



January 21, 2016

Dave Puritz  
NCA Architects  
1306 Rio Grande Blvd.,NW  
Albuquerque, NM 87104

**Re: Catholic Charities**  
**2034 Bridge Blvd., SW**  
**Traffic Circulation Layout**  
Engineer's/Architect's Stamp dated 1-9-16 (L12-D012)

Dear Mr./Ms.,

Based upon the information provided in your submittal received 1-20-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please show a vicinity map showing the location of the development in relation to streets and well known landmarks. Please clearly show the lots proposed in the project.
2. Clarify the extents of the current phase.
3. Identify the right of way width, medians, curb cuts, and street widths on Bridge Blvd.
4. Clearly detail sidewalk, curb cuts and handicap ramps along Bridge Blvd.(Key Note #26) Truncated domes are required at handicap ramps in the public right-of-way at curb cuts.
5. The handicap accessible spaces must include an 8-foot wide van access aisle; all other aisles should be 5 feet in width. In review of submitted drawing the access isle are shown to be 3.5 ft. in width(Key Note #9).
6. Per provided parking calculations, the site requires two ADA van accessible parking spaces with accessible isles. Please reconfigure parking spaces to accommodate the required van accessible parking spaces.
7. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."**
8. The ADA access aisle shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
9. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show and dimension this pedestrian pathway from the ADA parking space on the south side of proposed building to the building entrance.

PO Box 1293

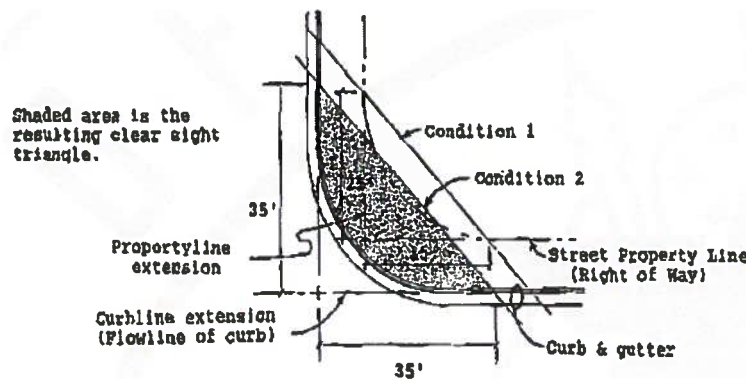
Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)



10. Label the compact parking spaces by placing the words “**COMPACT**” on the pavement of each space.
11. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles. Please call out the dimension of the proposed concrete barrier curb.
12. Design delivery vehicle route needs to be shown.
13. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.
14. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.
15. Please provide a sight distance exhibit (see the *Development Process Manual, Chapter 23, Section 3, Part D.5 Intersection Sight Distance*). Please call out this detail for both entrances/exits off of Bridge Blvd.



PO Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

16. Please add the following note to the clear sight triangle: “Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area.”
17. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
18. All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
19. Please include two copies of the traffic circulation layout at the next submittal.

# CITY OF ALBUQUERQUE



Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

Sincerely,

A handwritten signature in red ink, appearing to read 'Racquel Michel', is written over the printed name.

Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

\gs     via: email  
C:     CO Clerk, File

PO Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: CATHOLIC CHARITIES Building Permit #: \_\_\_\_\_ City Drainage #: L12D012  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: PLAT OF LOT 1-A CASA DE CORAZON  
City Address: 2010 BRIDGE BLVD SW 87105 PH: 247-0442  
Engineering Firm: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_  
Owner: CATHOLIC CHARITIES Contact: BETH CHAVEZ  
Address: 3301 CANDELARIA RD NE ABQ, 87107  
Phone#: 505-724-4670 Fax#: \_\_\_\_\_ E-mail: chavezb@ccastnm.org  
Architect: NCA ARCHITECTS Contact: DAVE PURITZ  
Address: 1306 RIO GRANDE BLVD NW, ABQ 87104  
Phone#: 505-255-6400 Fax#: \_\_\_\_\_ E-mail: dpuritz@nca-architects.com  
Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE  
☒ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

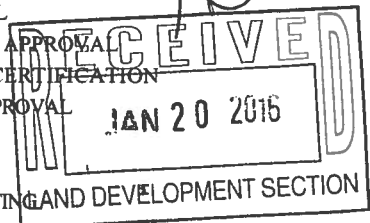
- ☐ ENGINEER/ ARCHITECT CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 1/19/16 By: T. [Signature]

