

L12D012

**Elliott, Stanice**

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**From:** Elliott, Stanice  
**Sent:** Friday, March 17, 2017 10:48 AM  
**To:** 'Dan Lyons'  
**Cc:** Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker, Lois  
**Subject:** RE: Catholic Charities - 2010 Bridge Blvd. SW - Hydrology Temp. Extension

Dan,  
I will extend the current 90-day CO TEMP for another 30 days thru April 29, 2017.

Stanice 'Totten' Elliott  
Planning Department  
Hydrology Section  
City of Albuquerque  
505-924-3982  
505-924-3864 fax

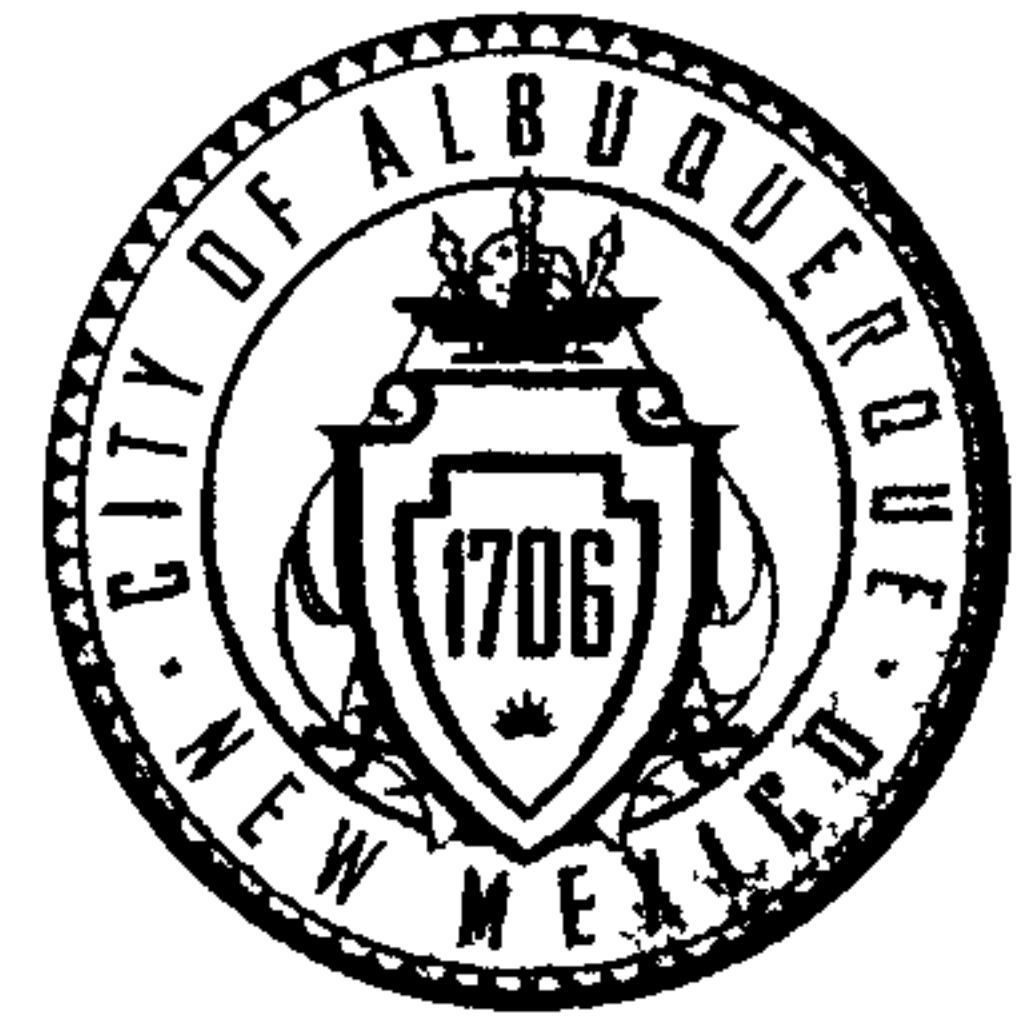
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**From:** Dan Lyons [<mailto:DLyons@bradburystamm.com>]  
**Sent:** Friday, March 17, 2017 10:34 AM  
**To:** Elliott, Stanice  
**Subject:** Catholic Charities - 2010 Bridge Blvd. SW - Hydrology Temp. Extension

Totten,  
Per our recent conversation, we are requesting to extend the Temporary for Hydrology for this project to allow us to complete the east parking lot work. We should be complete with all work in early April, but we need to update our current Temp. CO on 3/27. Please extend the Hydrology for this project for 30 days, to the end of April, if possible. I appreciate your assistance with this.  
Please contact me with any questions or issues.  
Thanks,  
Dan

**Dan Lyons, LEED AP | Sr. Project Manager**  
**BRADBURY STAMM CONSTRUCTION...since 1923**  
7110 2<sup>nd</sup> Street NW | Albuquerque, NM 87107  
Main: 505.765.1200 | Direct: 505.681.4312 | Fax: 505.842.5419  
[dlyons@bradburystamm.com](mailto:dlyons@bradburystamm.com) | [www.bradburystamm.com](http://www.bradburystamm.com)

# CITY OF ALBUQUERQUE



December 29, 2016

Richard J. Berry, Mayor

John Jacquez, P.E.  
Miller Engineering Consultants  
3500 Comanche NE, Bldg F  
Albuquerque, NM, 87107

**RE: Catholic Charities  
2010 Bridge Blvd  
Request 90-Day Temporary C.O. - Accepted  
Engineer's Stamp Date 11-11-15 (File:L12D012)  
Certification date: 12-22-16**

Dear Mr. Jacquez:

Based upon the information provided in your submittal received 12-22-2016, the above referenced Certification received is acceptable for 90-day temporary release of Certificate of Occupancy by Hydrology.

- We understand that portions of the existing building need to be removed, but all of Hydrology's comments have been addressed for this Phase of the project.
- Please request a permanent CO when the site is ready for inspection again.

If you have any questions, you can contact me at 924-3986 or Totten Elliott at 924-3982.

Sincerely,

Abiel Carrillo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

AC/AC

C: email, Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker, Lois



## Carrillo, Abiel X.

---

**From:** Dan Lyons <DLyons@bradburystamm.com>  
**Sent:** Wednesday, December 28, 2016 9:46 AM  
**To:** Carrillo, Abiel X.  
**Subject:** Catholic Charities - 2010 Bridge Blvd. SW

Abiel,

Attached are photos of the dirt mound removed and installed base course, temp. Fence removed, and cleaned out drains in the back as requested.

Please let me know if you need anything else.

Please approve today if possible as we are counting on getting our TCO tomorrow.

We would appreciate a 90 day temp. if possible as this would give us the necessary time to remove the existing building and complete the site work.

Please contact me with any questions.

Thanks

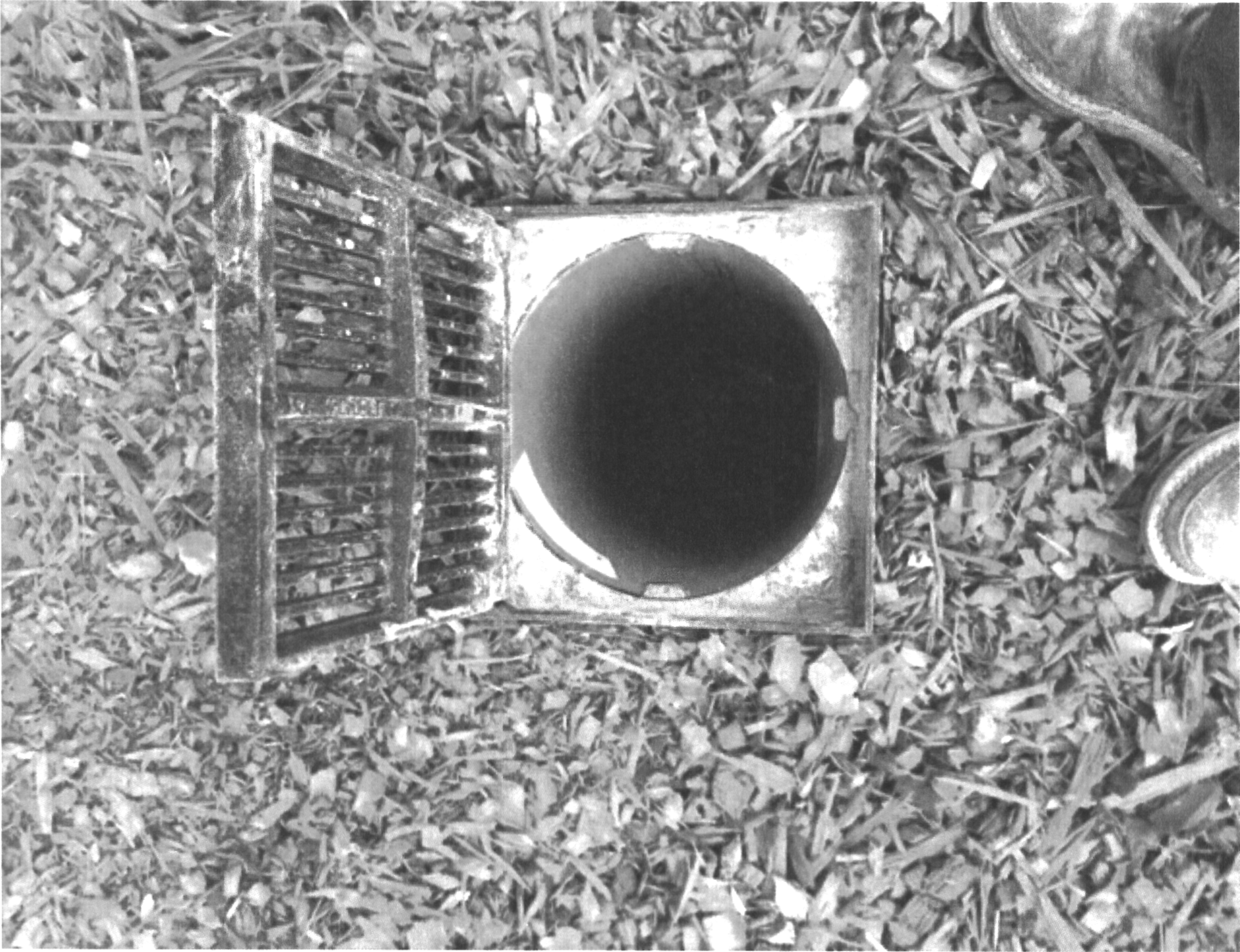
Dan



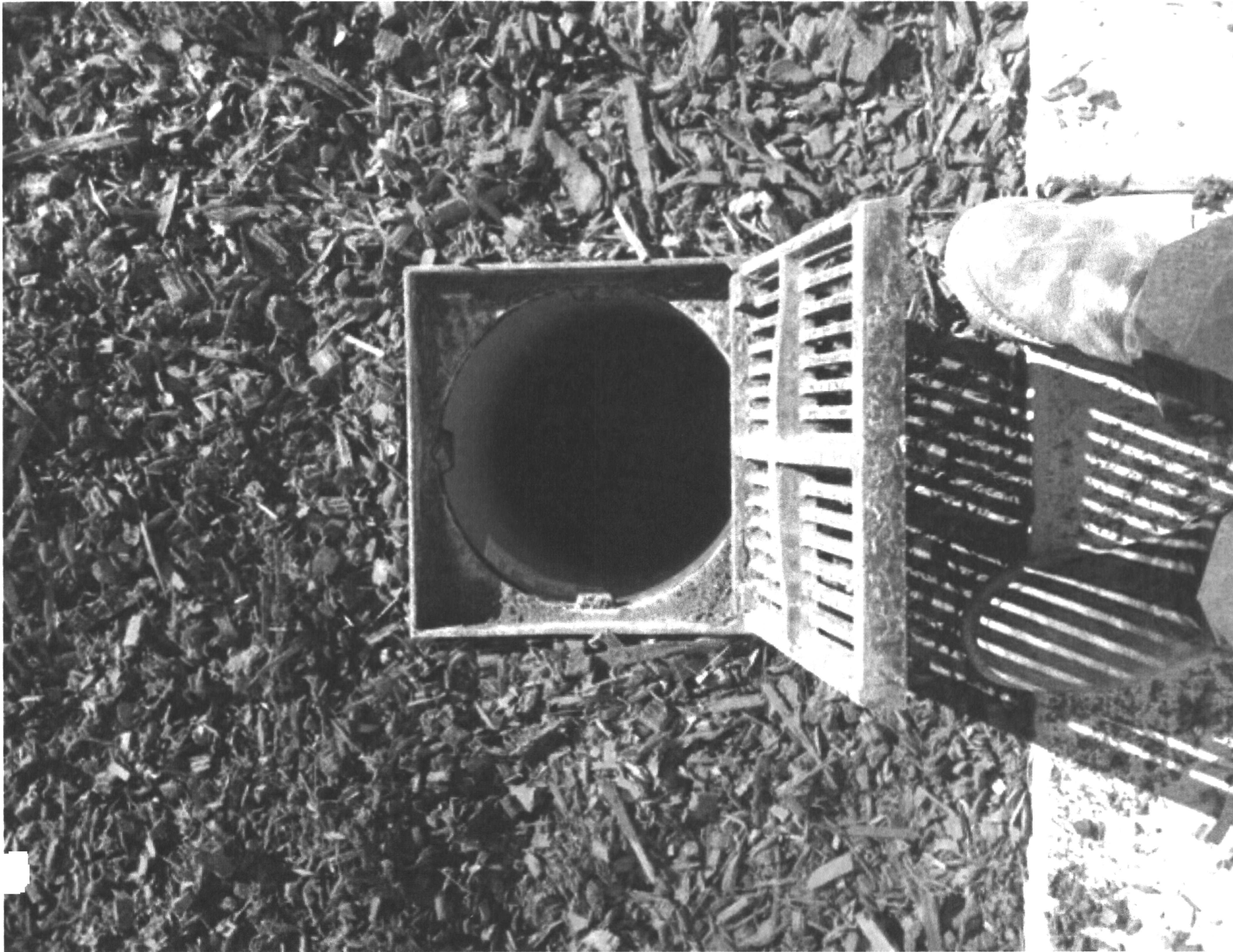












**Dan Lyons, LEED AP | Sr. Project Manager**  
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dlyons@bradburystamm.com | www.bradburystamm.com





