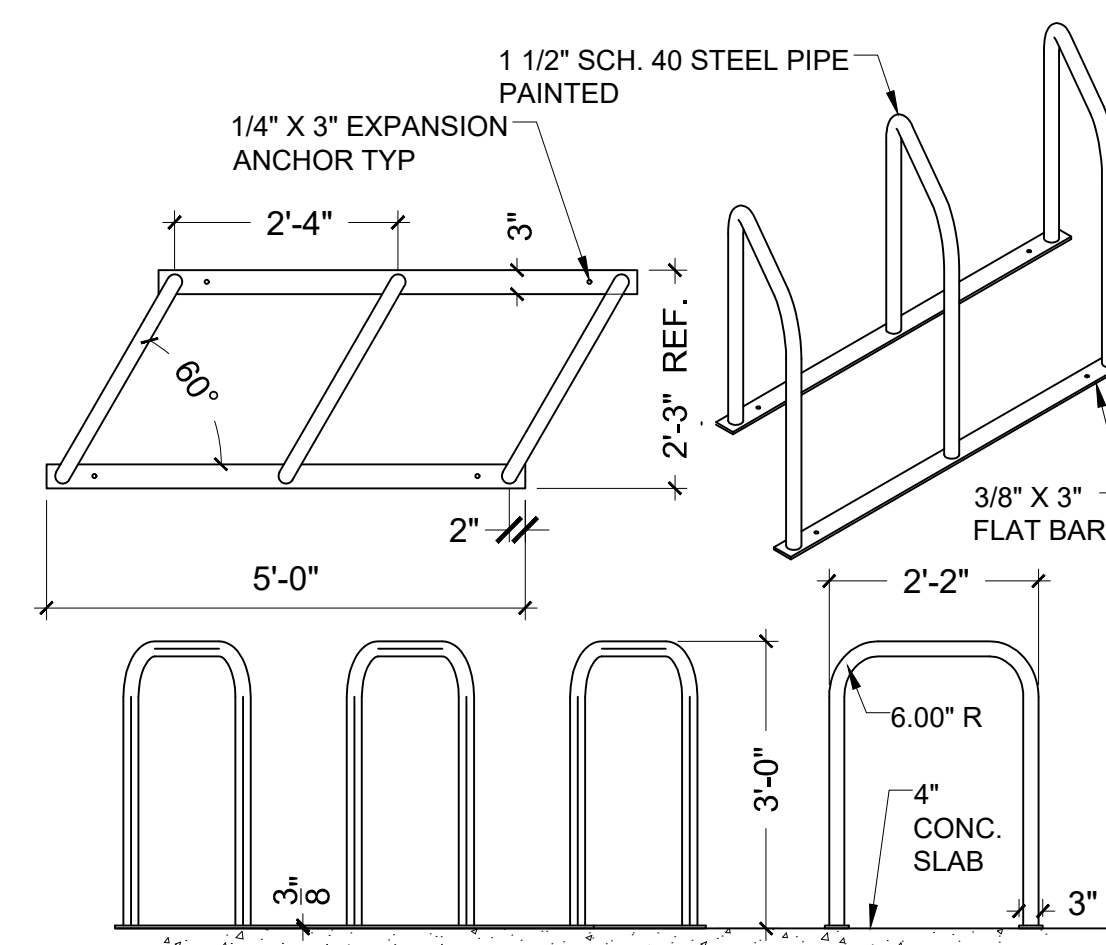
MOTORCYCLE SIGN

SCALE: 1/2" = 1'-0"



