120012

Elliott, Stanice

From:

Elliott, Stanice

Sent:

Friday, March 17, 2017 10:48 AM

To:

'Dan Lyons'

Cc:

Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker, Lois

Subject:

RE: Catholic Charities - 2010 Bridge Blvd. SW - Hydrology Temp. Extension

Dan,

I will extend the current 90-day CO TEMP for another 30 days thru April 29, 2017.

Stanice 'Totten' Elliott Planning Department Hydrology Section City of Albuquerque 505-924-3982 505-924-3864 fax

From: Dan Lyons [mailto:DLyons@bradburystamm.com]

Sent: Friday, March 17, 2017 10:34 AM

To: Elliott, Stanice

Subject: Catholic Charities - 2010 Bridge Blvd. SW - Hydrology Temp. Extension

Totten,

Per our recent conversation, we are requesting to extend the Temporary for Hydrology for this project to allow us to complete the east parking lot work. We should be complete with all work in early April, but we need to update our current Temp. CO on 3/27. Please extend the Hydrology for this project for 30 days, to the end of April, if possible. I appreciate your assistance with this.

Please contact me with any questions or issues.

Thanks,

Dan

Dan Lyons, LEED AP | Sr. Project Manager BRADBURY STAMM CONSTRUCTION...since 1923

7110 2nd Street NW | Albuquerque, NM 87107 Main: 505 765 1200 | Direct: 505 681 4312 | Fa

Main: 505.765.1200 | Direct: 505.681.4312 | Fax: 505.842.5419 dlyons@bradburystamm.com | www.bradburystamm.com



December 29, 2016

Richard J. Berry, Mayor

John Jacquez, P.E.
Miller Engineering Consultants
3500 Comanche NE, Bldg F
Albuquerque, NM, 87107

RE:

Catholic Charities
2010 Bridge Blvd
Request 90-Day Temporary C.O. - Accepted
Engineer's Stamp Date 11-11-15 (File:L12D012)
Certification date: 12-22-16

Dear Mr. Jacquez:

PO Box 1293

Based upon the information provided in your submittal received 12-22-2016, the above referenced Certification received is acceptable for 90-day temporary release of Certificate of Occupancy by Hydrology.

Albuquerque

- We understand that portions of the existing building need to be removed, but all of Hydrology's comments have been addressed for this Phase of the project.
- Please request a permanent CO when the site is ready for inspection again.

New Mexico 87103

If you have any questions, you can contact me at 924-3986 or Totten Elliott at 924-3982.

www.cabq.gov

Sincerely,

Abiel Carrillo, P.E.

Principal Engineer, Planning Dept.

Development Review Services

AC/AC

C: email, Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker, Lois

Carrillo, Abiel X.

From: Dan Lyons < DLyons@bradburystamm.com>

Sent: Wednesday, December 28, 2016 9:46 AM

To: Carrillo, Abiel X.

Subject: Catholic Charities - 2010 Bridge Blvd. SW

Abiel,

Attached are photos of the dirt mound removed and installed base course, temp. Fence removed, and cleaned out drains in the back as requested.

Please let me know if you need anything else.

Please approve today if possible as we are counting on getting our TCO tomorrow.

We would appreciate a 90 day temp. if possible as this would give us the necessary time to remove the existing building and complete the site work.

Please contact me with any questions.