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Catholic Charities Building Permit #: \_\_\_\_\_ City Drainage #: L12D012

DRB#: 15DRB-70355 EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: Lot /Tract: 148A1B, 147B1, 147B2A, 148A-A-1A1A1, Block 0000, Unit 25

City Address: Near Bridge Blvd. Between Anthony Lane and Pear Road

Engineering Firm: Miller Engineering Consultants Contact: John Jacquez

Address: 3500 Comanche NE, bldg F Albuquerque, NM 87107

Phone#: 505-888-7500 Fax#: 505-888-3800 E-mail: jjacquez@mecnm.com

Owner: Catholic Charities Foundation Contact: \_\_\_\_\_

Address: 3301 Candelaria Rd. NE, Ste. B, Albuquerque, NM 87107

Phone#: 505-505-254-2623 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: NCA Architects Contact: Dave Puritz

Address: 1306 Rio Grande Blvd., Albuquerque NM 87104

Phone#: 505-255-6400 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY

### TYPE OF SUBMITTAL:

- ☒ ENGINEER/ ARCHITECT CERTIFICATION

- ☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR

- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) \_\_\_\_\_

PRELIMINARY PLAT APPROVAL

SITE PLAN FOR SUB'D APPROVAL

SITE PLAN FOR BLDG. PERMIT APPROVAL

FINAL PLAT APPROVAL

SIA/ RELEASE OF FINANCIAL GUARANTEE

FOUNDATION PERMIT APPROVAL

GRADING PERMIT APPROVAL

SO-19 APPROVAL

PAVING PERMIT APPROVAL

GRADING/PAD CERTIFICATION

WORK ORDER APPROVAL

CLOMR/LOMR

PRE-DESIGN MEETING

OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 12-22-2016 By: John Jacquez

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_



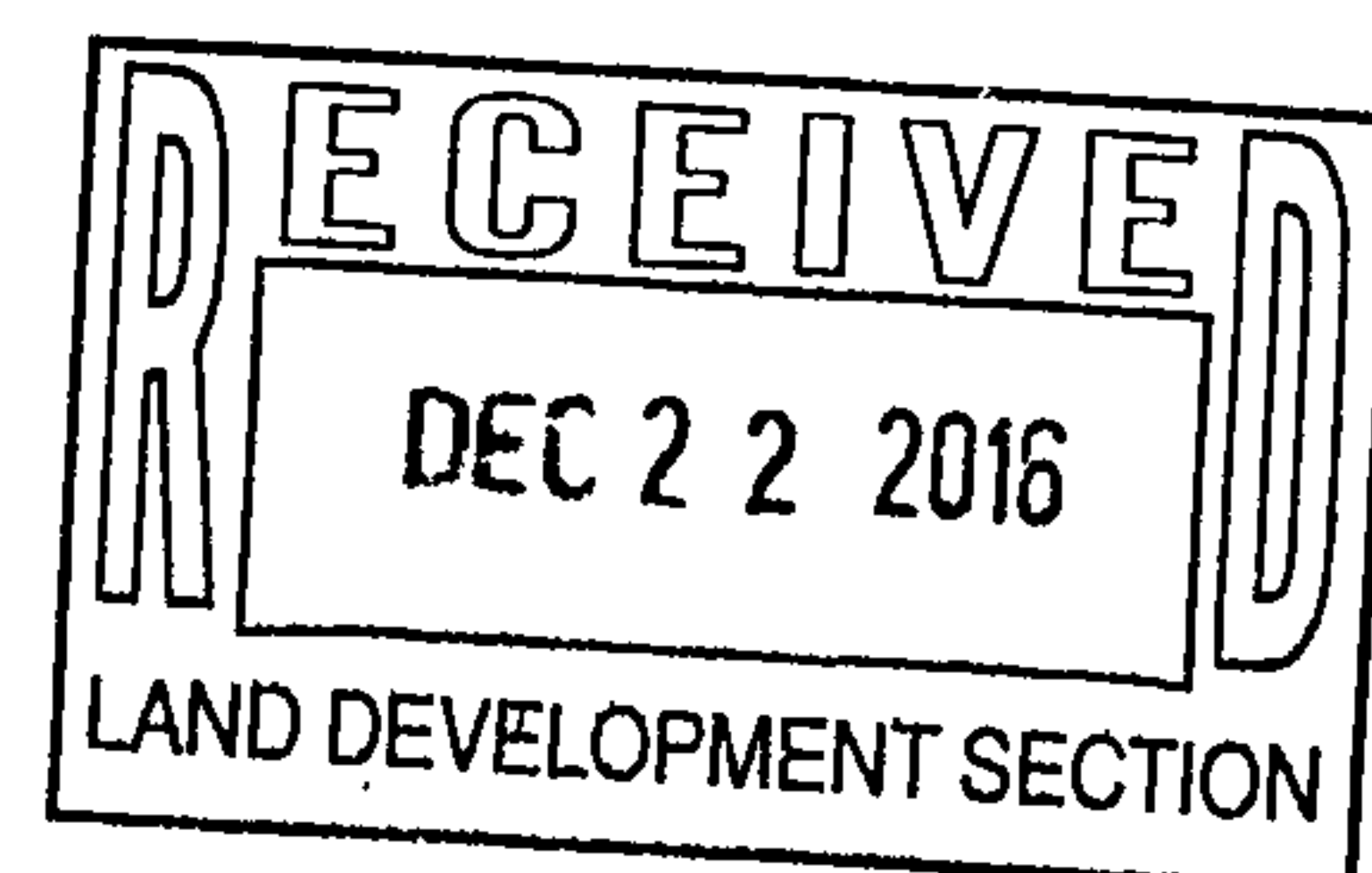
## **Bernadine York**

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**From:** Bernadine York  
**Sent:** Thursday, December 22, 2016 11:25 AM  
**To:** 'plndrs@cabq.gov'  
**Cc:** John Jacquez; Jana Miller  
**Subject:** COA Certificate of Occupancy Application and As-Built Drawing for Catholic Charities Project  
**Attachments:** As Built20161222\_11184557.pdf

Please find attached PDF of the submittal for Certificate of Occupancy for Catholic Charities Project. We will submit 2 hardcopies this afternoon.

Thank you,  
**Dina York**  
**Miller Engineering Consultants, Inc.**  
3500 Comanche NE, Bldg. F  
Albuquerque, NM 87107  
Phone: 505.888.7500  
Fax: 505.888.3800  
Email: [dyork@mecnm.com](mailto:dyork@mecnm.com)





# CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



December 10, 2015

Verlyn Miller, PE  
**Miller Engineering Consultants**  
3500 Comanche NE  
Albuquerque, NM 87107

Richard J. Berry, Mayor

RE: **Catholic Charities**  
**Grading & Drainage Plan**  
**Engineer's Stamp Date (11-11-15) (File: L12D012)**

Dear Mr. Miller:

Based upon the information provided in your submittal received 11-16-15, the above referenced plan is approved for Building Permit and SO-19 Permit, based on the following conditions:

1. The proposed bus shelter must be moved out of the water harvesting/First flush pond.
- 2. According to Racquel Michel, the architect is aware that a TCL is required for Building Permit. Flowline elevations at the Curb returns need to match that shown on the TCL.
3. Do not extend the Sidewalk Culverts 2' into the ponds. Terminate them at the back of sidewalk.
4. Add a note to tack weld the plates on the sidewalk culvert to the bolts.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

Please attach a copy of this approved plan in the construction sets when submitting for a building permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

A separate SO-19 permit is required for construction within City ROW. A copy of this approval letter must be on hand when applying for the excavation/barricading permit. The work in the City ROW must be inspected and accepted. Contractor must contact Jason Rodriguez at 235-8016 and Construction Coordination at 924-3416 to schedule an inspection.

Since the disturbed area on this site exceeds 1.0 acre, an Erosion and Sediment Control (ESC) Plan, prepared by a NM PE and approved by the City's Stormwater Engineer, will be required for this site prior to any earthwork.



If you have any questions, you can contact me at 924-3695.

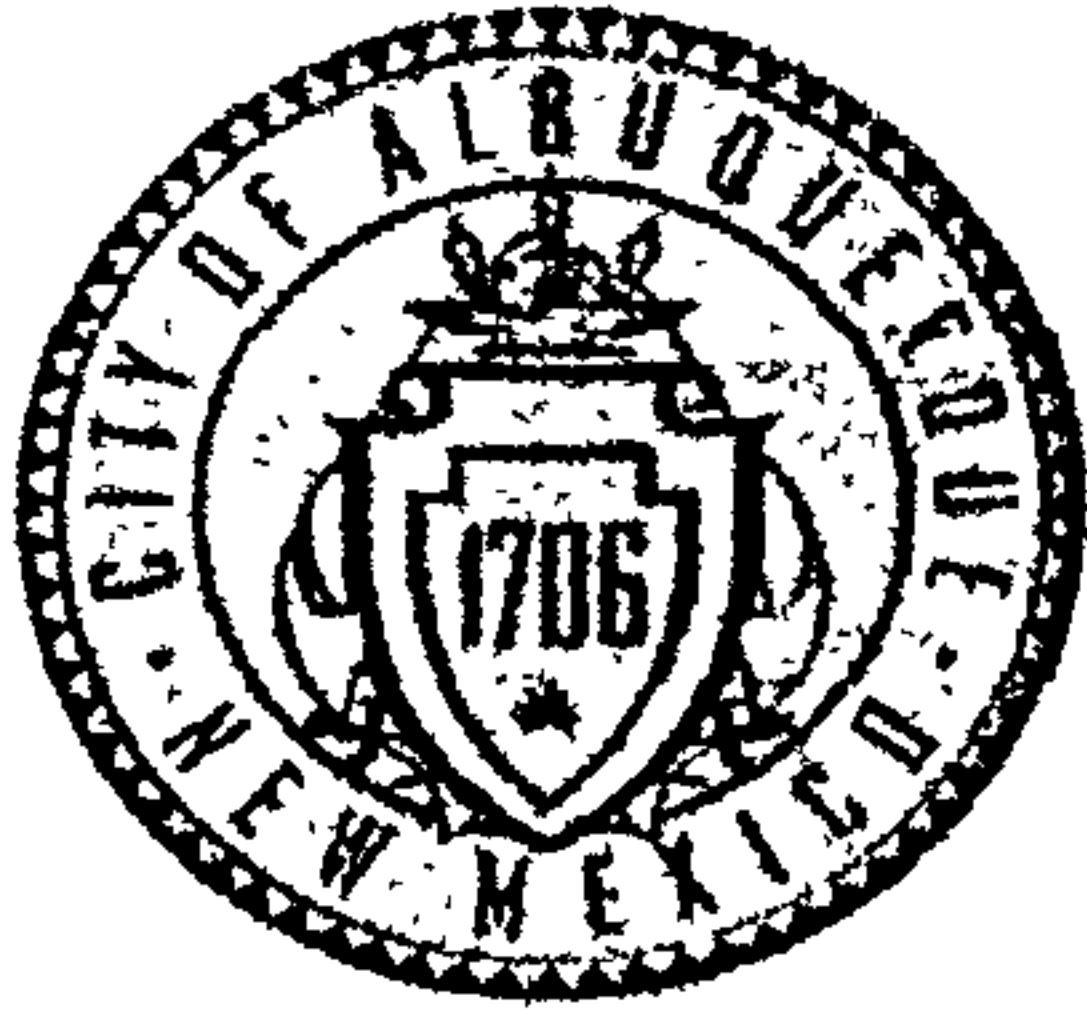
Sincerely,

A handwritten signature in black ink, appearing to read "Rita PH", with a long horizontal flourish extending to the right.