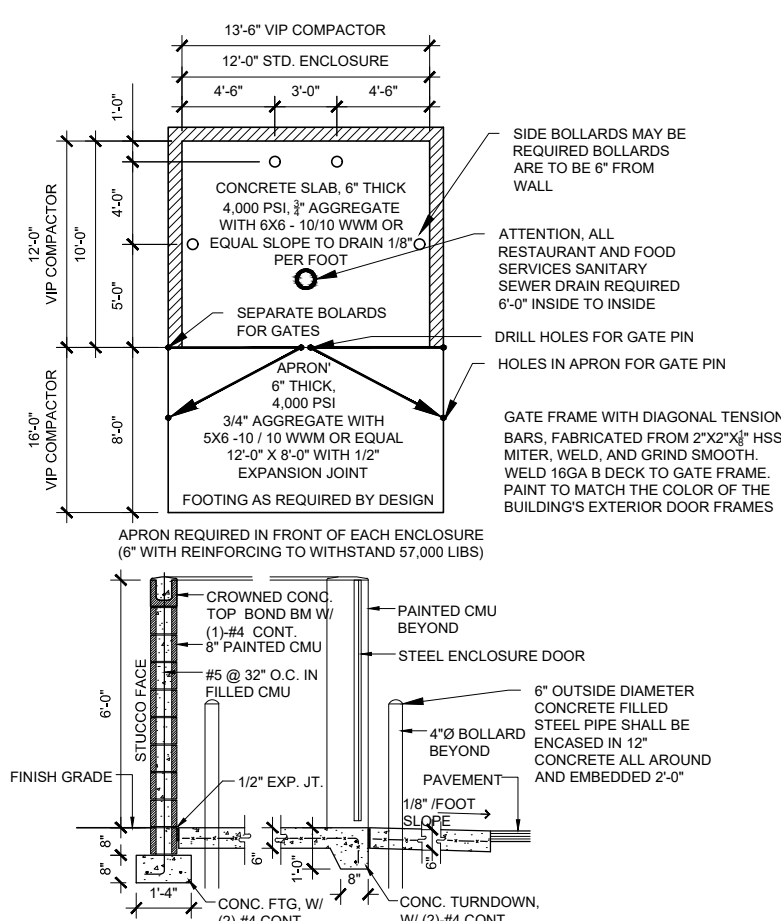
CURB AND GUTTER

SCALE: NTS



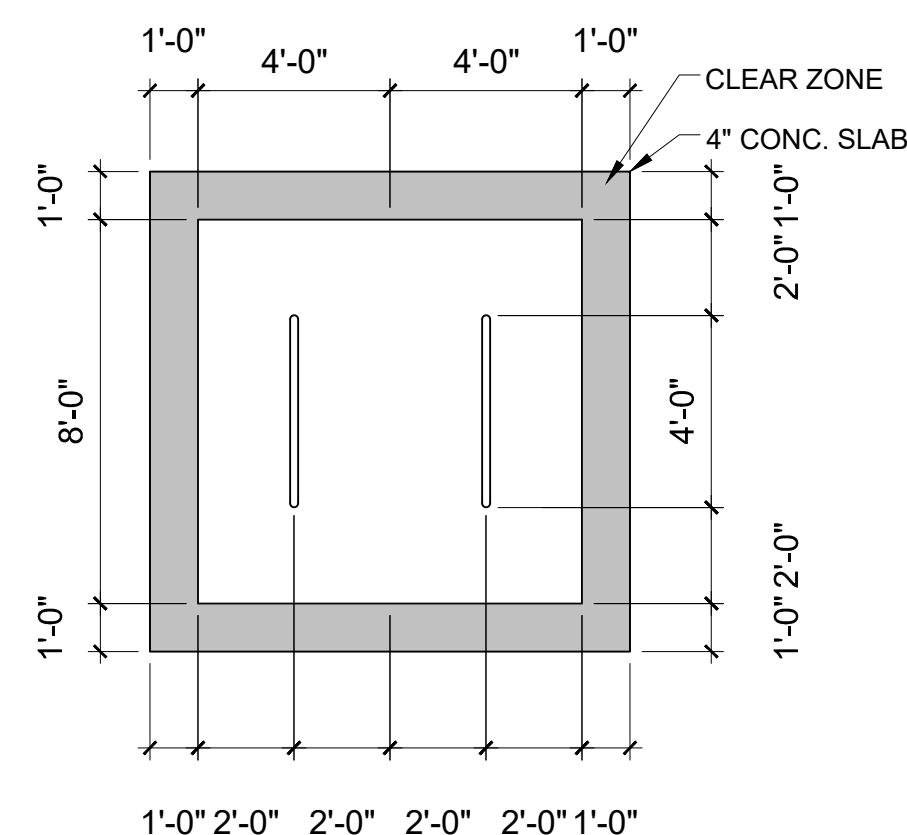
BIKE CORRAL

SCALE: NTS



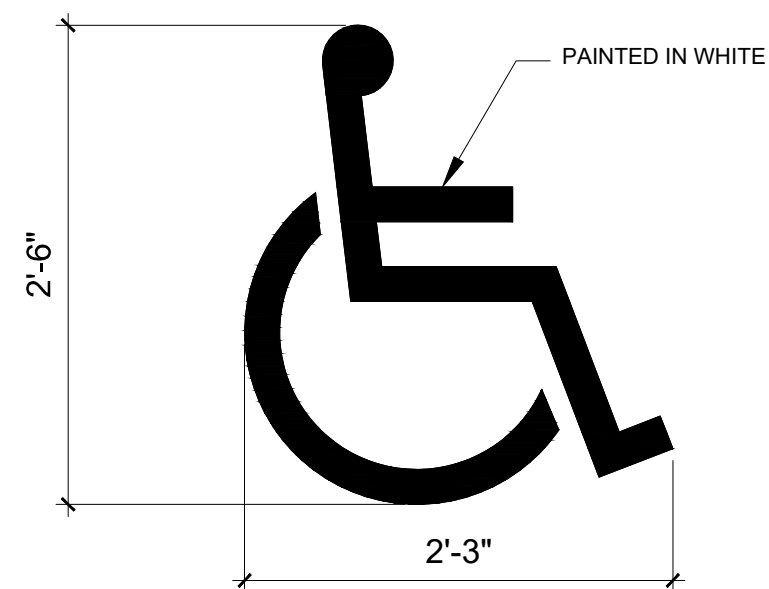
TRASH ENCLOSURE

SCALE: 1/8" = 1'-0"