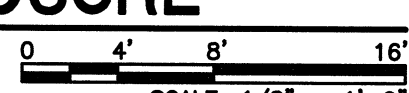
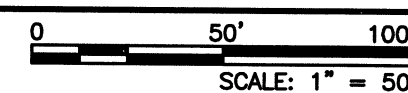
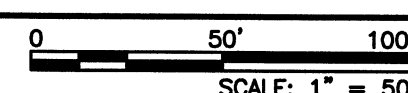
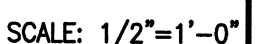
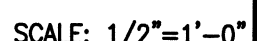
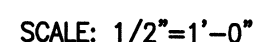
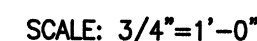
### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_

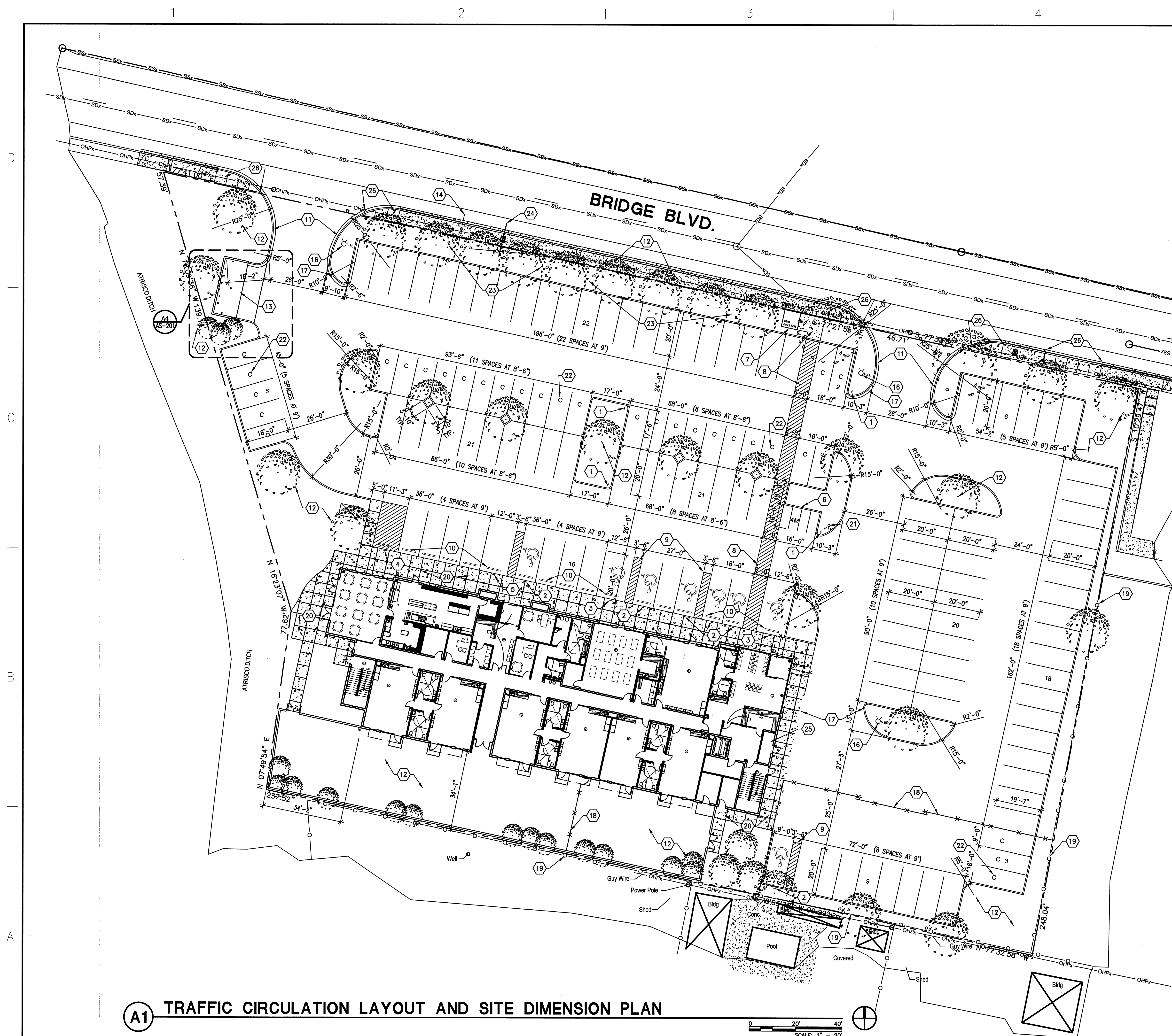


COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

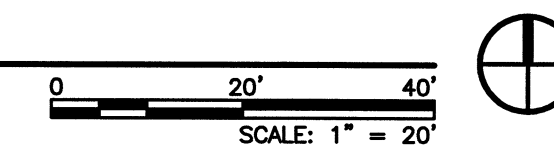


**AS-202**





A1 TRAFFIC CIRCULATION LAYOUT AND SITE DIMENSION PLAN



GENERAL NOTES

- 1. FOR LANDSCAPING INFORMATION, SEE LANDSCAPE DRAWINGS PROVIDED IN THE PERMIT DOCUMENTS THIS PROJECT.
- 2. FOR CONCRETE EDGING VERSUS CURB LOCATIONS FOR GRADING AND DRAINAGE, SEE CIVIL DRAWINGS THIS SUBMITTAL.
- 3. ALL PARKING SPACES, PUBLIC PEDESTRIAN WALKWAYS, NO PARKING AREAS, FIRE LANES AND ACCESSIBLE ACCESS AISLES SHALL BE PAINTED ON SITE. SEE SPECIFICATIONS FOR MORE INFORMATION.
- 4. REFER TO A1/AS-202 AND B1/AS-202 FOR SITE SIGNAGE DETAILS.
- 5. REFER TO C1/AS-202 FOR ACCESSIBLE PARKING SPACE PAVING MARKING.

SITE INFORMATION

- 1. LEGAL DESCRIPTION: LOT 1, LAND DIVISION PLAT OF TRACT 148-A1-A1-A1-A1, TRACT 148A1A1A1, TRACT 147B2A, TRACT 148A1B AND TRACT 147B1, M.R.G.C.D. MAP NO. 42.
- 2. DEVELOPMENT TYPE: BUSINESS (DAYCARE, CLASSROOM, BUSINESS OFC).
- 3. SIZE: 2.16 ACRES.
- 4. PARKING: SEE SUMMARY THIS SHEET.