Rita Harmon, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

Orig: Drainage file  
c.pdf Addressee via Email, Jason Rodriguez





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Catholic Charities Building Permit #: \_\_\_\_\_ City Drainage #: L120012  
DRB#: 15DRB-70355 EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: Lot /Tract: 148A1B, 147B1, 147B2A, 148A-A-1A1A1, Block 0000, Unit 25  
City Address: Near Bridge Blvd. Between Anthony Lane and Pear Road

Engineering Firm: Miller Engineering Consultants Contact: John Jacquez  
Address: 3500 Comanche NE, bldg F Albuquerque, NM 87107  
Phone#: 505-888-7500 Fax#: 505-888-3800 E-mail: jjacquez@mecnm.com

Owner: Catholic Charities Foundation Contact: \_\_\_\_\_  
Address: 3301 Candelaria Rd. NE, Ste. B, Albuquerque, NM 87107  
Phone#: 505-505-254-2623 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: NCA Architects Contact: Dave Puritz  
Address: 1306 Rio Grande Blvd., Albuquerque NM 87104  
Phone#: 505-255-6400 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

☐ ENGINEER/ ARCHITECT CERTIFICATION \$50.00

☐ CONCEPTUAL G & D PLAN

☒ GRADING PLAN

☐ DRAINAGE MASTER PLAN

☒ DRAINAGE REPORT

☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ TRAFFIC IMPACT STUDY (TIS)

☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: 11 November 2015 By: John Jacquez

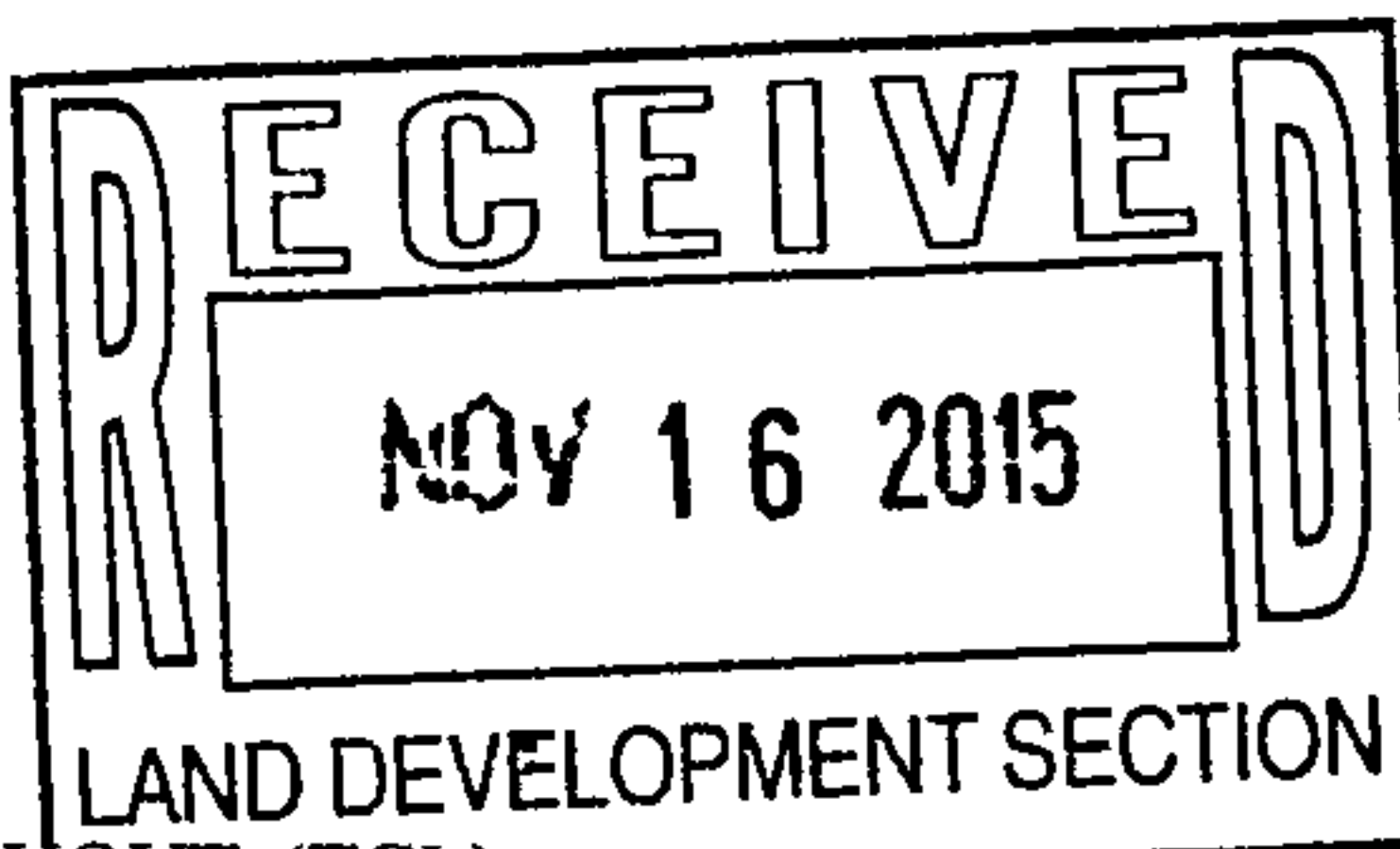
### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY

- ☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☒ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING

☐ OTHER (SPECIFY) \_\_\_\_\_



COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_



# CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



October 12, 2015

Verlyn Miller, PE  
Miller Engineering Consultants  
3500 Comanche NE  
Albuquerque, NM 87107

Richard J. Berry, Mayor

RE: **Catholic Charities**  
**Conceptual Drainage Plan for Site Development for Building Permit**  
**Engineer's Stamp Date (none) (File: L12D012)**

Dear Mr. Miller:

Based upon the information provided in your submittal received 9-29-14, the above referenced plan is approved for action by the DRB on the Preliminary Plat. Prior to Building Permit approval the following comments need to be addressed:

- ✓ 1. Runoff calculations, pond volume calculations, and "First Flush" calculations need to be provided.
- ✓ 2. The Vicinity Map and FEMA FIRMette should be on the Conceptual plan. Include on the Building Permit G&D plan.
- ✓ 3. Show Bench Mark
4. Show and call out all curb cuts, particularly on the 2 main ponds south of Bridge.
5. Call out Rip-Rap
6. Provide more TA , TS, and TC elevations to better understand the drainage around the building.
7. Show TC elevations of high and low side of curbs around water harvesting ponds.
8. Show Roof Flow arrows. Does any roof flow discharge to the south?
9. Roof Storm Drain pipe at NE corner of building extends to water harvesting pond closer to the building. Call out this area as a Water Harvesting Pond.
10. All Parking Islands and landscape islands which are used for Water Harvesting need to have contours and elevations so that they are constructed as such. State that any landscaping rock should be below these elevations.
11. How will area on South side of building drain?
12. In the narrative, use "first flush" rather than " 90<sup>th</sup> percentile..."
13. Keyed note 13 is not shown on the plan. Show SW culverts. Show or state that plates are to extend out 2 ft, and bolts to be tack welded to the plate.
14. If work in the ROW is to constructed per SO-19 Permit, then be sure SO-19 Notes are on the G&D plan. Include "SO-19" in the Title for the construction notes as well as a signature block for the Street Maintenance Inspector.
15. ***Note for all future submittals: only (1) copy of the submittal is required unless seeking an SO-19 Permit, in which case two(2) copies are required. If SO-19 approval is sought, check off the DTIS sheet.***

PO Box 1293

Albuquerque

New Mexico 87103

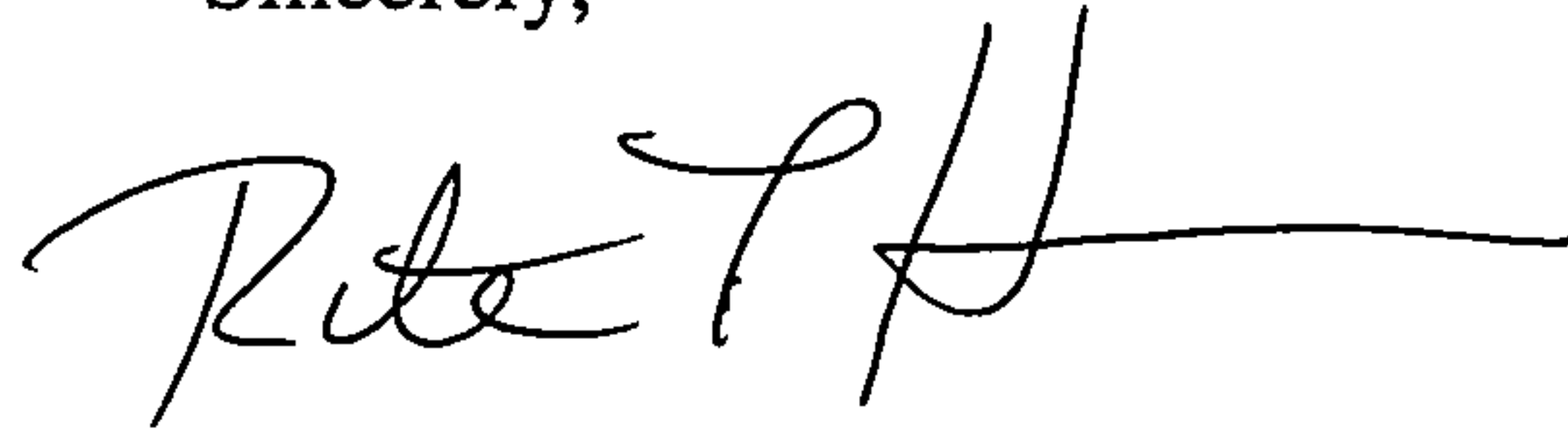
www.cabq.gov



16. Curb returns need to be detailed on the Grading plan since it is not going to be reviewed in the DRC/Work Order Process.

If you have any questions, you can contact me at 924-3695.