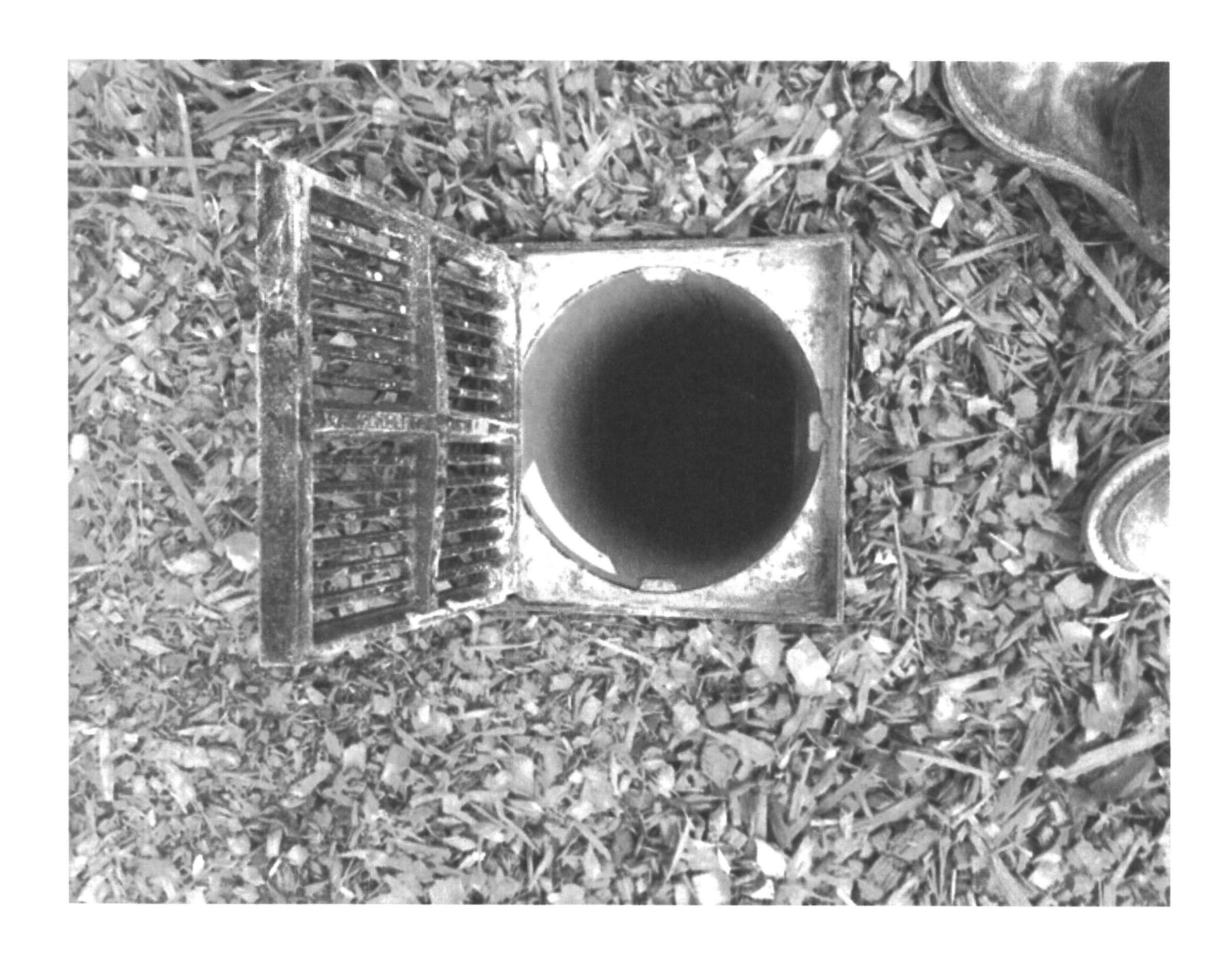
Thanks

Dan

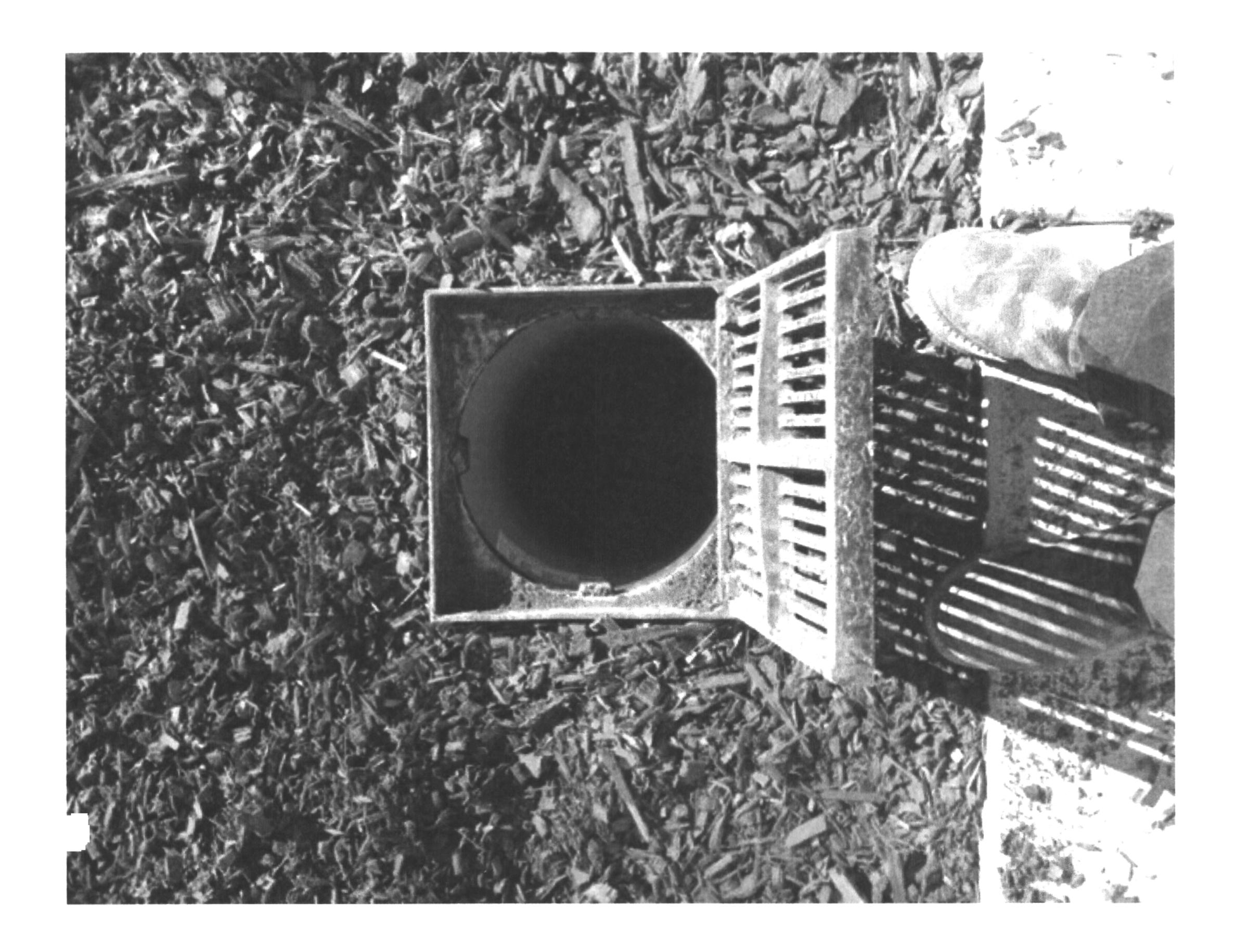












Dan Lyons, LEED AP | Sr. Project Manager Bradbury Stamm Construction...since 1923

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dlyons@bradburystamm.com | www.bradburystamm.com



City of Albuquerque Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Catholic Charities	Building Permit #: City Drainage #: L12L
DRB#: 15DRB-70355 EPC#:	Work Order#:
Legal Description: Lot /Tract: 148A1B, 147B1, 147B2A, 148A-A-1A1A1, Block 0000), Unit 25
City Address: Near Bridge Blvd. Between Anthony Lane and Pear Road	
Engineering Firm: Miller Engineering Consultants	Contact: John Jacquez
Address: 3500 Comanche NE, bldg F Albuquerque, NM 87107	
Phone#: 505-888-7500 Fax#: 505-888-3800	E-mail: jjacquez@mecnm.com
Owner: Catholic Charities Foundation	Contact:
Address: 3301 Candelaria Rd. NE, Ste. B, Albuquerque, NM 87107	
Phone#: 505-505-254-2623 Fax#:	E-mail:
Architect: NCA Architects	Contact: Dave Puritz
Address: 1306 Rio Grande Blvd., Albuquerque NM 87104	
Phone#: 505-255-6400 Fax#:	E-mail:
Other Contact:	Contact:
Address:	
Phone#: Fax#:	E-mail: -
TRAFFIC CIRCULATION LAYOUT (TCL) TRAFFIC IMPACT STUDY (TIS)	BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY PRELIMINARY PLAT APPROVAL SITE PLAN FOR SUB'D APPROVAL SITE PLAN FOR BLDG. PERMIT APPROVAL FINAL PLAT APPROVAL SIA/ RELEASE OF FINANCIAL GUARANTEE CTION DUNDATION PERMIT APPROVAL GRADING PERMIT APPROVAL SO-19 APPROVAL PAVING PERMIT APPROVAL GRADING/ PAD CERTIFICATION WORK ORDER APPROVAL
EROSION & SEDIMENT CONTROL PLAN (ESC) OTHER (SPECIFY)	CLOMR/LOMR PRE-DESIGN MEETING
IS THIS A RESUBMITTAL?: Yes _× No	OTHER (SPECIFY)
DATE SUBMITTED: 12-22-2016 By: John Jacquez	· · · · · · · · · · · · · · · · · · ·

ELECTRONIC SUBMITTAL RECEIVED: ____

COA STAFF:

Bernadine York

From: Bernadine York

Sent: Thursday, December 22, 2016 11:25 AM

To: 'plndrs@cabq.gov'

Cc: John Jacquez; Jana Miller

Subject: COA Certificate of Occupancy Application and As-Built Drawing for Catholic Charities

··Project

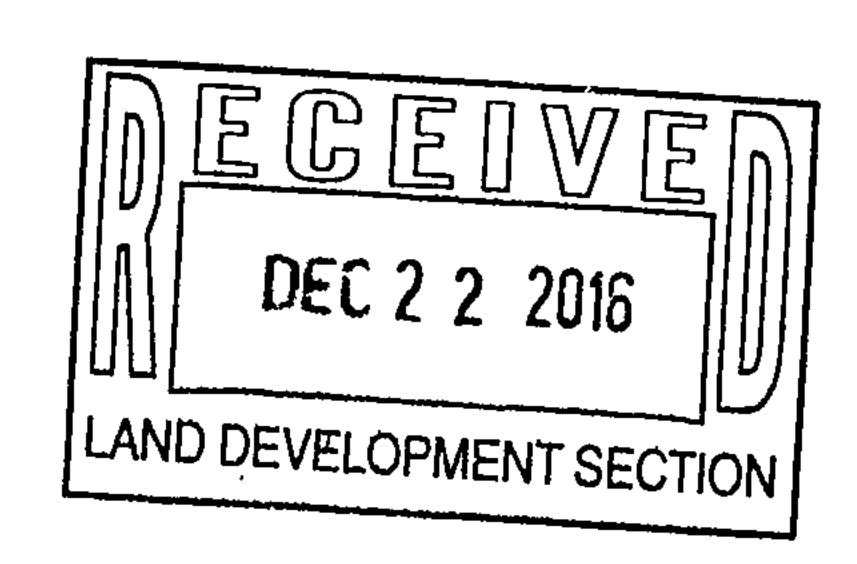
Attachments: As Built20161222_11184557.pdf

Please find attached PDF of the submittal for Certificate of Occupancy for Catholic Charities Project. We will submit 2 hardcopies this afternoon.