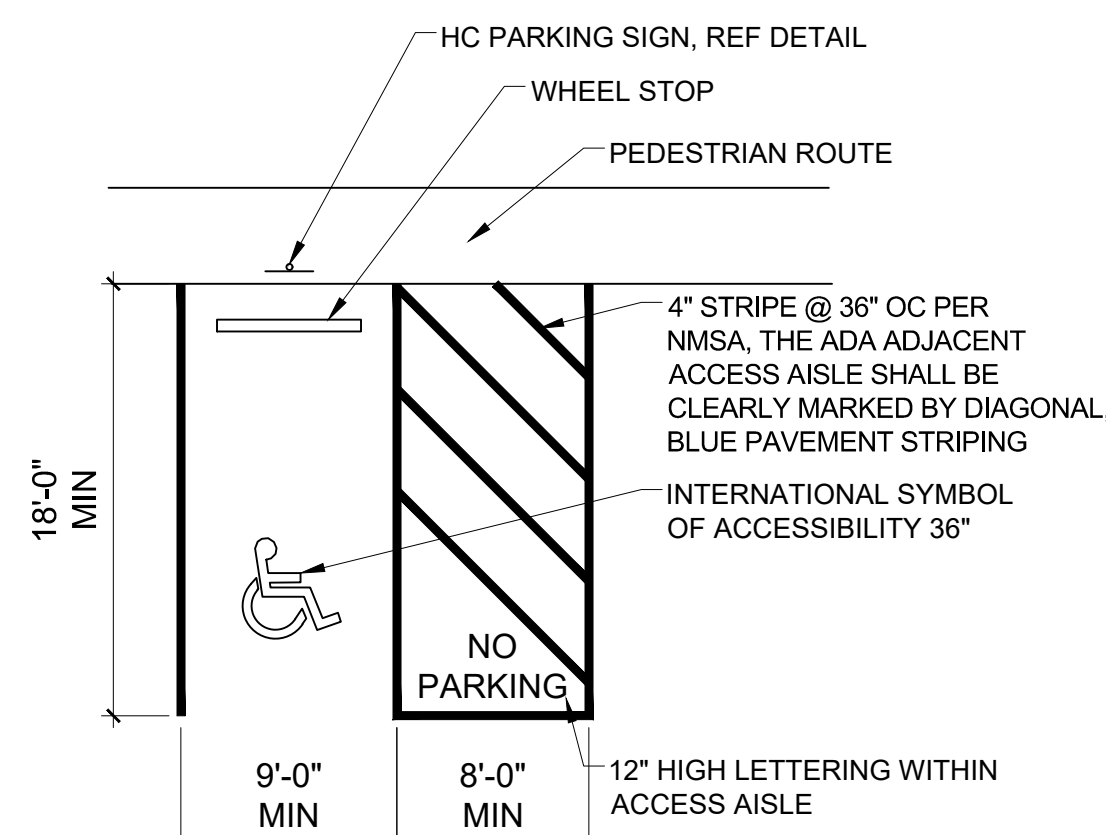
BIKE PARKING

SCALE: 1/4" = 1'-0"



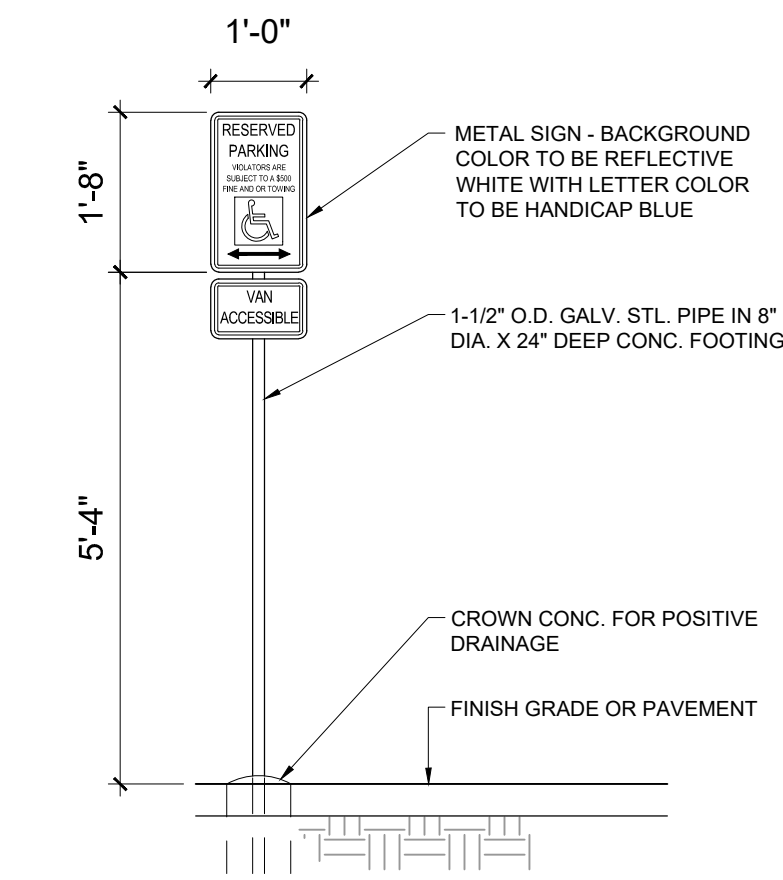
HC PAVEMENT MARKING

SCALE: NTS



ADA PARKING


SCALE: 3/8" = 1'-0"