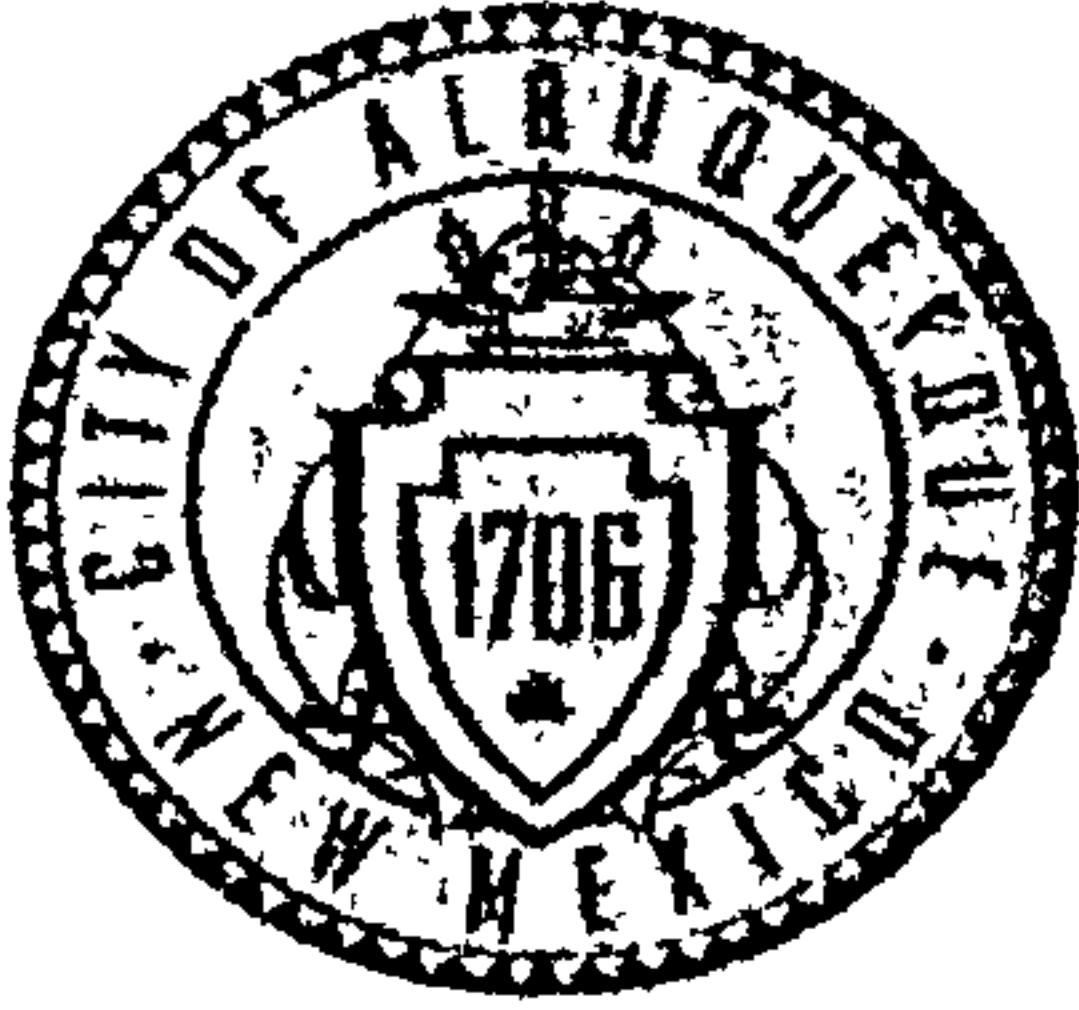
Sincerely,

A handwritten signature in black ink, appearing to read "Rita Harmon", followed by a long horizontal line.

Rita Harmon, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

Orig: Drainage file  
c.pdf Addressee via Email





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Catholic Charities Building Permit #: \_\_\_\_\_ City Drainage #: L12D012  
DRB#: 15DRB-70355 EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: Lot /Tract: 148A1B, 147B1, 147B2A, 148A-A-1A1A1, Block 0000, Unit 25  
City Address: Near Bridge Blvd. Between Anthony Lane and Pear Road

Engineering Firm: Miller Engineering Consultants Contact: John Jacquez  
Address: 3500 Comanche NE, bldg F Albuquerque, NM 87107  
Phone#: 505-888-7500 ext 106 Fax#: 505-888-3800 E-mail: jjacquez@mecnrm.com

Owner: Catholic Charities Foundation Contact: \_\_\_\_\_  
Address: 3301 Candelaria Rd. NE, Ste. B, Albuquerque, NM 87107  
Phone#: 505-505-254-2623 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: NCA Architects Contact: Dave Puritz  
Address: 1306 Rio Grande Blvd., Albuquerque NM 87104  
Phone#: 505-255-6400 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION  
☒ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: \_\_\_\_\_ By: John Jacquez

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
  
☒ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
  
☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_

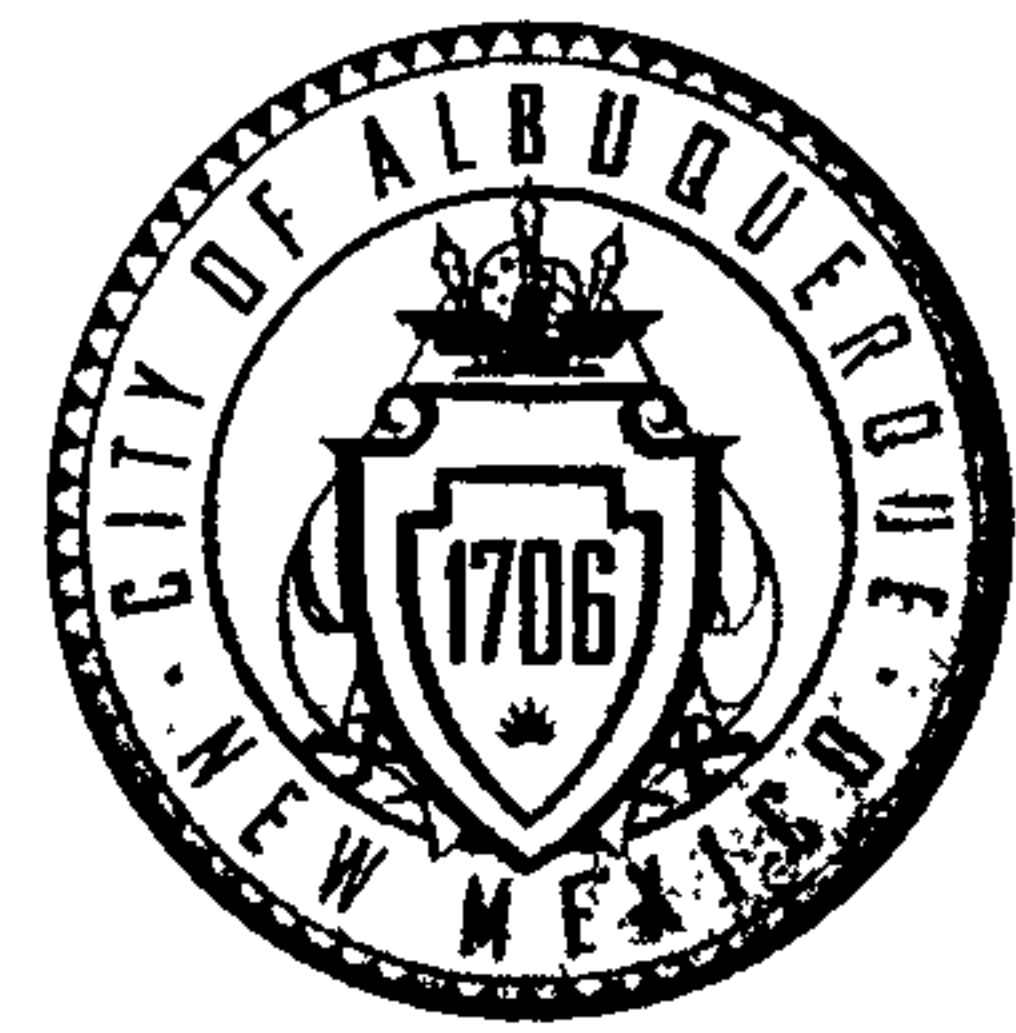


\$6000

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_



# CITY OF ALBUQUERQUE



December 28, 2016

Dave Puritz  
NCA Architects  
1306 Rio Grande Blvd., NW  
Albuquerque, NM 87104

**Re: Catholic Charities - 2034 Bridge Blvd., SW**  
**180-Day Temporary Certificate of Occupancy- Transportation**  
**Development**  
Architect's Stamp dated 02-02-16 (L12D012)  
Certification dated 12-27-16

16

Dear Mr. Puritz,

Based upon the information provided in your submittal received 12-28-16, Transportation Development has no objection to the issuance of a 180-day Temporary Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a 180-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

Albuquerque

1. Phase two of the provided site plan will need to be complete and all large equipment and construction fencing be removed.

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

Once corrections are complete resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. For digital submittal and minor comments and/or repairs, please submit photos to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to submittal. If you have any questions, please contact me at (505) 924-3981.

Sincerely,

Monica Ortiz  
Plan Checker, Transportation & Hydrology  
Development Review Services

C: CO Clerk, File



Robert M. Calvani

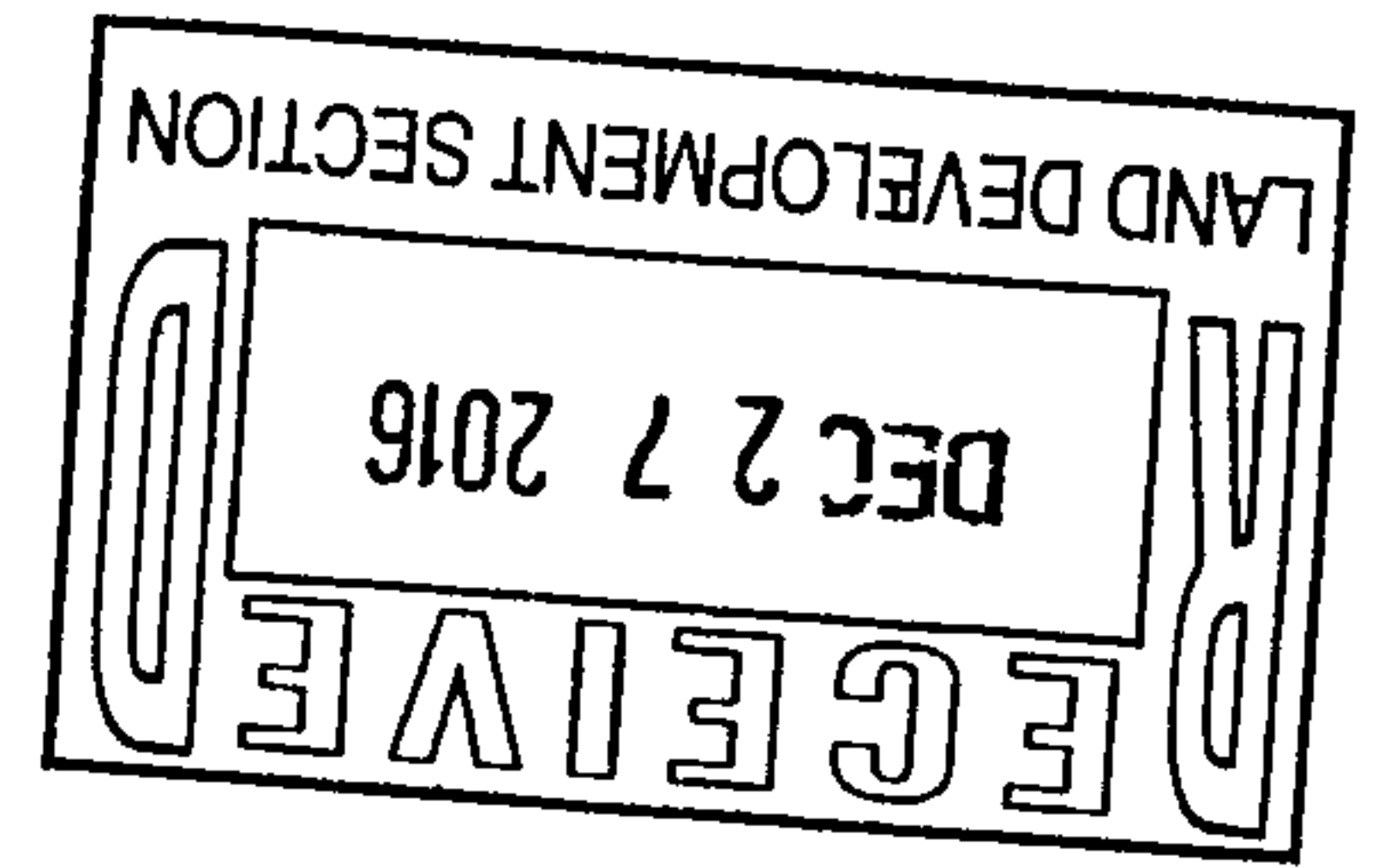
12/27/16

John C. Layman

Krystal Metro  
Traffic Engineer

Thomas C. Wilber

Development and Building Services  
Planning Department  
City of Albuquerque




RE: Approval of Certificate of Occupancy for  
Catholic Charities  
2034 Bridge Blvd. SW  
Albuquerque, NM 87105