Thank you,
Dina York
Miller Engineering Consultants, Inc.
3500 Comanche NE, Bldg. F
Albuquerque, NM 87107
Phone: 505.888.7500

Fax: 505.888.3800

Email: dyork@mecnm.com



PLANNING DEPARTMENT - Development Review Services

December 10, 2015

Verlyn Miller, PE Miller Engineering Consultants 3500 Comanche NE Albuquerque, NM 87107



Richard J. Berry, Mayor

Catholic Charities RE:

Grading & Drainage Plan

Engineer's Stamp Date (11-11-15) (File: L12D012)

Dear Mr. Miller:

Based upon the information provided in your submittal received 11-16-15, the above referenced plan is approved for Building Permit and SO-19 Permit, based on the following conditions:

- 1. The proposed bus shelter must be moved out of the water harvesting/First flush pond.
- 2. According to Racquel Michel, the architect is aware that a TCL is required for Building Permit. Flowline elevations at the Curb returns need to match that shown on the TCL.
 - 3. Do not extend the Sidewalk Culverts 2' into the ponds. Terminate them at the back of sidewalk.

PO Box 1293

4. Add a note to tack weld the plates on the sidewalk culvert to the bolts.

Albuquerque

Please attach a copy of this approved plan in the construction sets when submitting for a building permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

New Mexico 87103 A separate SO-19 permit is required for construction within City ROW. A copy of this approval letter must be on hand when applying for the excavation/barricading permit. The work in the City ROW must be inspected and accepted. Contractor must contact Jason Rodriguez at 235-8016 and Construction Coordination at 924-3416 to schedule an inspection.

www.cabq.gov

Since the disturbed area on this site exceeds 1.0 acre, an Erosion and Sediment Control (ESC) Plan, prepared by a NM PE and approved by the City's Stormwater Engineer, will be required for this site prior to any earthwork.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Rita Harmon, P.E.

Senior Engineer, Planning Dept. Development Review Services

Orig: Drainage file

c.pdf Addressee via Email, Jason Rodriguez



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Catholic Charities ORB#: 15DRB-70355	EPC#:	Building Permit #:_	City Drainage #: Work Order#:
egal Description: Lot /Tract: 148A1B, 147B1		000 Unit 25	_ Work Order#:
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Try Madress. Trods Shage Birds Bottlesis Milas	torry Euric and Four Froda	**************************************	
ngineering Firm: Miller Engineering Consu	ıltants	<u> </u>	Contact: John Jacquez
ddress: 3500 Comanche NE, bldg F Albuque	rque, NM 87107		
hone#: 505-888-7500	Fax#: 505-888-3800		E-mail: jjacquez@mecnm.com
wner: Catholic Charities Foundation			Contact:
ddress: 3301 Candelaria Rd. NE, Ste. B, Albu	uquerque, NM 87107	· · · · · · · · · · · · · · · · · · ·	
hone#: 505-505-254-2623	Fax#:		E-mail:
rchitect: NCA Architects			Contact: Dave Puritz
ddress: 1306 Rio Grande Blvd., Albuquerque	NM 87104		
hone#: 505-255-6400	Fax#:	· · · · · · · · · · · · · · · · · · ·	E-mail:
			
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PLANNING DEPARTMENT - Development Review Services

October 12, 2015

Verlyn Miller, PE
Miller Engineering Consultants
3500 Comanche NE
Albuquerque, NM 87107



Richard J. Berry, Mayor

RE: Catholic Charities

Conceptual Drainage Plan for Site Development for Building Permit Engineer's Stamp Date (none) (File: L12D012)

Dear Mr. Miller:

Based upon the information provided in your submittal received 9-29-14, the above referenced plan is approved for action by the DRB on the Preliminary Plat. Prior to Building Permit approval the following comments need to be addressed:

J 1.

Runoff calculations, pond volume calculations, and "First Flush" calculations need to be provided.

2.

The Vicinity Map and FEMA FIRMette should be on the Conceptual plan. Include on the Building Permit G&D plan.

PO Box 1293

3. Show Bench Mark

- 4. Show and call out all curb cuts, particularly on the 2 main ponds south of Bridge.
- 5. Call out Rip-Rap

Albuquerque

- 6. Provide more TA, TS, and TC elevations to better understand the drainage around the building.
- 7. Show TC elevations of high and low side of curbs around water harvesting ponds.

New Mexico 87103 8.

Show Roof Flow arrows. Does any roof flow discharge to the south?
 Roof Storm Drain pipe at NE corner of building extends to water harvesting pond closer to the building. Call out this area as a Water Harvesting Pond.

- 10. All Parking Islands and landscape islands which are used for Water Harvesting need to have contours and elevations so that they are constructed as such. State that any landscaping rock should be below these elevations.
- 11. How will area on South side of building drain?
- In the narrative, use "first flush" rather than "90th percentile..."
- 13. Keyed note 13 is not shown on the plan. Show SW culverts. Show or state that plates are to extend out 2 ft, and bolts to be tack welded to the plate.
- 14. If work in the ROW is to constructed per SO-19 Permit, then be sure SO-19 Notes are on the G&D plan. Include "SO-19" in the Title for the construction notes as well as a signature block for the Street Maintenance Inspector.
- Note for all future submittals: only (1) copy of the submittal is required unless seeking an SO-19 Permit, in which case two(2) copies are required. If SO-19 approval is sought, check off the DTIS sheet.

16. Curb returns need to be detailed on the Grading plan since it is not going to be reviewed in the DRC/Work Order Process.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Rita Harmon, P.E.

Senior Engineer, Planning Dept.

Development Review Services

Orig:

Drainage file

c.pdf

Addressee via Email



COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: ____

City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

DRB#: SORB-70555	Project Title: Catholic Charities		Building Permit #:	City Drainage #: [2]
City Address: Near Bridge Bird. Between Anthony Lane and Pear Road Engineering Firm: Miller Engineering Consultants Contact: John Jacquez Address: 3500 Comanche NE, Big F Albuquerque, NM 87107 Phone#: 505-886-7500 Ph	DRB#: 15DRB-70355	EPC#:	. <u></u>	
Engineering Firm: Millor Engineering Consultants Address: 3500 Comanche NE, bidg F Albuquerque, NM 87107 Phonest: 505-888-7500 Owner: Catholic Charlies Foundation Contact: Address: 3301 Comanche NE, bidg F Albuquerque, NM 87107 Phonest: 505-888-7500 Owner: Catholic Charlies Foundation Contact: Architect: NGA Architects Architect: NGA Architects Architect: NGA Architects Address: 1308 Filo Grande BMd., Albuquerque NM 87104 Phonest: 505-255-6400 Fax#: E-mail: Contact: Dave Puritz Architect: NGA Architects Address: 1308 Filo Grande BMd., Albuquerque NM 87104 Phonest: 505-255-6400 Fax#: E-mail: Check all that Apply: DEPARTMENT: X HYDROLOGY/ DRAINAGE TRAFFIC/ TRANSPORTATION MS4/ ROSCION & SEDIMENT CONTROL TYPE OF SUBMITTAL: ENGINEER/ ARCHITECT CERTIFICATION MS4/ ROSCION & SEDIMENT CONTROL X CONCEPTUAL, G & D PLAN DRAINAGE MASTER PLAN DRAINAGE MASTER PLAN DRAINAGE MASTER PLAN DRAINAGE REPORT CLOMR/LOMR TRAFFIC CIRCULATION LAYOUT (TCL) TRAFFIC CIRCUL	Legal Description: Lot/Tract: 148A1B, 147B1, 1	47B2A, 148A-A-1A1A1, Block 0000), Unit 25	
Address: 3500 Comanche NE, bidg F Albuquerque, NM 87107 Phone#: 505-588-7500	City Address: Near Bridge Blvd. Between Anthon	ny Lane and Pear Road		
Address: 3500 Comanche NE, bidg F Albuquerque, NM 87107 Phone#: 505-588-7500	Engineering Firm: Miller Engineering Consulta	ınts		Contact: John Jacquez
Owner: Catholic Charlies Foundation Address: 3301 Candelaria Rd. NE, Ste. B, Albuquerque, NM 87107 Phone#: 505-505-254-2623 Fax#: E-mail: Contact: Dave Puritz Architect: NCA Architects Architect: NCA Architects Architect: NCA Architects Contact: Dave Puritz Contact: Dave Purit				
Address: 3301 Candelaria Rd. NE, Sto. 8, Albuquerque, NM 87107 Phone#: 505-505-254-2623 Fax#: E-mail: Contact: Dave Puritz Architect: NCA Architects Address: 1306 Rio Grande Bivd., Albuquerque NM 87104 Phone#: 505-255-6400 Fax#: E-mail: Cher Contact: Contact: Contact: Contact: Contact: Contact: Contact: Contact: Contact: Contact: Check all that Apply: DEPARTIMENT: HYDROLOGY/ DRAINAGE TRAFFIC/ TRANSPORTATION TRAFFIC/ TRANSPORTATION TYPE OF SUBMITTAL: ENGINEER/ ARCHITECT CERTIFICATION CRETIFICATE OF OCCUPANCY ** CONCEPTUAL G & D PLAN GRADING PLAN DRAINAGE MASTER PLAN DRAINAGE MASTER PLAN DRAINAGE MEPORT CLOMR/LOMR TRAFFIC CIRCULATION LAYOUT (TCL) TRAF	Phone#: 505-888-7500	Fax#: 505-888-3800		E-mail: jacquez@mecnm.com
Address: 3301 Candelaria Rd. NE, Sto. 8, Albuquerque, NM 87107 Phone#: 505-505-254-2623 Fax#: E-mail: Contact: Dave Puritz Architect: NCA Architects Address: 1306 Rio Grande Bivd., Albuquerque NM 87104 Phone#: 505-255-6400 Fax#: E-mail: Cher Contact: Contact: Contact: Contact: Contact: Contact: Contact: Contact: Contact: Contact: Check all that Apply: DEPARTIMENT: HYDROLOGY/ DRAINAGE TRAFFIC/ TRANSPORTATION TRAFFIC/ TRANSPORTATION TYPE OF SUBMITTAL: ENGINEER/ ARCHITECT CERTIFICATION CRETIFICATE OF OCCUPANCY ** CONCEPTUAL G & D PLAN GRADING PLAN DRAINAGE MASTER PLAN DRAINAGE MASTER PLAN DRAINAGE MEPORT CLOMR/LOMR TRAFFIC CIRCULATION LAYOUT (TCL) TRAF	Owner: Catholic Charities Foundation			Contact
Architect: NCA Architects		uerque, NM 87107		
Address: 1306 Rio Grande Bivd., Albuquerque NM 87104 Phone#: 505-255-6400 Fax#: E-mail: Other Contact: Address:	Phone#: 505-505-254-2623	Fax#:		E-mail:
Address: 1306 Rio Grande Blvd., Albuquerque NM 87104 Phone#: 506-255-6400 Fax#: E-mail: Other Contact: Address:	Architect: NCA Architects			Contact: Dave Puritz
Phone#: 505-255-8400 Fax#: E-mail: Other Contact: Contact: Address: Phone#: Fax#: E-mail: Check all that Apply: DEPARTMENT: X HYDROLOGY/ DRAINAGE TRAFFIC/ TRANSPORTATION M54/ EROSION & SEDIMENT CONTROL TYPE OF SUBMITTAL: ENGINEER/ ARCHITECT CERTHALOGUE X CONCEPTUAL G & D PLAN GRADING PLAN DRAINAGE MASTER PLAN DRAINAGE MASTER PLAN DRAINAGE REPORT CLOMR/LOMR TRAFFIC CIRCULATION LAYOUT (TCL) TRAFFIC IMPACT STUDY (TIS) EROSION & SEDIMENT CONTROL PLAN (ESC) OTHER (SPECIFY) SEP 2 9 2015 SITE PLAN FOR SUB'D APPROVAL SITE PLAN FOR BLIDG. PERMIT APPROVAL SIA/ RELEASE OF FINANCIAL GUARANTEE FOUNDATION PERMIT APPROVAL GRADING PERMIT APPROVAL GRADING PERMIT APPROVAL GRADING PERMIT APPROVAL CLOMR/LOMR OTHER (SPECIFY) OTHER (SPECIFY) SITE PLAN FOR SUB'D APPROVAL SIA/ RELEASE OF FINANCIAL GUARANTEE FOUNDATION PERMIT APPROVAL GRADING PERMIT APPR		M 87104	<u> – – –</u>	Contact. Dave i una
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			PRE-DESIGN	MEETING
DATE SUBMITTED:By: _John Jacquez	IS THIS A RESUBMITTAL?: Yes _X	No		
	DATE SUBMITTED:	By: John Jacque	Z	**



December 28, 2016

Dave Puritz NCA Architects 1306 Rio Grande Blvd., NW Albuquerque, NM 87104

Re: Catholic Charities - 2034 Bridge Blvd., SW

180-Day Temporary Certificate of Occupancy- Transportation

Development

Architect's Stamp dated 02-02-16 (L12D012)

Certification dated 12-27-16

16

Dear Mr. Puritz,

Based upon the information provided in your submittal received 12-28-16, Transportation Development has no objection to the issuance of a <u>180-day Temporary Certificate of Occupancy</u>. This letter serves as a "green tag" from Transportation Development for a <u>180-day Temporary Certificate of Occupancy</u> to be issued by the Building and Safety Division.

PO Box 1293

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

Albuquerque

1. Phase two of the provided site plan will need to be complete and all large equipment and construction fencing be removed.