- 5. EXECUTIVE SUMMARY:
  - 5.1. GENERAL PROJECT LOCATION - SOUTH ATRISCO NEIGHBORHOOD, SOUTH OF BRIDGE BLVD SW, EAST OF ANTHONY LANE SW.
  - 5.2. DEVELOPMENT CONCEPT - REMOVE EXISTING BUILDING, PROVIDE NEW 3 STORY BUILDING AND OFF STREET PARKING.
  - 5.3. TRAFFIC CIRCULATION CONCEPT - INTERNAL SITE.
  - 5.4. IMPACT ON ADJACENT SITES - NONE.
  - 5.5. TRAFFIC IMPACT STUDIES - NONE REQUIRED.
  - 5.6. VARIANCES - NONE REQUIRED.

KEYED NOTES

- 1. PEDESTRIAN CROSSING SIGN.
- 2. HANDICAPPED PARKING SIGN.
- 3. HANDICAPPED VAN PARKING SIGN.
- 4. NO PARKING, TEMPORARY LOADING ZONE SIGN.
- 5. VAN PARKING FOR DAYCARE SIGN.
- 6. MOTOR CYCLE PARKING SIGN.
- 7. BUS SHELTER.
- 8. PEDESTRIAN WALKWAY TO BUILDING.
- 9. ACCESSIBLE ACCESS AISLE.
- 10. 6' CONCRETE WHEEL STOP AT PARKING/CONCRETE WALKWAY, SEE DETAIL D1/AS-202 - TYPICAL.
- 11. CONCRETE CURB AND GUTTER.
- 12. LANDSCAPING - SEE LANDSCAPE DRAWINGS IN PERMIT DOCUMENTS.
- 13. DUAL DUMPSTER PAD AND SCREEN.
- 14. GAS AT PROPERTY LINE.
- 15. WATER METER.
- 16. FIRE HYDRANT.
- 17. FIRE LANE.
- 18. SECURITY FENCING AND GATE TO TIE TO EXISTING FENCE AT PERIMETER.
- 19. EXISTING FENCING TO REMAIN.
- 20. NEW CONCRETE WALKWAY.
- 21. POST INDICATOR VALVE (PIV) FOR FIRE DEPARTMENT.
- 22. COMPACT PARKING SPACE.
- 23. SITE WATER RETENTION AREA - SEE CIVIL.
- 24. WATER METER.
- 25. FIRE RISER ROOM.
- 26. CONCRETE SIDE WALK, GUTTER & RAMP - SEE CIVIL.