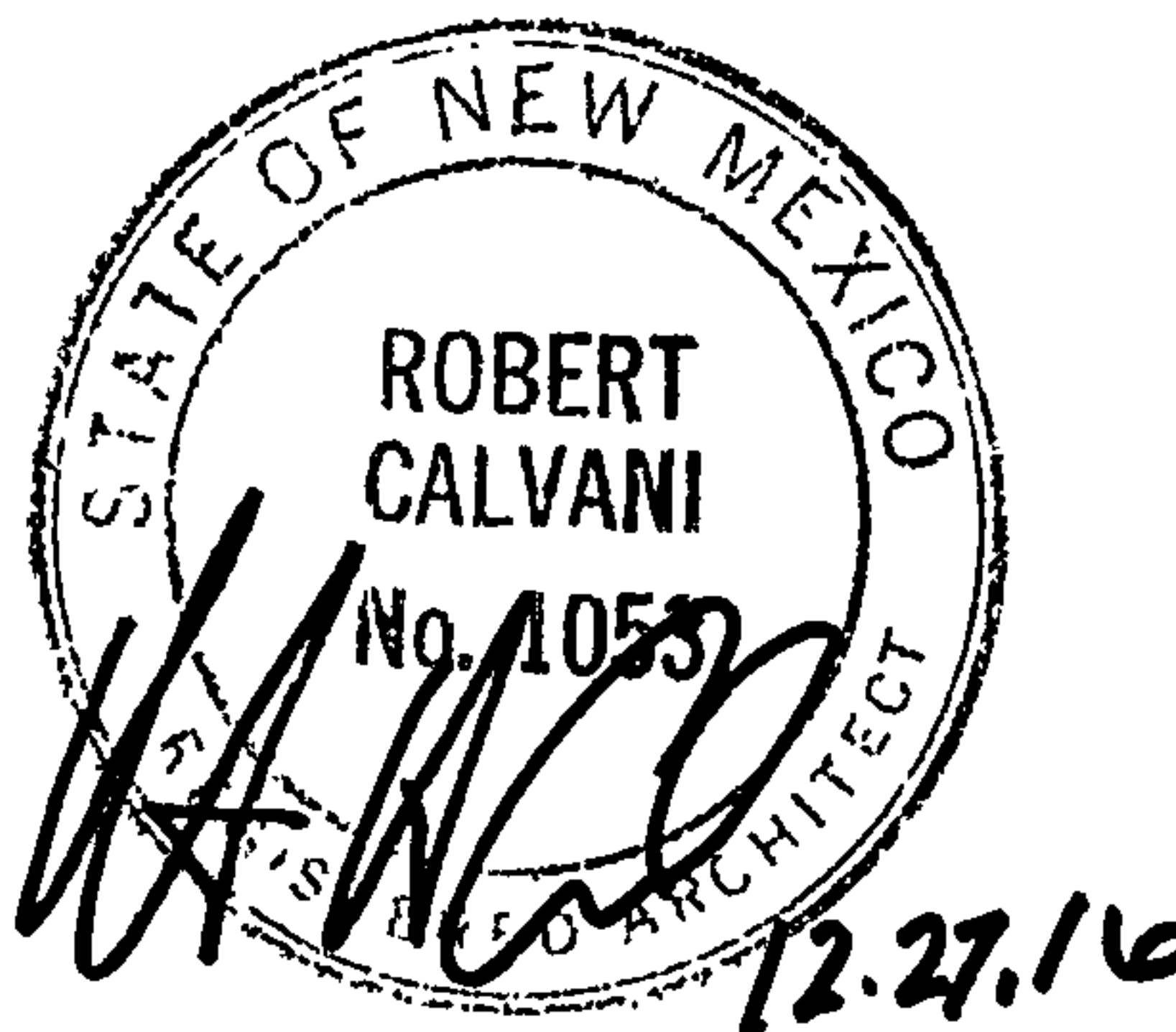
Dear Krystal,

I Robert Calvani, a registered Architect in the State of New Mexico of the firm NCA Architects, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the approved plan dated January 07, 2016 for Phase I of this project. The record information edited onto the original design document has been obtained by Dave Puritz of the firm NCA Architects. I further certify that I have personally visited the project site on December 27, 2016 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Final Certificate of Occupancy.

The record information presented heron is not necessarily completed and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Sincerely,

  
Robert Calvani, AIA  
Principal-in-Charge





# CITY OF ALBUQUERQUE



February 15, 2016

Dave Puritz  
NCA Architects  
1306 Rio Grande Blvd., NW  
Albuquerque, NM 87104

**Re: Catholic Charities**  
**2010 Bridge Blvd., SW**  
**Traffic Circulation Layout**  
Engineer's/Architect's Stamp dated 2-12-16 (L12-D012)

Dear Mr. Puritz,

The TCL submittal received 2-11-16 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

\gs via: email  
C: CO Clerk, File

PO Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: CATHOLIC CHARITIES Building Permit #: \_\_\_\_\_ City Drainage #: L12002  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: PLAT OF LOT 1-A CASA DE CORAZON  
City Address: 2010 BRIDGE BLVD SW 87105 PH: 247-0442  
Engineering Firm: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_  
Owner: CATHOLIC CHARITIES Contact: BETH CHAVEZ  
Address: 3301 CANDELARIA RD NE ABQ, 87107  
Phone#: 505-724-4670 Fax#: \_\_\_\_\_ E-mail: chavezb@ccastnm.org  
Architect: NCA ARCHITECTS Contact: DAVE PURITZ  
Address: 1306 RIO GRANDE BLVD NW, ABQ 87104  
Phone#: 505-255-6400 Fax#: \_\_\_\_\_ E-mail: dpuritz@nca-architects.com  
Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE  
☒ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION  
  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
  
☒ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: 1/19/16 By: [Signature]

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

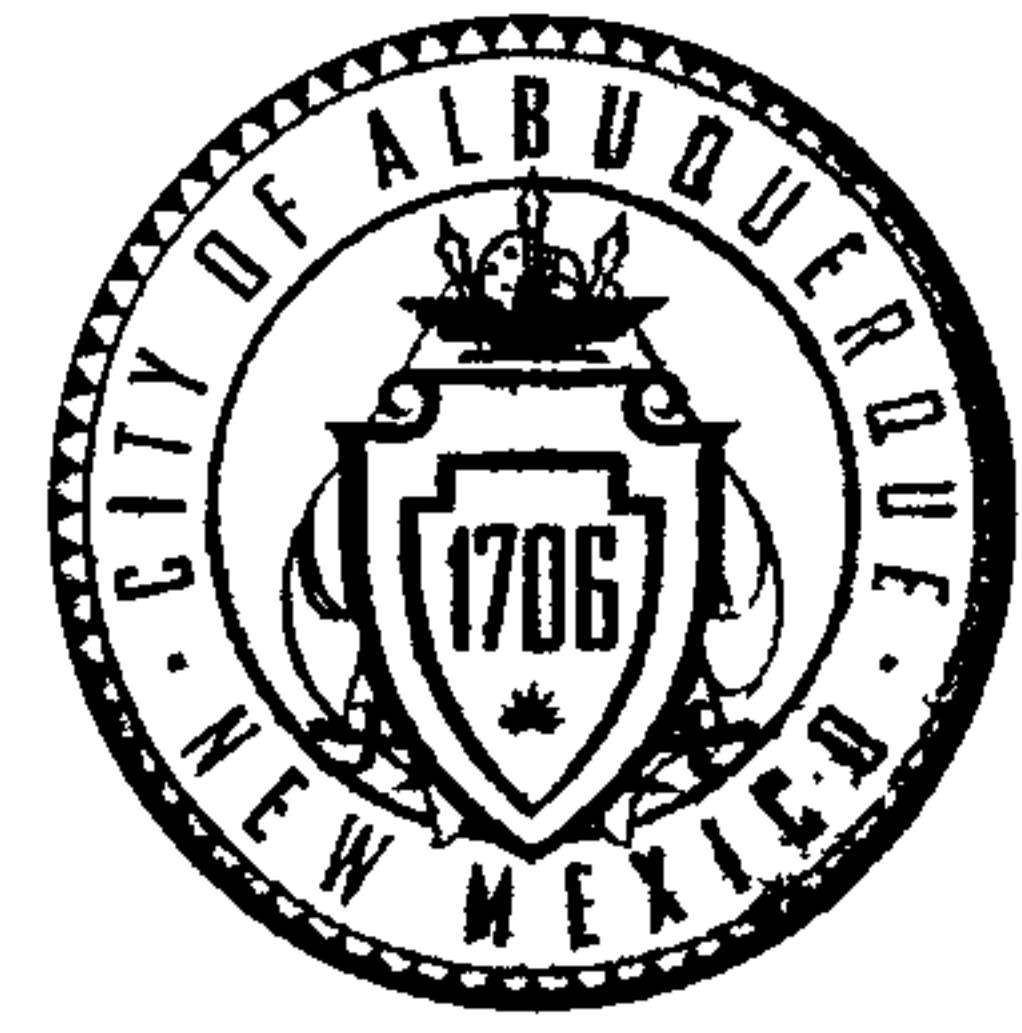
- ☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
  
☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

RE-SUBMITTED 2/05/16  
RE-SUBMITTED 2/12/16



# CITY OF ALBUQUERQUE



February 8, 2016

Dave Puritz  
NCA Architects  
1306 Rio Grande Blvd., NW  
Albuquerque, NM 87104

**Re: Catholic Charities**  
**2010 Bridge Blvd., SW**  
**Traffic Circulation Layout**  
Engineer's/Architect's Stamp dated 2-2-16 (L12-D012)

Dear Mr. Puritz,

Based upon the information provided in your submittal received 2-5-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. The van wheelchair accessible spaces must include an 8-foot wide access aisle; all other aisles should be 5 feet in width. This is in accordance with the federal Americans with Disabilities Act - Accessibility Guidelines, which supersedes COA Codes. The federal guidelines are being incorporated into the Development Process Manual (DPM).
2. All ADA access aisles shall have the words "**NO PARKING**" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
3. Please include two copies of the traffic circulation layout at the next submittal.

PO Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

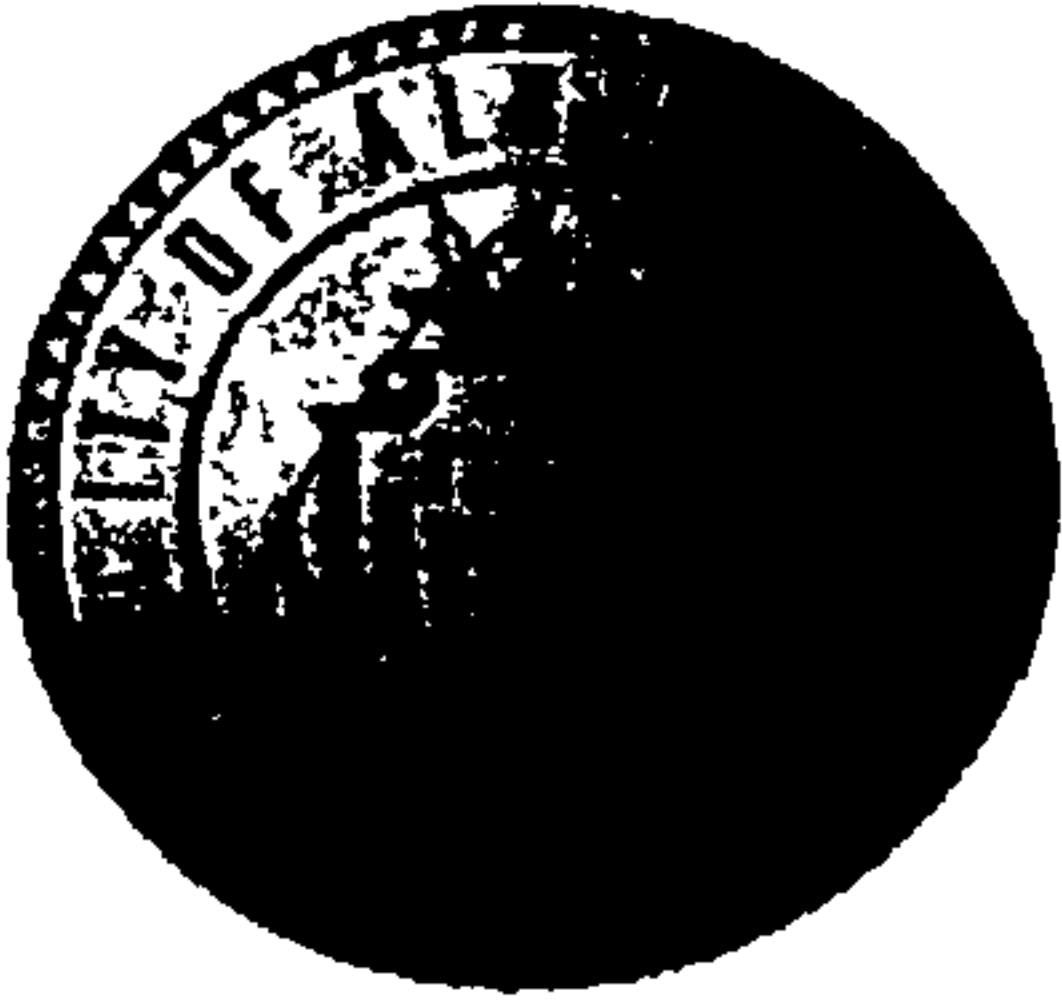
Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