New Mexico 87103

Once corrections are complete resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. For digital submittal and minor comments and/or repairs, please submit photos to PLNDRS@cabq.gov prior to submittal. If you have any questions, please contact me at (505) 924-3981.

www.cabq.gov

Plan Checker, Transportation & Hydrology

Development Review Services

C: CO Clerk, File



Robert M. Calvani

12/27/16

John C. Layman

Krystal Metro Traffic Engineer

Thomas C. Wilber

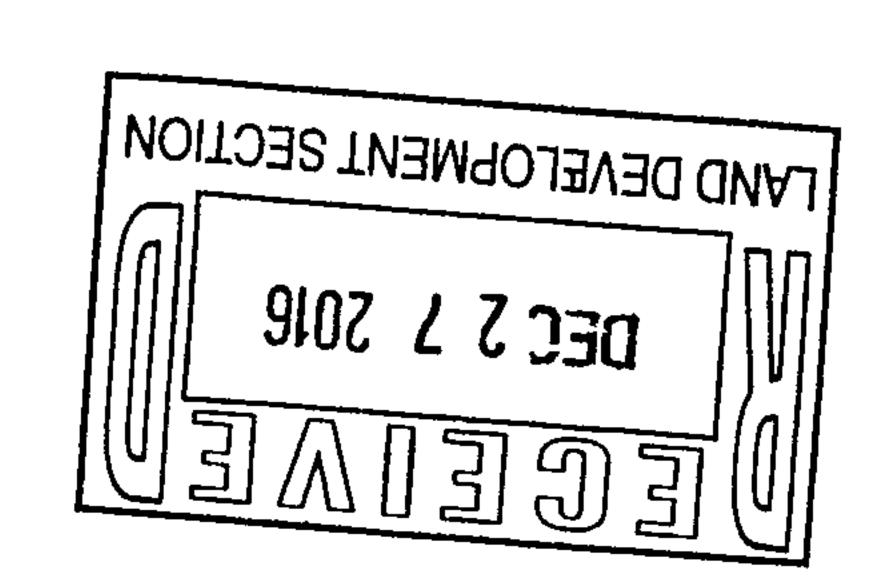
Development and Building Services

Planning Department City of Albuquerque

RE:

Approval of Certificate of Occupancy for

Catholic Charities 2034 Bridge Blvd. SW Albuquerque, NM 87105



Dear Krystal,

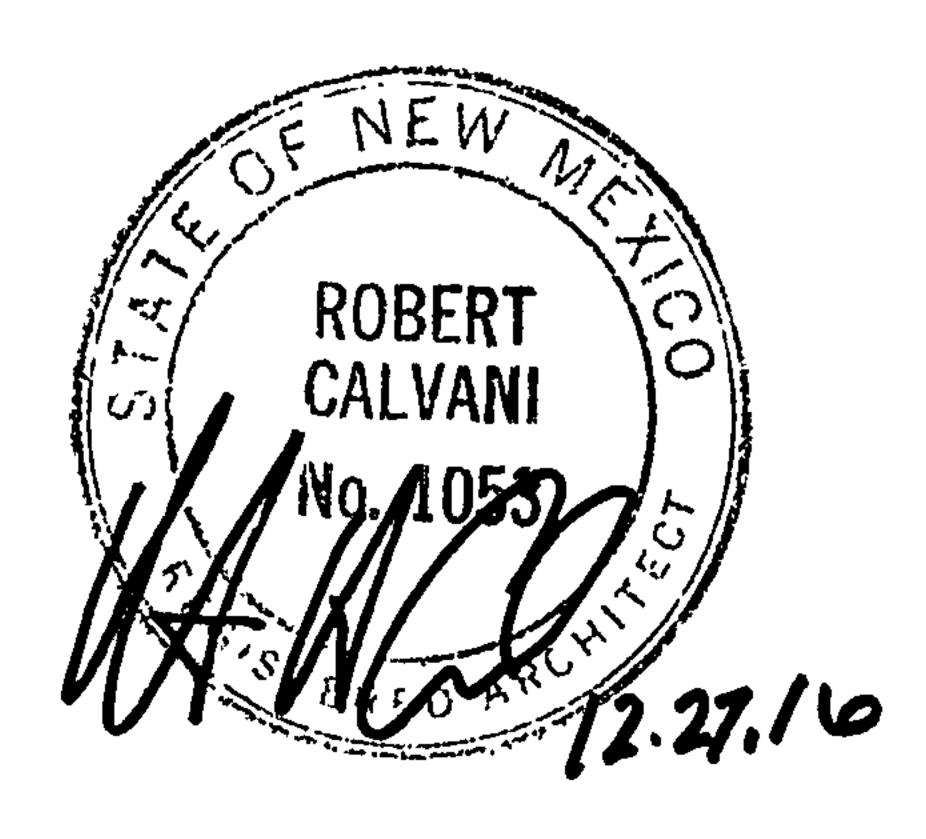
I Robert Calvani, a registered Architect in the State of New Mexico of the firm NCA Architects, herby certify that this project is in substantial compliance with and in accordance with the design intent of the approved plan dated January 07, 2016 for Phase I of this project. The record information edited onto the original design document has been obtained by Dave Puritz of the firm NCA Architects. I further certify that I have personally visited the project site on December 27, 2016 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Final Certificate of Occupancy.

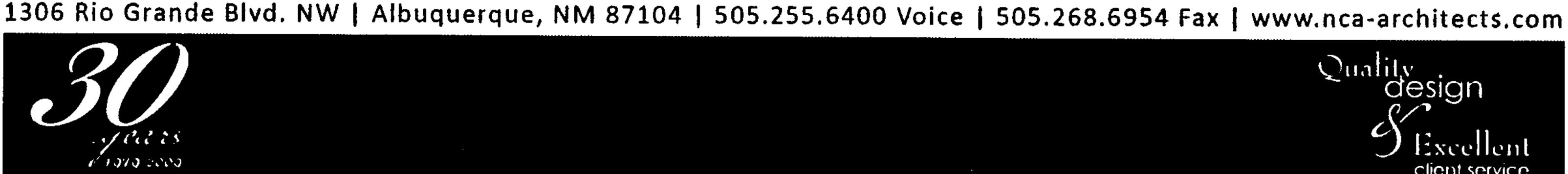
The record information presented heron is not necessarily completed and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Sincerely,

Robert Calvani, AIA

Principal-in-Charge







February 15, 2016

Dave Puritz NCA Architects 1306 Rio Grande Blvd., NW Albuquerque, NM 87104

Re: Catholic Charities

2010 Bridge Blvd., SW Traffic Circulation Layout

Engineer's/Architect's Stamp dated 2-12-16 (L12-D012)

Dear Mr. Puritz,

The TCL submittal received 2-11-16 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed <u>Drainage and Transportation Information Sheet</u> to front counter personnel for log in and evaluation by Transportation.

Albuquerque

PO Box 1293

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

New Mexico 87103

Sincerely,

All

www.cabq.gov

Racquel M. Michel, P.E. Traffic Engineer, Planning Dept.