HC SIGN

SCALE: NTS

No	Revision	Item	Date



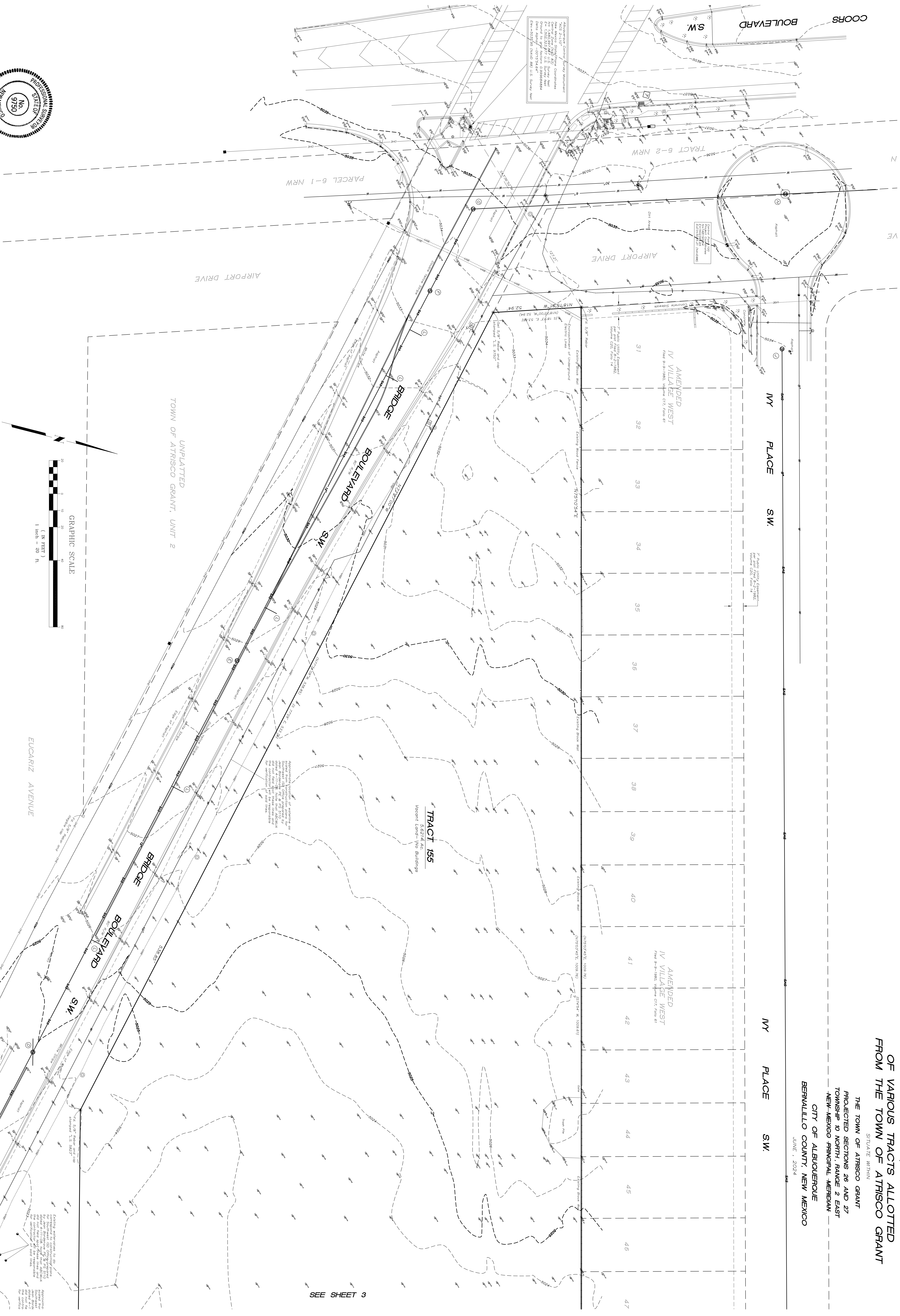
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DRAWING TITLE		
SITE DETAILS		
DESIGNED	PROJECT NO	A-501
DRAWN	SCALE	
CHECKED	DRAWING NO	
REVIEWED	DATE	
DATE	5/1/2025	