Sincerely,

Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

\gs via: email  
C: CO Clerk, File





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: CATHOLIC CHARITIES Building Permit #: \_\_\_\_\_ City Drainage #: L12D012  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: PLAT OF LOT 1-A CASA DE CORAZON  
City Address: 2010 BRIDGE BLVD SW 87105 PH: 247-0442  
Engineering Firm: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_  
Owner: CATHOLIC CHARITIES Contact: BETH CHAVEZ  
Address: 3301 CANDELARIA RD NE ABQ, 87107  
Phone#: 505-724-4670 Fax#: \_\_\_\_\_ E-mail: chavezb@ccastnm.org  
Architect: NCA ARCHITECTS Contact: DAVE PURITZ  
Address: 1306 RIO GRANDE BLVD NW, ABQ 87104  
Phone#: 505-255-6400 Fax#: \_\_\_\_\_ E-mail: dpuritz@nca-architects.com  
Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE  
☒ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

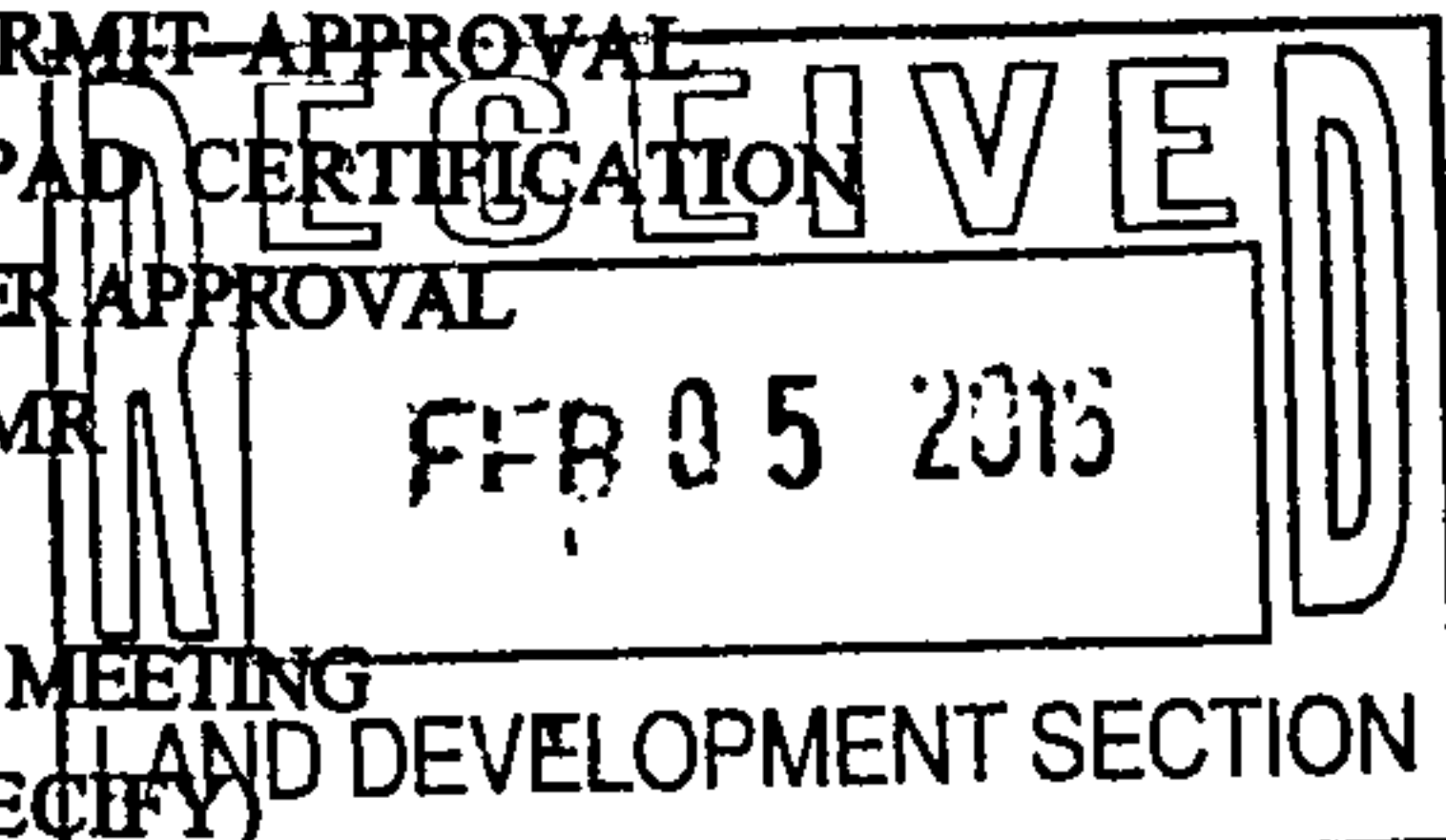
- ☐ ENGINEER/ ARCHITECT CERTIFICATION  
  
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☒ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: 1/19/16 By: [Signature]

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
  
☐ PRELIMINARY PLAT APPROVAL  
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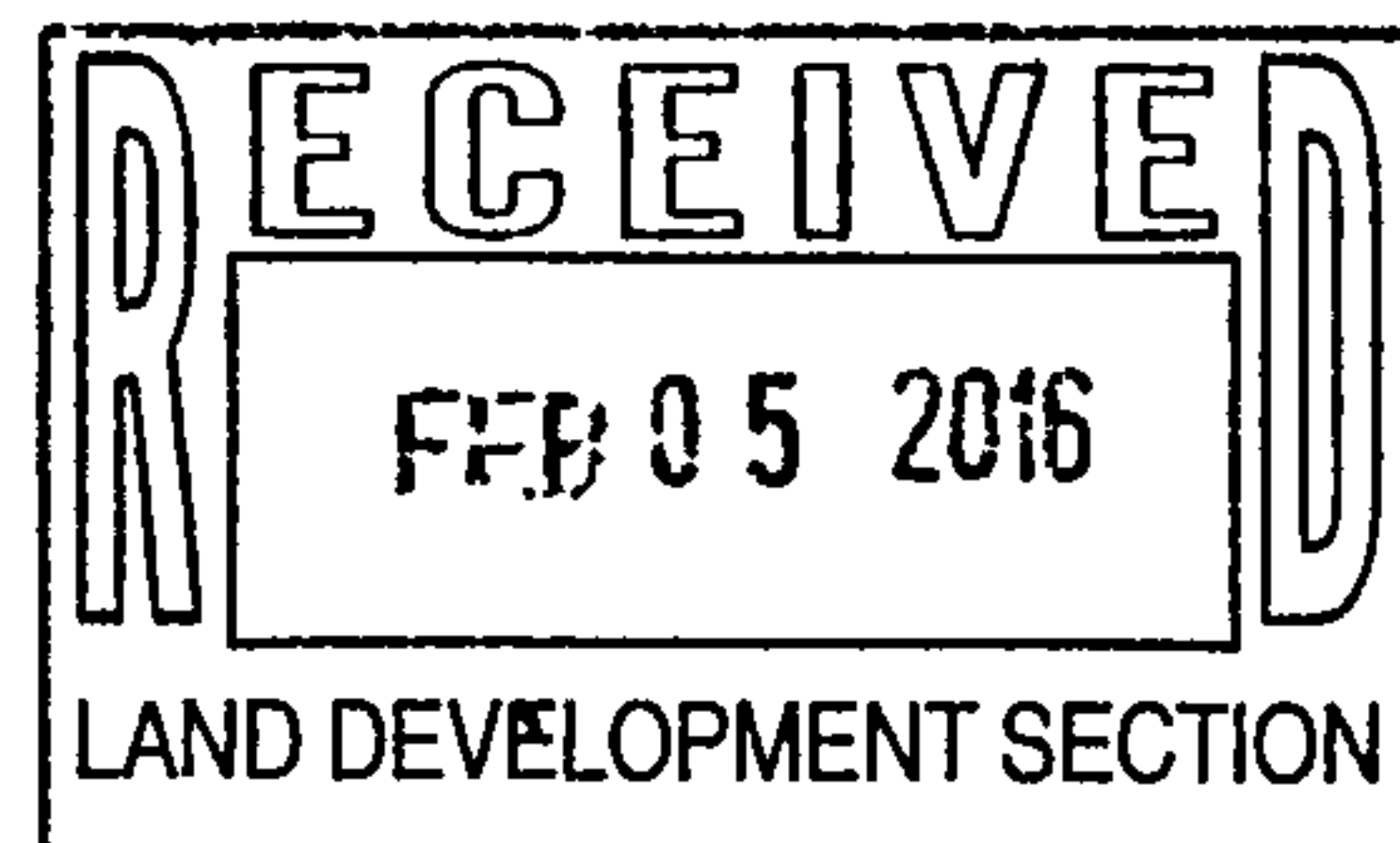


COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

RE-SUBMITTED 2/05/16

Arch Stamp 2-2-16





Robert M. Calvani

February 05, 2016

John C. Layman

Racquel M. Michel, P.E. Traffic Engineer

Thomas C. Wilber

Planning Dept. Development Review Services

Re: Catholic Charities  
2034 Bridge Blvd., SW  
Traffic Circulation Layout  
Engineer's/Architect's Stamp dated 1-9-16 (L12-D012)

The following comments have been addressed for the resubmitted package:

1. Please show a vicinity map showing the location of the development in relation to streets and well known landmarks. Please clearly show the lots proposed in the project.

**Response:** Please refer to sheet AS-201 Vicinity Map. The shaded area indicates the project lots.

2. Clarify the extents of the current phase.

**Response:** Please refer to sheet AS-202 General Notes B & C for Phase Project Scope description. A hatch pattern and Phase labels have also been added to the site plans on sheets AS-201 and AS-202 for additional clarity.

3. Identify the right of way width, medians, curb cuts, and street widths on Bridge Blvd.

**Response:** Please refer to sheet AS-201 for the dimensions along Bridge Blvd.

4. Clearly detail sidewalk, curb cuts and handicap ramps along Bridge Blvd. (Key Note #26) Truncated domes are required at handicap ramps in the public right-of-way at curb cuts.

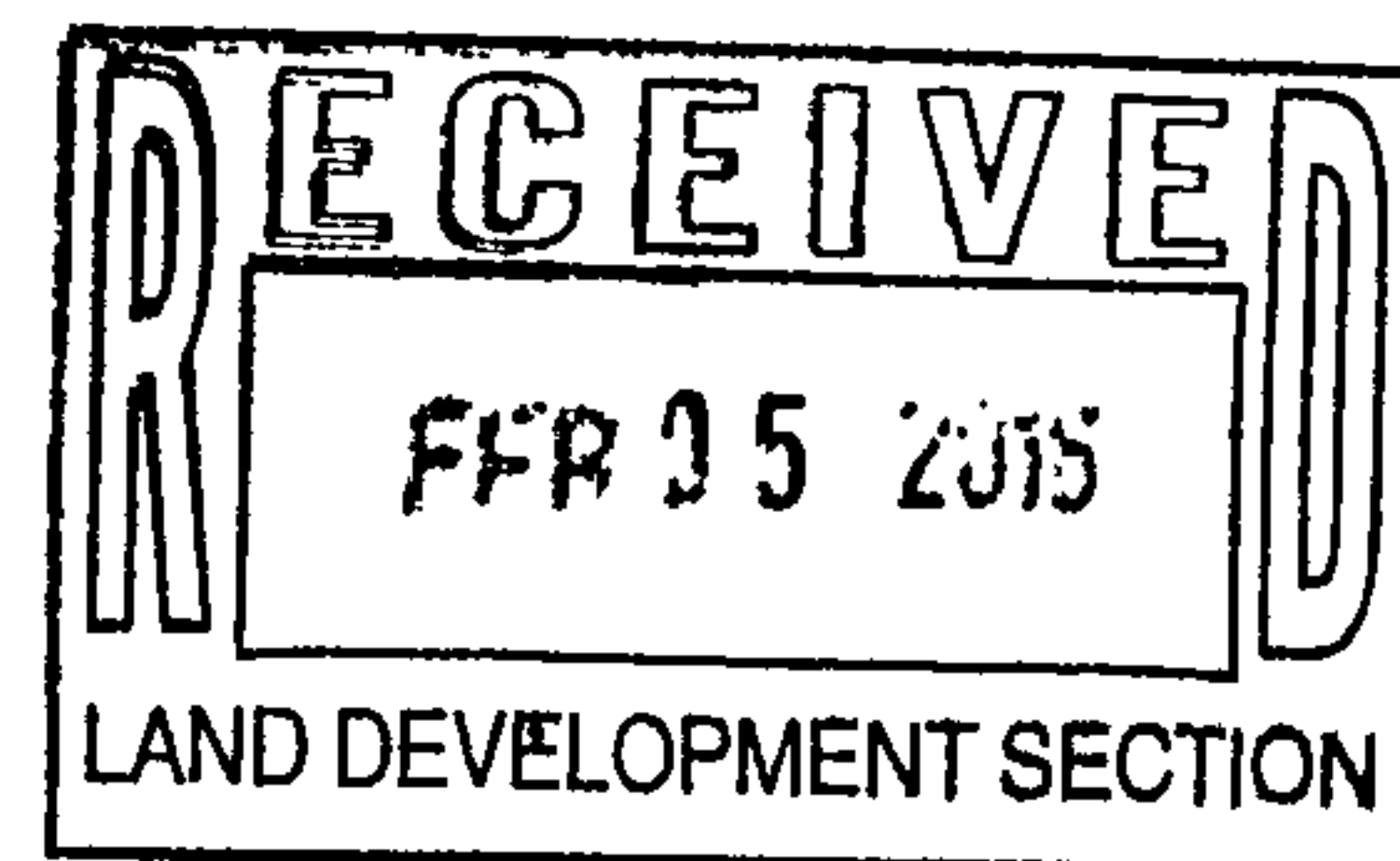
**Response:** Please refer to sheet C-501 for details. This sheet has been added to the resubmitted package for clarification. The appropriate City Standard drawings have also be included on reference sheet AS-203.