Development Review Services

\gs via: email C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: CATHOLIC CHARITIES Building Permit #:	City Drainage #: 1200
DRB#:	Work Order#:
Legal Description: PLAT OF LOT 1-A CASA DE CORAZON	- TOTA CIUCITT.
City Address: 2010 BRIDGE BLVD SW 97105	PH. 247.0442
Engineering Firm: Address:	Contact:
Phone#: Fax#:	77
	E-mail:
Owner: CATHOLIC CHARITIES	Contact: BETH CHAVEZ
Address: 330 CANDELACIA R.D. NE ABQ, 87107 Phone#: 505.724.4670 Fax#:	
Phone#: 505.724.4670 Fax#:	E-mail: chavezb@ccastnm.org
Architect: NCA ARCHITECTS	Contact: DAVE PUR 172
Address: 1306 RIO GRANDE BLVD NW, ABO	87104
Phone#: 505.255.6400 Fax#:	E-mail: dourstz@nca-architects,
Other Contact:	com
Address:	Contact:
Phone#:	E-mail:
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IS THIS A RESUBMITTAL?: YesNo	· · · · · · · · · · · · · · · · · · ·
DATE SUBMITTED:By:	
DA STAFF: ELECTRONIC SUBMITTAL RECEIVED: 2.F-SIASM177	ED 2/05/16
RE-SUBMITT	ED 2/12/16



February 8, 2016

Dave Puritz NCA Architects 1306 Rio Grande Blvd., NW Albuquerque, NM 87104

Re: Catholic Charities

2010 Bridge Blvd., SW Traffic Circulation Layout

Engineer's/Architect's Stamp dated 2-2-16 (L12-D012)

Dear Mr. Puritz,

Based upon the information provided in your submittal received 2-5-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- 1. The van wheelchair accessible spaces must include an 8-foot wide access aisle; all other aisles should be 5 feet in width. This is in accordance with the federal Americans with Disabilities Act Accessibility Guidelines, which supersedes COA Codes. The federal guidelines are being incorporated into the Development Process Manual (DPM).
- 2. All ADA access aisles shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
- 3. Please include two copies of the traffic circulation layout at the next submittal.

New Mexico 87103

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

www.cabq.gov

PO Box 1293

Albuquerque

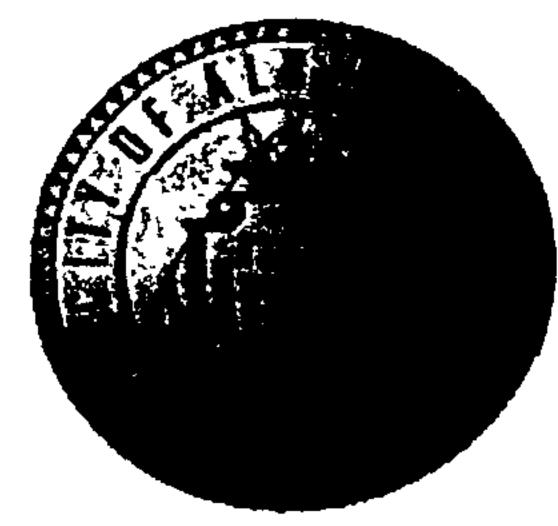
Racquel M. Michel, P.E.

Sincerely,

//

Traffic Engineer, Planning Dept. Development Review Services

\gs via: email C: CO Clerk, File



City of Albuquerque

Planning Department

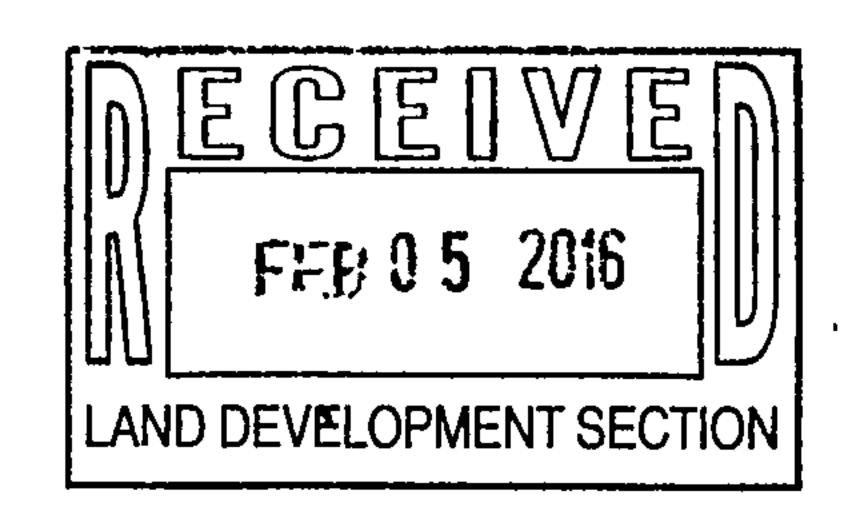
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: CATHOLIC CHARITIES	Building Permit #: City Drainage #: (12)01
DRB#:	Work Order#:
Legal Description: PLAT OF LOT 1-A CASA	
City Address: 2010 BR106E BLVD	SW 927105 PH. 247.0442
Engineering Firm: Address:	Contact:
Phone#: Fax#:	E-mail:
Owner: CATHOLIC CHARITIES Address: 3301 CANDELARIA RONE	A-DG. 87107 Contact: BETH CHAVEZ
Phone#: 505.724.4670 Fax#:	E-mail: chavezb@ccastnm.or
Architect: NCA ARCHITECTS	Contact: DAVE PUR, 172
Address: 1306 P10 GRANDE BL	VD NW, ABO 87104
Phone#: 505.255.6400 Fax#:	E-mail: dpvritz@nca-architects
Other Contact:	Contact:
Address:	
Phone#: Fax#:	E-mail:
Check all that Apply:	•
DEPARTMENT:	CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:
HYDROLOGY/ DRAINAGE TRAFFIC/ TRANSPORTATION	BUILDING PERMIT APPROVAL
MS4/EROSION & SEDIMENT CONTROL	CERTIFICATE OF OCCUPANCY
TYPE OF SUBMITTAL:	
ENGINEER/ ARCHITECT CERTIFICATION	PRELIMINARY PLAT APPROVAL
LINGHALLIO ARCHITECT CERTIFICATION	SITE PLAN FOR SUB'D APPROVAL
CONCEPTUAL G & D PLAN	SITE PLAN FOR BLDG. PERMIT APPROVAL
GRADING PLAN	FINAL PLAT APPROVAL
DRAINAGE MASTER PLAN	SIA/ RELEASE OF FINANCIAL GUARANTEE
DRAINAGE REPORT	FOUNDATION PERMIT APPROVAL
CLOMR/LOMR	GRADING PERMIT APPROVAL SO-19 APPROVAL
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TRAFFIC CIRCULATION LAYOUT (TCL)	GRADING/PAD/CERTIFICATION (V) E
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EROSION & SEDIMENT CONTROL PLAN (ESC)	CLOMR/LOMR FFB 0 5 2013
OTHER (SPECIFY)	PRE-DESIGN MEETING
	OTHER (SPECIFY) DEVELOPMENT SECTION
IS THIS A RESUBMITTAL?: Yes No	
DATE SUBMITTED:By:	Aug
OA STAFF: ELECTRONIC SUBMITTAL RECEIVED:	RE-50BM17750 2/05/16
	Arch Stamp 2-2-16

LANDOUAL





Robert M. Calvani

February 05, 2016

John C. Layman

Racquel M. Michel, P.E. Traffic Engineer

Thomas C. Wilber

Planning Dept. Development Review Services

Re: Catholic Charities

2034 Bridge Blvd., SW

Traffic Circulation Layout

Engineer's/Architect's Stamp dated 1-9-16 (L12-D012)

The following comments have been addressed for the resubmitted package:

1. Please show a vicinity map showing the location of the development in relation to streets and well known landmarks. Please clearly show the lots proposed in the project.

Response: Please refer to sheet AS-201 Vicinity Map. The shaded area indicates the project lots.

Clarify the extents of the current phase.

Response: Please refer to sheet AS-202 General Notes B & C for Phase Project Scope description. A hatch pattern and Phase labels have also been added to the site plans on sheets AS-201 and AS-202 for additional clarity.