PARKING SUMMARY

NOTE: PARKING CALCULATIONS PERFORMED IN ACCORDANCE WITH 2014 NEW MEXICO ADMINISTRATIVE CODE, IBC 2009, ALBUQUERQUE CODE OF ORDINANCES AND ALBUQUERQUE DEVELOPMENT PROCESS MANUAL 2015.

PARKING SPACE: A STANDARD SPACE IS 8'-6"x18", COMPACT OR "C" SIZE IS SMALLER THAN THE STANDARD BUT MEETS THE MINIMUM REQUIREMENTS. COMPACT SPACES MAY TAKE UP A 1/3 OF THE TOTAL PARKING COUNT AND BE AT LEAST 8' IN WIDTH AND 15' IN LENGTH (14.16.1.5).

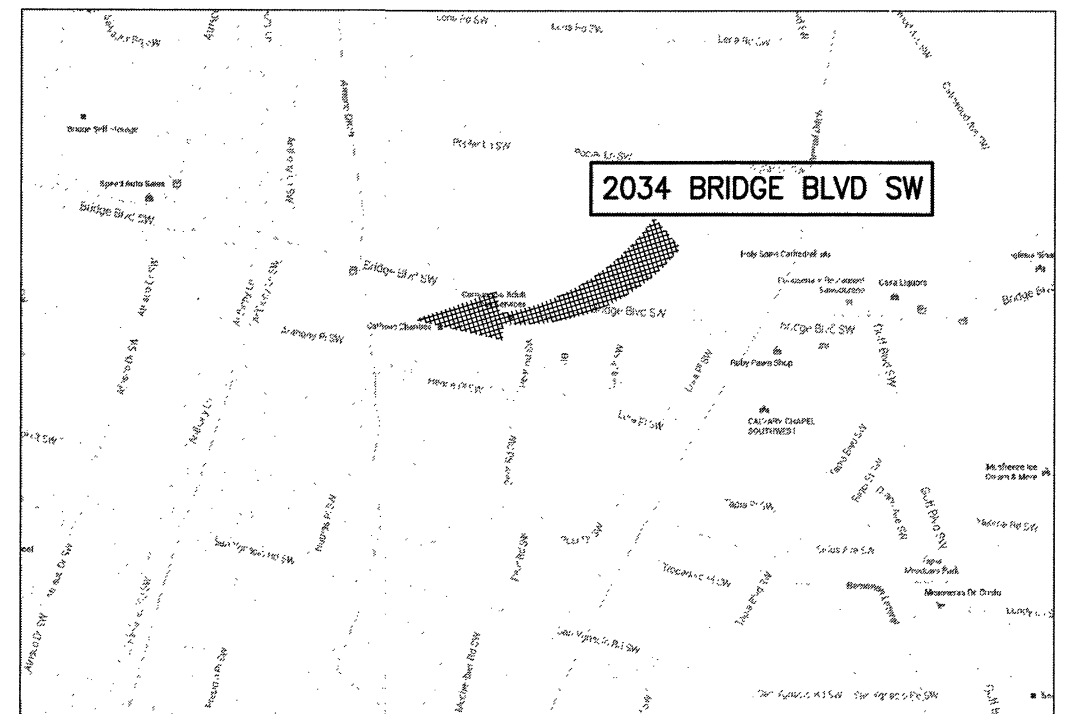
CHILD CARE 7,650 SF LEASABLE / 500 =	17 SPACES REQUIRED
ADULT LEARNING CENTER 6 CLASSROOMS X 25 SEATS = 150 / 2 =	75 SPACES REQUIRED
1 COMPUTER LAB X 30 = 30 / 2 =	15 SPACES REQUIRED
1 SM. COMPUTER LAB X 10 = 10 / 2 =	5 SPACES REQUIRED
ADMINISTRATION 9,994 SF / 300 =	33 SPACES REQUIRED
TOTAL PARKING REQUIRED =	145 SPACES REQUIRED