5. The handicap accessible spaces must include an 8-foot wide van access aisle; all other aisles should be 5 feet in width. In review of submitted drawing the access isle are shown to be 3.5 ft. in width (Key Note #9).

**Response:** Please refer to sheet AS-201. The ADA van access aisles have been updated to 8'. The ADA aisles for standard spaces have been kept at

Key Note 9  
Must be  
5' clear  
if NO parking





3'-6" per the Albuquerque Code of Ordinances – Chapter 23 –  
Transportation Design – Section 7.A – Parking Stall Sizes.

6. Per provided parking calculations, the site requires two ADA van accessible parking spaces with accessible isles. Please reconfigure parking spaces to accommodate the required van accessible parking spaces.

**Response:** Two ADA van accessible parking spaces with accessible isles have been provided. Please refer to sheet AS-201 keynote 3 for locations.

7. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "Violators Are Subject to a Fine and/or Towing."

**Response:** Please refer detail B1/AS-202 for the updated parking signage details with the required language included.

8. The ADA access aisle shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)

**Response:** Please refer to AS-201 for the revised access aisles.

9. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show and dimension this pedestrian pathway from the ADA parking space on the south side of proposed building to the building entrance.

**Response:** Please refer to AS-201. The south ADA parking space has been relocated. The required 8 ADA parking spaces are now in the north parking area.

10. Label the compact parking spaces by placing the words "COMPACT" on the pavement of each space.

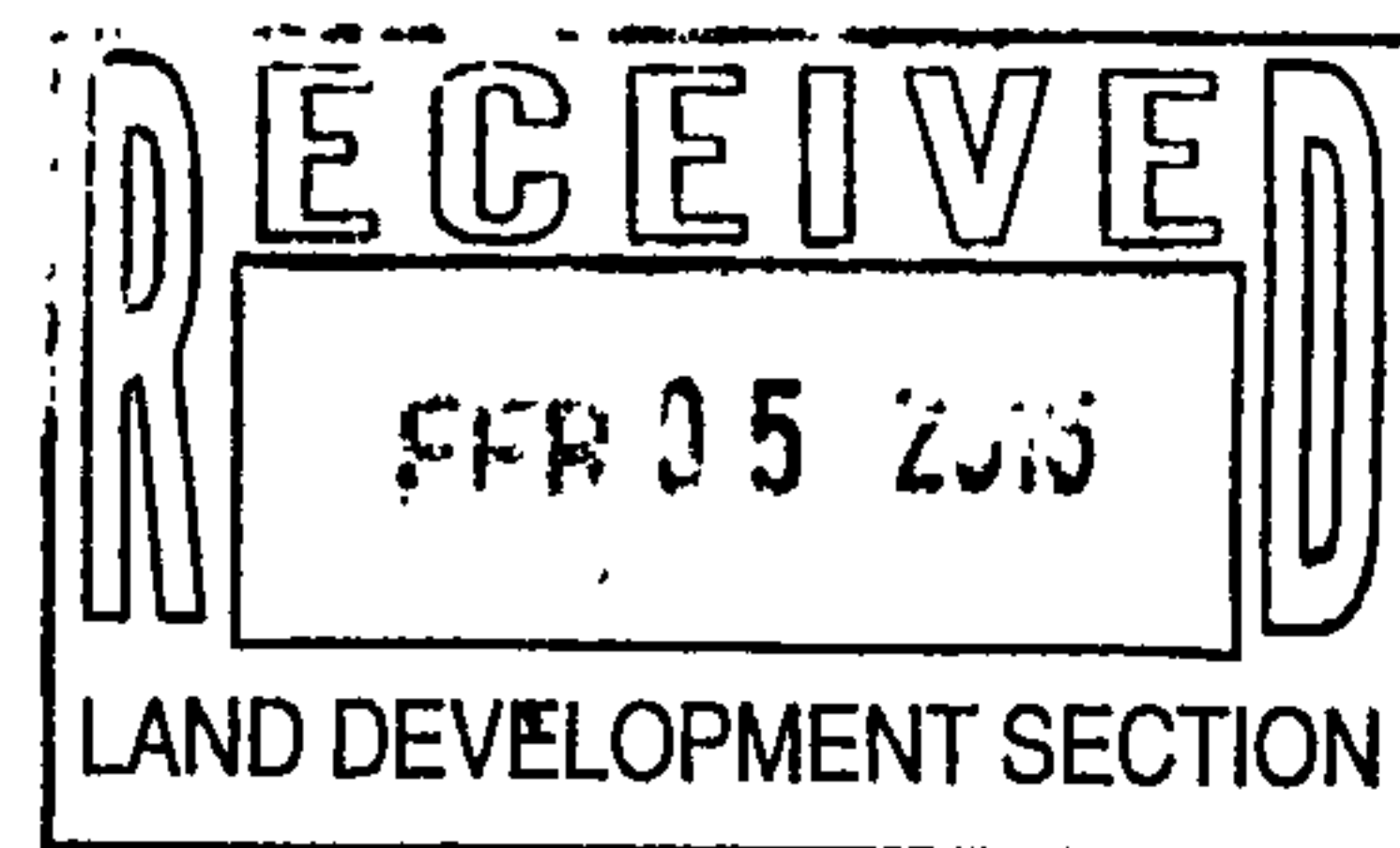
**Response:** Please refer to sheet AS-201 for the corrected parking space labels.

11. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles. Please call out the dimension of the proposed concrete barrier curb.

**Response:** Please refer to AS-201 keynote 28 for curb locations at landscaping and parking areas and/or drive aisles. Please see C-501 detail D1 for curb detail.

12. Design delivery vehicle route needs to be shown.





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**Response:** Please refer to AS-201 keynote 30 for the design delivery vehicle route.

- 
- ✓ 13. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.

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**Response:** Please refer to the attached site plan from the Solid Waste Department with their approval signature.

- 
- ✓ 14. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.

---

**Response:** Please refer to AS-201 keynote 27. The pavement surface is to be asphalt.

- 
- ✓ 15. Please provide a sight distance exhibit (see the Development Process Manual, Chapter 23, Section 3, Part D.5 Intersection Sight Distance). Please call out this detail for both entrances/exits off of Bridge Blvd.

---

**Response:** Please refer to AS-201 keynote 29. The sight distance exhibit has also be included on reference sheet AS-203.

- 
- ✓ 16. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."

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**Response:** Please refer to reference sheet AS-203 for the sight distance exhibit with the added note.

- 
- ✓ 17. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.

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**Response:** Please refer to sheet AS-201 General Notes 6. The appropriate City Standard drawings have also be included on reference sheet AS-203.

- 
- ✓ 18. All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.

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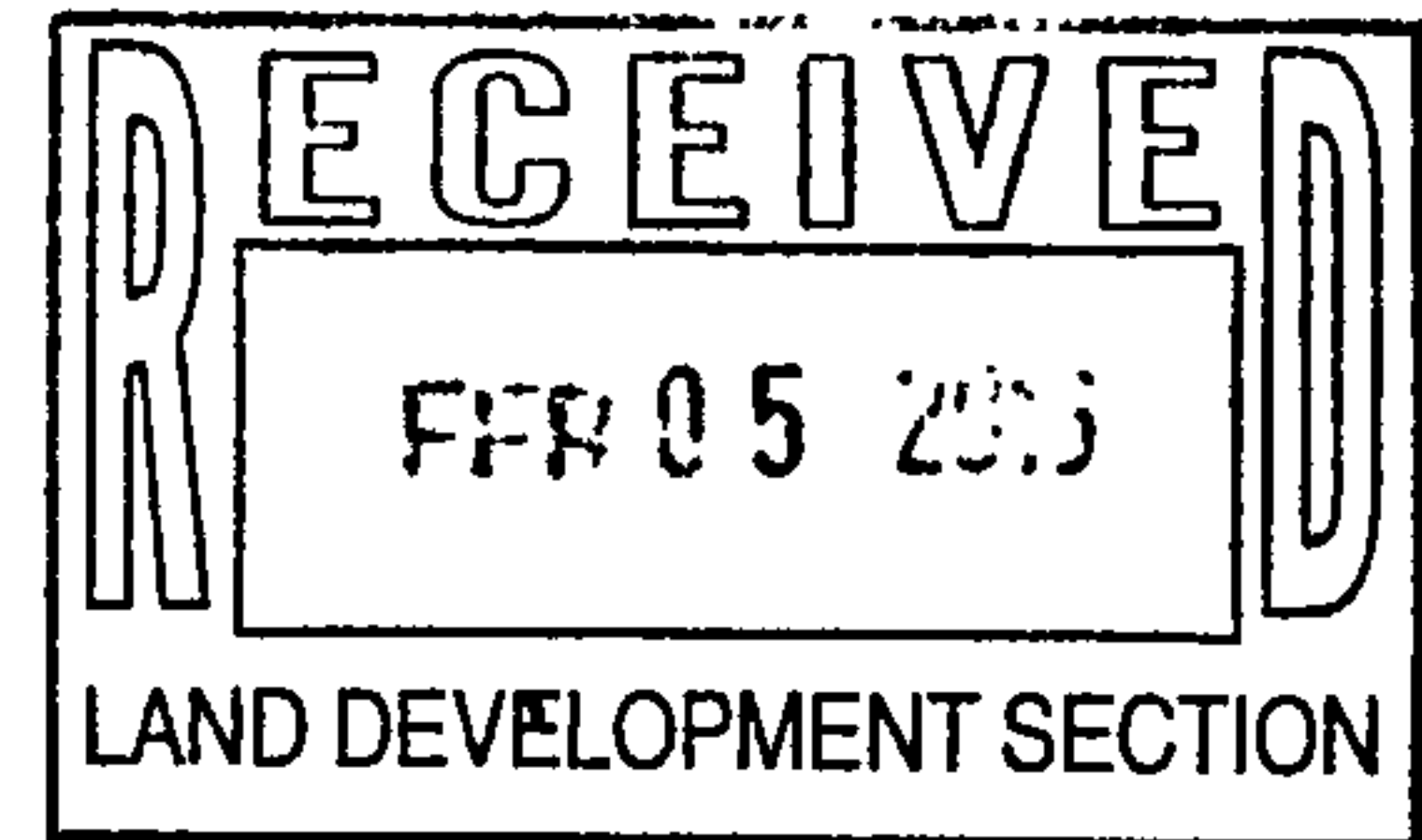
**Response:** Please refer to sheet AS-201 General Notes 6. The appropriate City Standard drawings have also be included on reference sheet AS-203.

- 
- ✓ 19. Please include two copies of the traffic circulation layout at the next submittal.

---

**Response:** Per your request two copies have been resubmitted.





Please let me know if we need to re-respond to any comments that we might have misinterpreted or if you need any additional information.

Sincerely,

A handwritten signature in black ink, appearing to read "Dave Puritz", with a long horizontal flourish extending to the right.