Identify the right of way width, medians, curb cuts, and street widths on Bridge Blvd.

Response: Please refer to sheet AS-201 for the dimensions along Bridge Blvd.

Clearly detail sidewalk, curb cuts and handicap ramps along Bridge Blvd.(Key Note #26) Truncated domes are required at handicap ramps in the public right-of-way at curb cuts.

Response: Please refer to sheet C-501 for details. This sheet has been added to the resubmitted package for clarification. The appropriate City Standard drawings have also be included on reference sheet AS-203.

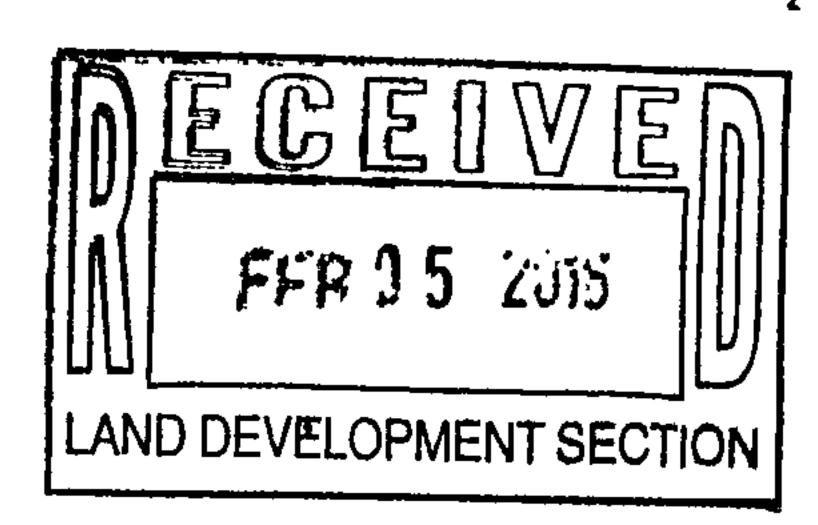
The handicap accessible spaces must include an 8-foot wide van access aisle; all other aisles should be 5 feet in width. In review of submitted drawing the access isle are shown to be 3.5 ft. in width (Key Note #9).

Response: Please refer to sheet AS-201. The ADA van access aisles have been updated to 8'. The ADA aisles for standard spaces have been kept at

1306 Rio Grande Blvd. NW | Albuquerque, NM 87104 | 505.255.6400 Voice | 505.268.6954 Fax | www.nca-architects.com







3'-6" per the Albuquerque Code of Ordinances – Chapter 23 –
Transportation Design – Section 7.A – Parking Stall Sizes.

- 6. Per provided parking calculations, the site requires two ADA van accessible parking spaces with accessible isles. Please reconfigure parking spaces to accommodate the required van accessible parking spaces.
 - **Response:** Two ADA van accessible parking spaces with accessible isles have been provided. Please refer to sheet AS-201 keynote 3 for locations.
- 7. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "Violators Are Subject to a Fine and/or Towing."

Response: Please refer detail B1/AS-202 for the updated parking signage details with the required language included.

The ADA access aisle shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)

Response: Please refer to AS-201 for the revised access aisles.

Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show and dimension this pedestrian pathway from the ADA parking space on the south side of proposed building to the building entrance.

Response: Please refer to AS-201. The south ADA parking space has been relocated. The required 8 ADA parking spaces are now in the north parking area.

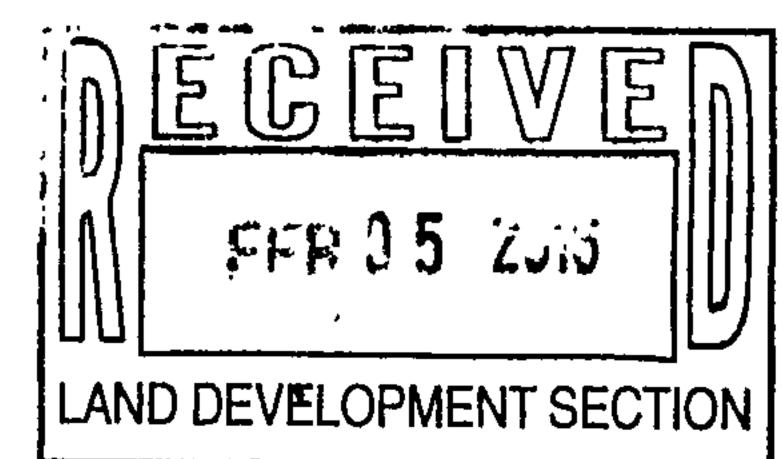
10. Label the compact parking spaces by placing the words "COMPACT" on the pavement of each space.

Response: Please refer to sheet AS-201 for the corrected parking space labels.

Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles. Please call out the dimension of the proposed concrete barrier curb.

Response: Please refer to AS-201 keynote 28 for curb locations at landscaping and parking areas and/or drive aisles. Please see C-501 detail D1 for curb detail.

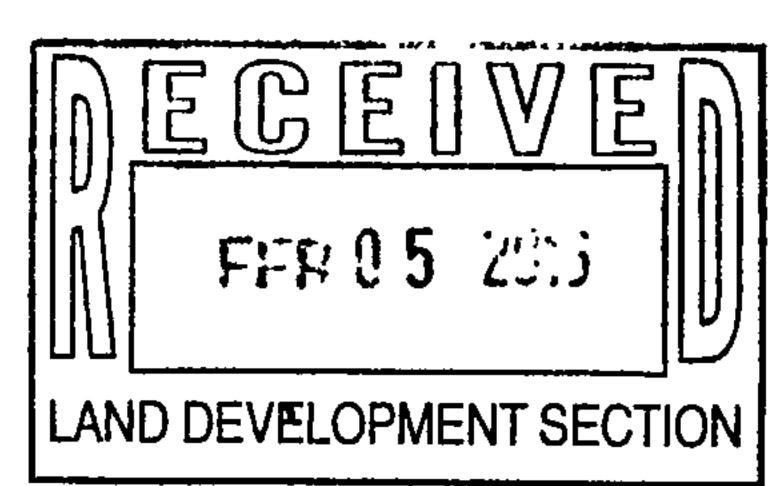
12. Design delivery vehicle route needs to be shown.



Response: Please refer to AS-201 keynote 30 for the design delivery vehicle route. <u>.</u> 13. Service vehicle and/or refuse vehicle maneuvering must be contained onsite; provide a copy of refuse approval. Response: Please refer to the attached site plan from the Solid Waste Department with their approval signature. It is not apparent what type of pavement surface is being proposed. A hard 14. driving surface will be required as part of this proposed project for parking area and drive aisles. Response: Please refer to AS-201 keynote 27. The pavement surface is to be asphalt. Please provide a sight distance exhibit (see the Development Process .15. زيا Manual, Chapter 23, Section 3, Part D.5 Intersection Sight Distance). Please call out this detail for both entrances/exits off of Bridge Blvd. Response: Please refer to AS-201 keynote 29. The sight distance exhibit has also be included on reference sheet AS-203. Please add the following note to the clear sight triangle: "Landscaping and 16. signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area." - Response: Please refer to reference sheet AS-203 for the sight distance exhibit with the added note. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build *-*17. note must be provided referring to the appropriate City Standard drawing. Response: Please refer to sheet AS-201 General Notes 6. The appropriate City Standard drawings have also be included on reference sheet AS-203. All broken or cracked sidewalk must be replaced with sidewalk and curb & 18. gutter. A build note must be provided referring to the appropriate City Standard drawing. Response: Please refer to sheet AS-201 General Notes 6. The appropriate City Standard drawings have also be included on reference sheet AS-203. Please include two copies of the traffic circulation layout at the next

Response: Per your request two copies have been resubmitted.

submittal.