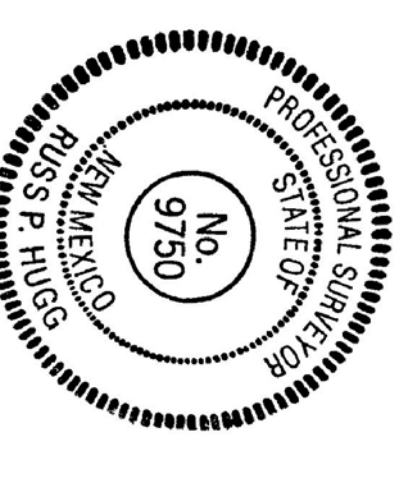
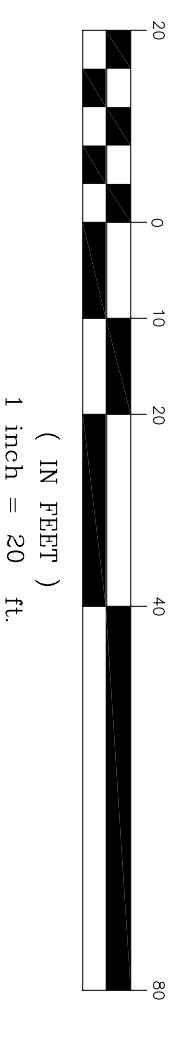
ALTA/NSPS LAND TITLE SURVEY OF
TRACT 155, UNIT 6
OF VARIOUS TRACTS ALLOTTED
FROM THE TOWN OF ATRISCO GRANT

SITUALE WITHIN
 THE TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 26 AND 27
 TOWNSHIP 10 NORTH, RANGE 2 EAST
 NEW-MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE 1, 2024