PARKING REDUCTIONS 10% BUS ROUTE	-14 SPACES
05% BUS SHELTER	-07 SPACES
TOTAL PARKING REDUCTION	-21 SPACES

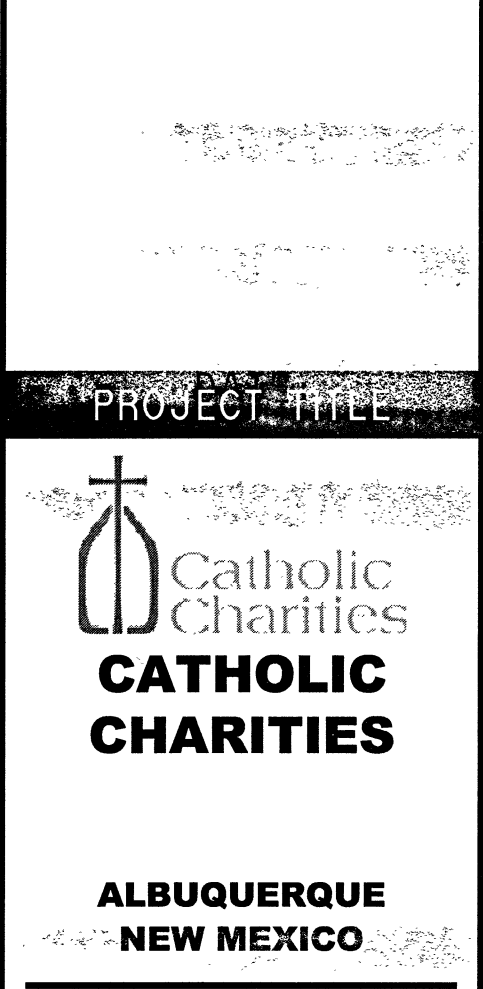
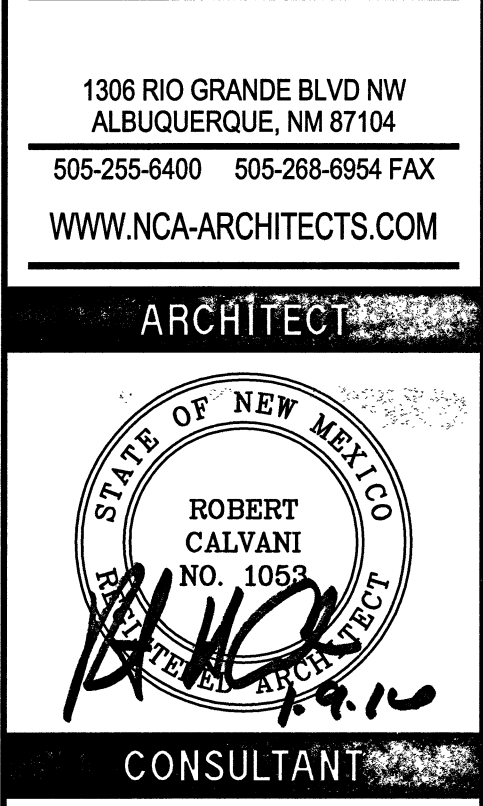
TOTAL PARKING REQUIRED INCLUDING REDUCTIONS 124 SPACES REQUIRED  
143 SPACES PROVIDED

ACCESSIBLE PARKING SPACES  
(IBC 2009 - CHAPTER 11 - SECTION 06 - TABLE 1106.1)  
TOTAL PARKING SPACES: 101-300  
8 HANDICAPPED PARKING SPACES ARE REQUIRED, 8 ARE PROVIDED.  
4 MOTORCYCLE PARKING SPACE ARE REQUIRED, 4 ARE PROVIDED.

VICINITY MAP



- LEGEND:
- UGTx UNDERGROUND TELEPHONE EXISTING
  - Wx WATER EXISTING
  - OHPx OVERHEAD POWER EXISTING
  - SSx SANITARY SEWER EXISTING
  - Gx GAS EXISTING
  - SDx STORM DRAIN EXISTING
  - UGPx UNDER GROUND POWER EXISTING



REVISIONS		

MK	DATE	DESCRIPTION
DP	BC	PROJECT NUMBER
A14.23		
JANUARY 7, 2016		
SHEET NO.		
TRAFFIC CIRCULATION LAYOUT AND SITE DIMENSION PLAN		
SHEET NO.		
AS-201		