Dave Puritz  
NCA Architects  
505-255-6400



# CITY OF ALBUQUERQUE



January 21, 2016

Dave Puritz  
NCA Architects  
1306 Rio Grande Blvd.,NW  
Albuquerque, NM 87104

**Re: Catholic Charities**  
**2034 Bridge Blvd., SW**  
**Traffic Circulation Layout**  
Engineer's/Architect's Stamp dated 1-9-16 (L12-D012)

Dear Mr./Ms.,

Based upon the information provided in your submittal received 1-20-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please show a vicinity map showing the location of the development in relation to streets and well known landmarks. Please clearly show the lots proposed in the project.
2. Clarify the extents of the current phase.
3. Identify the right of way width, medians, curb cuts, and street widths on Bridge Blvd.
4. Clearly detail sidewalk, curb cuts and handicap ramps along Bridge Blvd.(Key Note #26) Truncated domes are required at handicap ramps in the public right-of-way at curb cuts.
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7. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."**
8. The ADA access aisle shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
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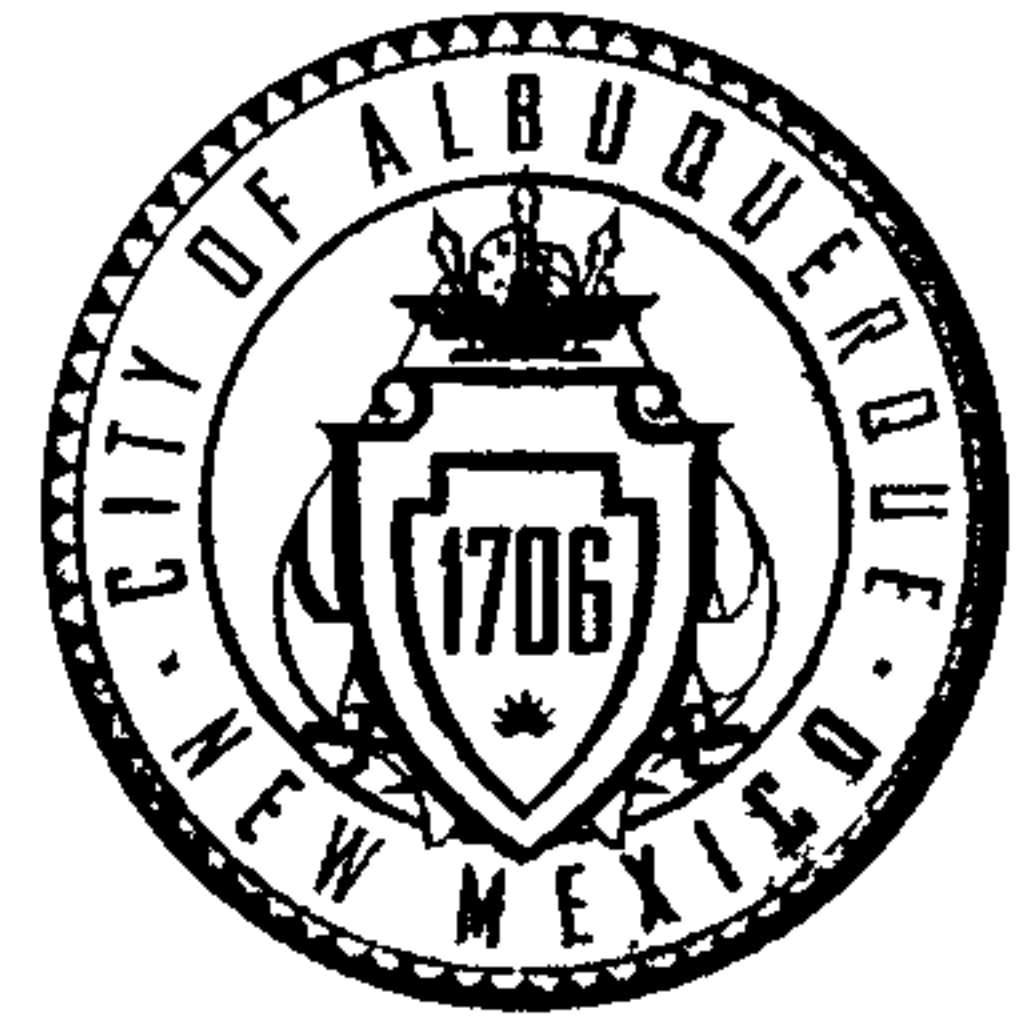


- [www.cabq.gov](http://www.cabq.gov)





# CITY OF ALBUQUERQUE



Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

Sincerely,

A handwritten signature in black ink, appearing to read 'Racquel M. Michel'.

Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

\gs     via: email  
C:     CO Clerk, File

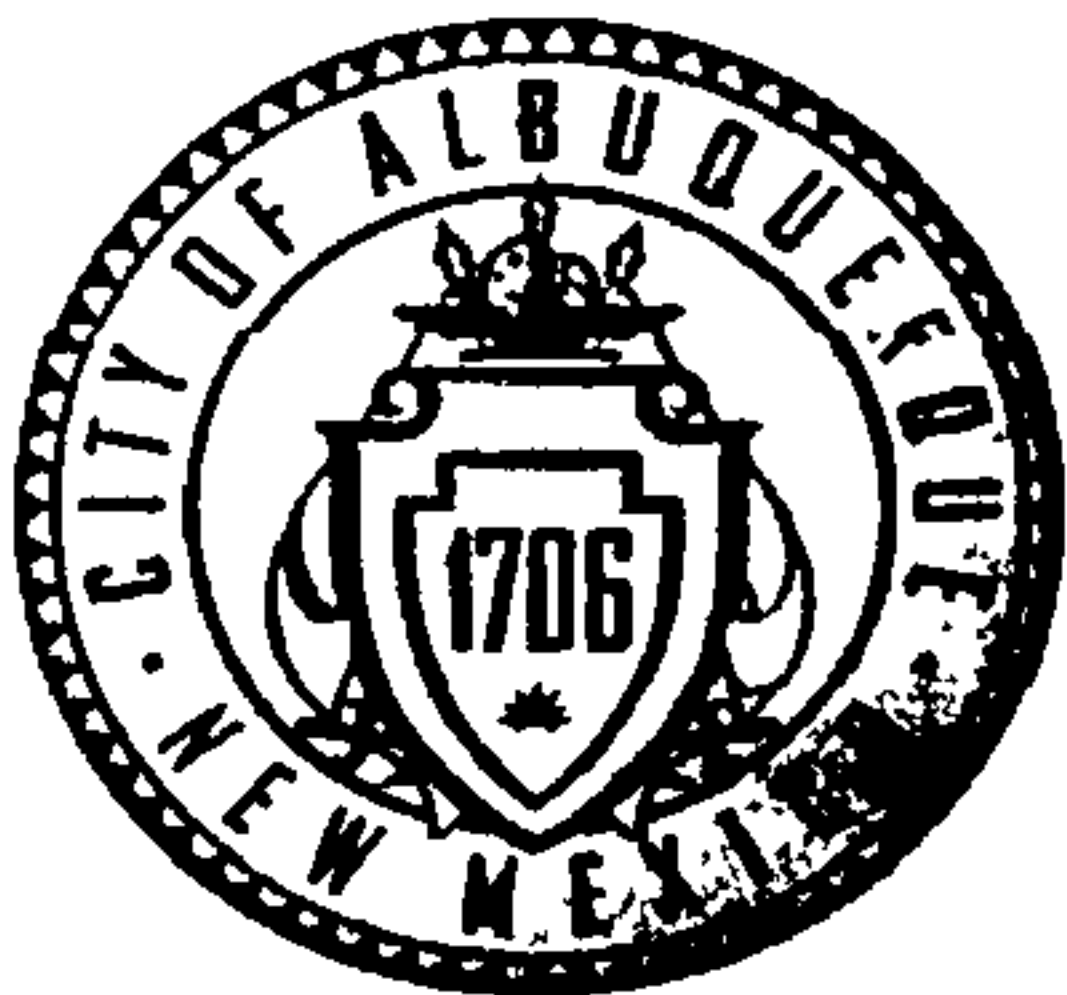
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New Mexico 87103

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# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: CATHOLIC CHARITIES Building Permit #: \_\_\_\_\_ City Drainage #: L12D012  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: PLAT OF LOT 1-A CASA DE CORAZON  
City Address: 2010 BRIDGE BLVD SW 87105 PH: 247-0442  
Engineering Firm: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_  
Owner: CATHOLIC CHARITIES Contact: BETH CHAVEZ  
Address: 3301 CANDELARIA RD NE ABQ, 87107  
Phone#: 505-724-4670 Fax#: \_\_\_\_\_ E-mail: chavezb@ccastnm.org  
Architect: NCA ARCHITECTS Contact: DAVE PURITZ  
Address: 1306 RIO GRANDE BLVD NW, ABQ 87104  
Phone#: 505-255-6400 Fax#: \_\_\_\_\_ E-mail: dpuritz@nca-architects.com  
Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

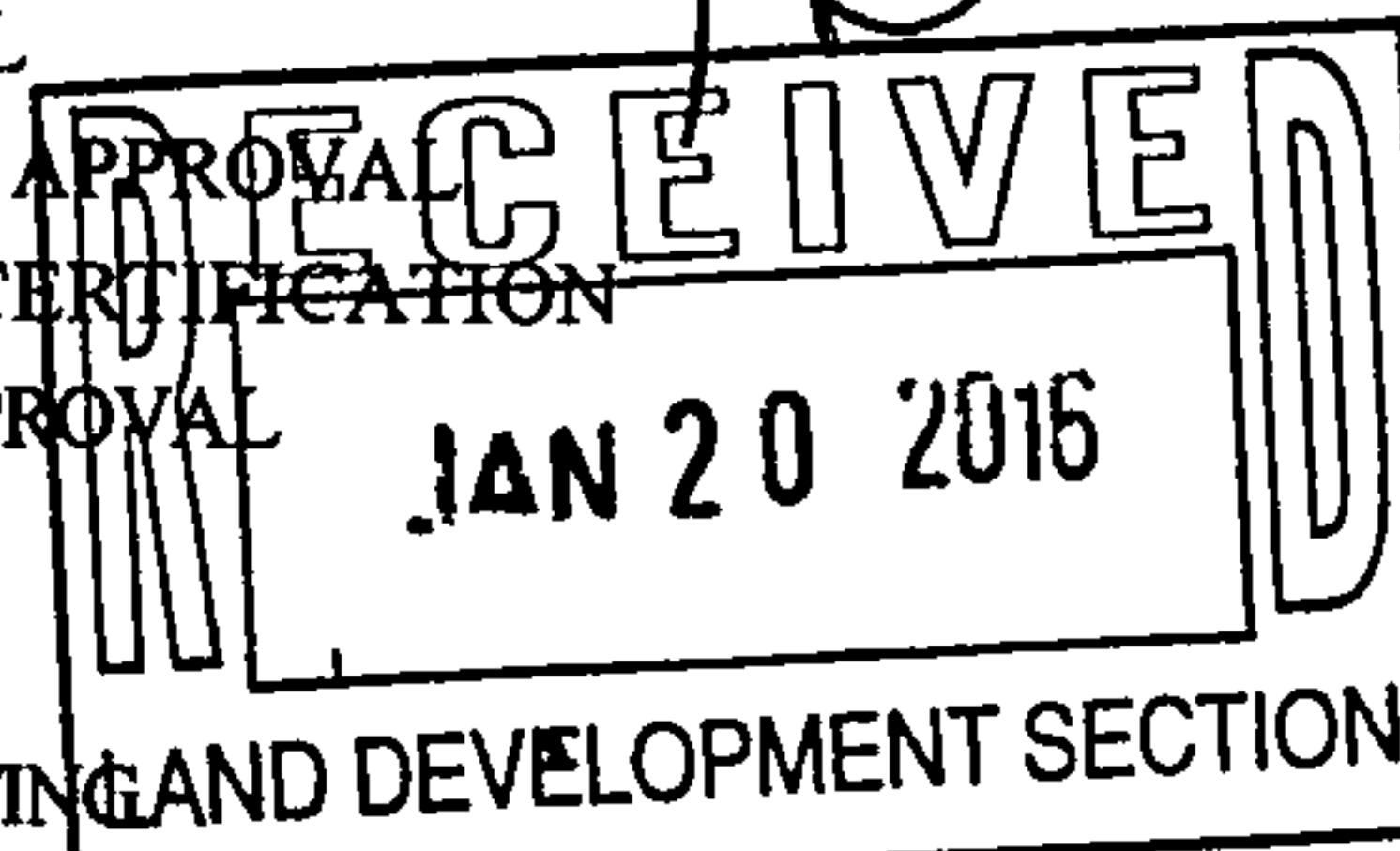
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☐ MS4/ EROSION & SEDIMENT CONTROL

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☐ CLOMR/LOMR  
  
☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_



IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 1/19/16 By: [Signature]

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

GARY SANDOVAL