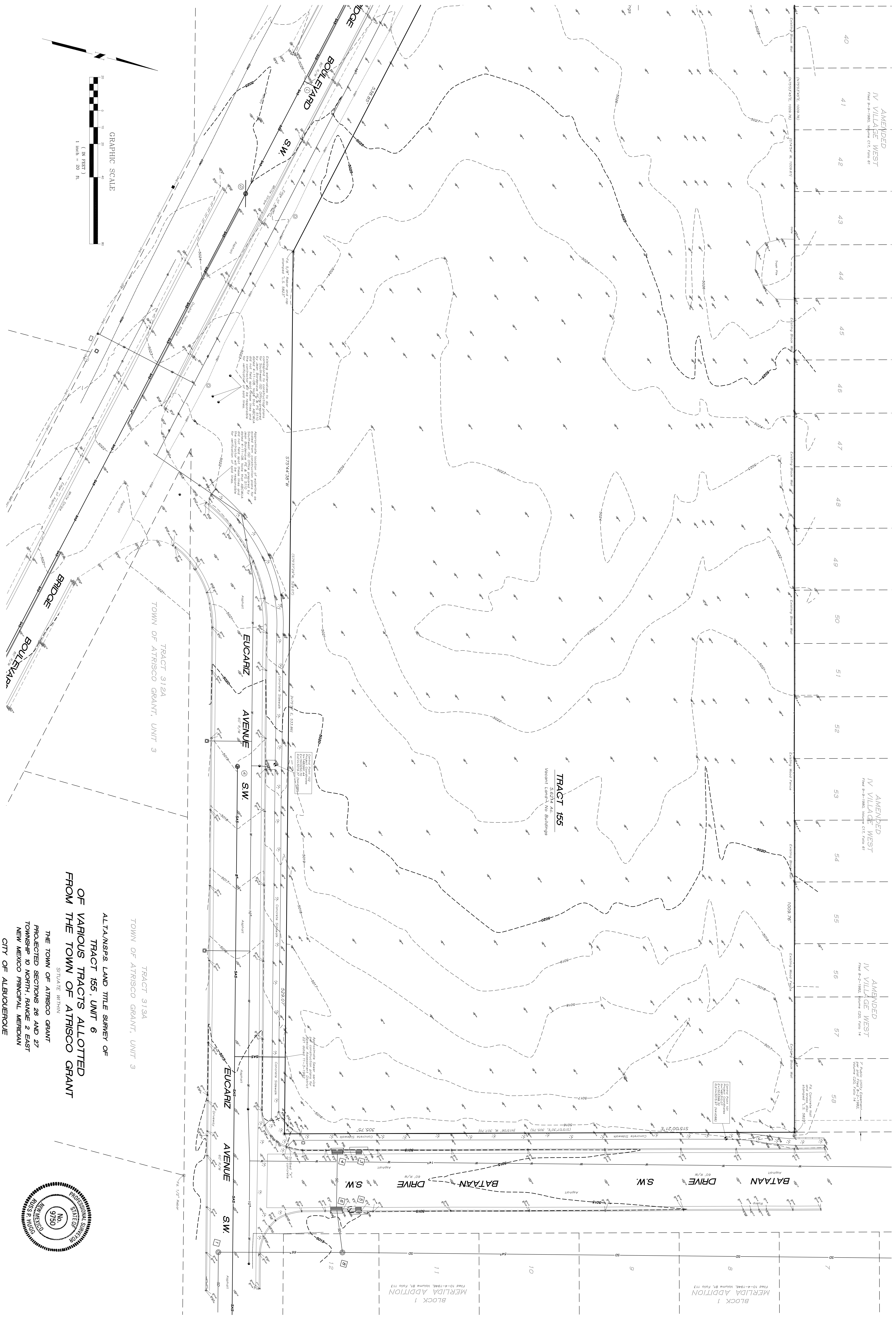
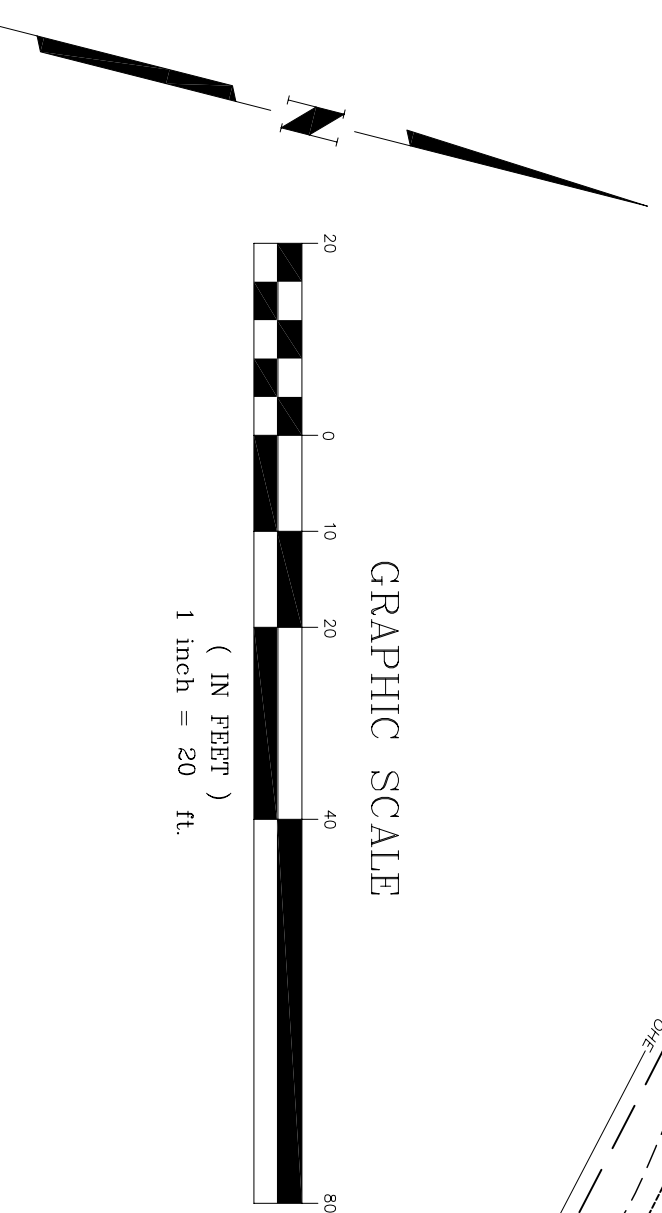


SEE SHEET 3

GRAPHIC SCALE



240017.DWG



ALLIANCE'S LAND TITLE SURVEY OF
TRACT 155, UNIT 6
 OF VARIOUS TRACTS ALLOTTED
 FROM THE TOWN OF ATRISCO GRANT
 SITUATE WITHIN

THE TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 26 AND 27
 TOWNSHIP 10 NORTH, RANGE 2 EAST
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