Please let me know if we need to re-respond to any comments that we might have misinterpreted or if you need any additional information.

Sincerely,

Dave Puritz

NCA Architects

505-255-6400



January 21, 2016

Dave Puritz NCA Architects 1306 Rio Grande Blvd.,NW Albuquerque, NM 87104

Re: Catholic Charities

2034 Bridge Blvd., SW Traffic Circulation Layout

Engineer's/Architect's Stamp dated 1-9-16 (L12-D012)

Dear Mr./Ms.,

Based upon the information provided in your submittal received 1-20-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please show a vicinity map showing the location of the development in relation to streets and well known landmarks. Please clearly show the lots proposed in the project.

PO Box 1293

- 2. Clarify the extents of the current phase.
- 3. Identify the right of way width, medians, curb cuts, and street widths on Bridge Blvd.

Albuquerque

4. Clearly detail sidewalk, curb cuts and handicap ramps along Bridge Blvd. (Key Note #26) Truncated domes are required at handicap ramps in the public right-of-way at curb cuts.

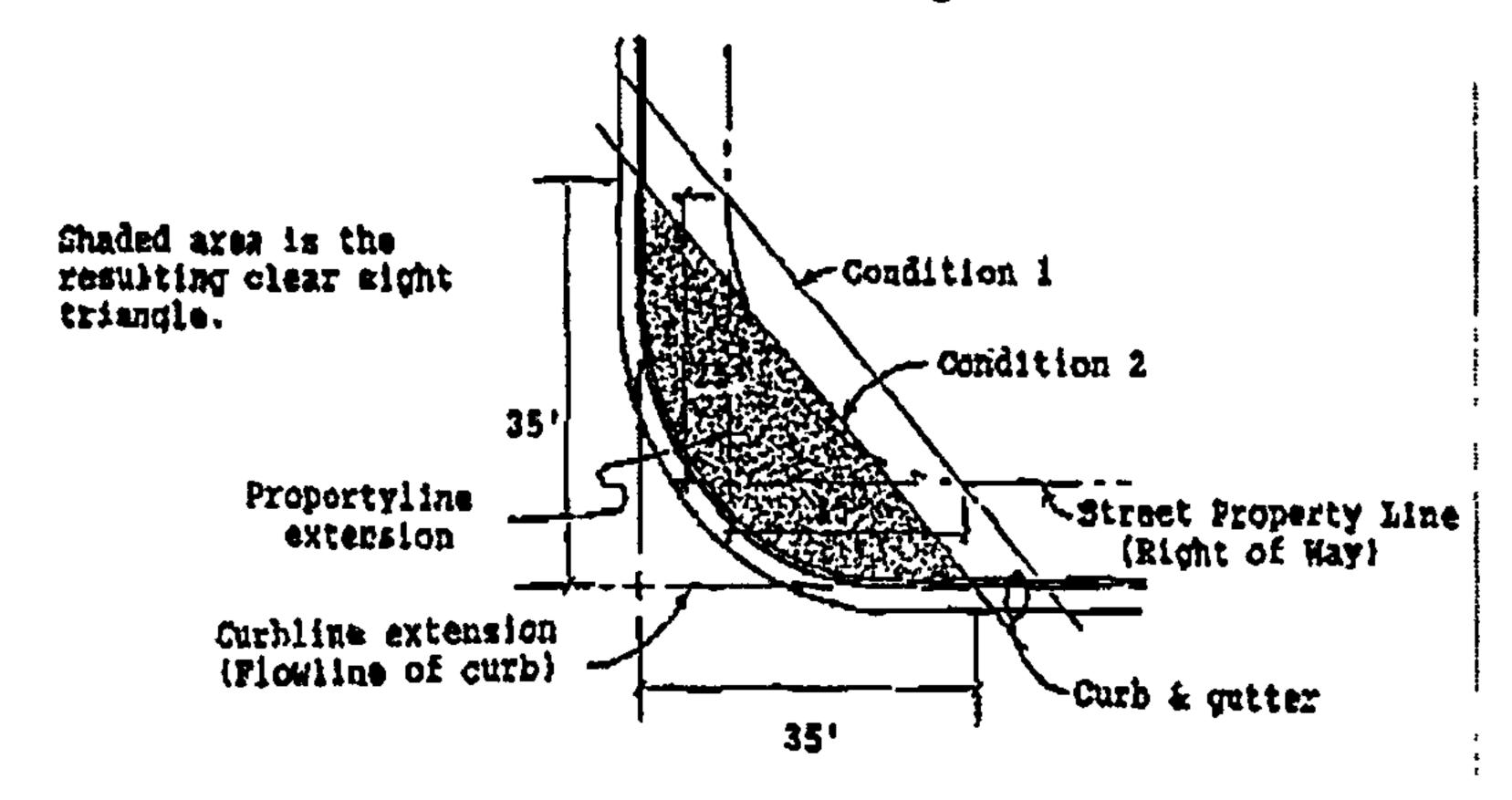
New Mexico 87103

5. The handicap accessible spaces must include an 8-foot wide van access aisle; all other aisles should be 5 feet in width. In review of submitted drawing the access isle are shown to be 3.5 ft. in width(Key Note #9).

- 6. Per provided parking calculations, the site requires two ADA van accessible parking spaces with accessible isles. Please reconfigure parking spaces to accommodate the required van accessible parking spaces.
- 7. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "Violators Are Subject to a Fine and/or Towing."
- 8. The ADA access aisle shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
- 9. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show and dimension this pedestrian pathway from the ADA parking space on the south side of proposed building to the building entrance.



- 10. Label the compact parking spaces by placing the words "COMPACT" on the pavement of each space.
- 11. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles. Please call out the dimension of the proposed concrete barrier curb.
- 12. Design delivery vehicle route needs to be shown.
- 13. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.
- 14. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.
- 15. Please provide a sight distance exhibit (see the *Development Process Manual*, *Chapter 23, Section 3, Part D.5 Intersection Sight Distance*). Please call out this detail for both entrances/exits off of Bridge Blvd.



PO Box 1293

Albuquerque

New Mexico 87103

- 16. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
- 17. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
- 18. All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
- 19. Please include two copies of the traffic circulation layout at the next submittal.



Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

Sincerely,

Racquel M. Michel, P.E.

Traffic Engineer, Planning Dept. Development Review Services

\gs via: email C: CO Clerk, File

PO Box 1293

Albuquerque

New Mexico 87103



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

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CK TYPE OF APPROVAL/ACCEPTANCE SOUGHT: BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY
PRELIMINARY PLAT APPROVAL
SITE PLAN FOR SUB'D APPROVAL
SITE PLAN FOR BLDG. PERMIT APPROVAL
FINAL PLAT APPROVAL
SIA/ RELEASE OF FINANCIAL GUARANTEE
FOUNDATION PERMIT APPROVAL GRADING PERMIT APPROVAL
SO-19 APPROVAL
PAVING PERMIT APPROVALE FIN
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