

# AREA LIGHTING REGULATIONS

A. THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ANY OTHER RESIDENTIAL PREMISES.  
B. IT SHALL NOT HAVE AN OFF-SITE LUMINANCE GREATER THAN 1000 FOOTLAMBERTS. IT SHALL NOT HAVE ANY OFF-SITE LUMINANCE GREATER THAN 200 FOOTLAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.  
C. WHERE ON-SITE LIGHTING IS PROVIDED, THE LOCATION OF ALL LIGHT POLES SHALL BE INDICATED ON THE SITE. FOR SITES FIVE OR MORE ACRES, THE MAXIMUM HEIGHT OF A LIGHT POLE, MEASURED FROM THE FINISHED GRADE TO THE TOP OF THE POLE, SHALL BE 30 FEET. (14-16-9-9)  
NOTE: SEE ELECTRICAL FOR MORE INFORMATION.

## CODE DATA

ADDRESS: 2401 BROADWAY SE, ALBUQUERQUE, NEW MEXICO 87102  
ZONING: SU-2 MFR. SPECIAL NEIGHBORHOOD ZONE, MIXED RESIDENTIAL  
ZONE ATLAS MAP: 11-14-2

# PARKING CALCULATIONS (C.O.A. = CITY OF ALBUQUERQUE)

OCCUPANCY PER C.O.A. COMPREHENSIVE CITY ZONING CODE, 14-16-3-1.A.4:  
CHURCH OR PLACE OF WORSHIP  
ONE (1) SPACE FOR EACH 4 SEATS IN MAIN ROOM (30 PEW INCHES/SEAT)  
FIXED SEATS: 15,508 PEW INCHES / 30" = 517 OCCUPANTS  
NON-FIXED SEATS: FROM REAR ROWS = 40 OCCUPANTS  
HANDICAP (WHEELCHAIR) SPACES: 10 OCCUPANTS  
PER TABLE 1108.2.2:  
ASSEMBLY, UNCOND. CHAIR (489 SF/15) = 32 OCCUPANTS  
PLATFORM (333 SF/15) = 23 OCCUPANTS  
CLOSET (48 SF/30) = 1 OCCUPANT  
STORY (145 SF/100) = 1 OCCUPANT  
CONFESS (175 SF/50) = 4 OCCUPANTS  
USHERS (175 SF/100) = 4 OCCUPANTS  
OTHER:  
SUBTOTAL--NARTHEX (MAIN ROOM) TOTAL = 637 OCCUPANTS  
TOTAL OCCUPANT LOAD (FOR C.O.A. PARKING CALC.) = 637 OCCUPANTS  
REQUIRED NO. OF PARKING SPACES  
PROVIDE 1 SPACE PER EVERY 4 SEATS IN MAIN ROOM = 157 SPACES  
628 OCCUPANTS / 4 = 157 SPACES  
10% ALLOWABLE REDUCTION: WITHIN 300' OF TRANSIT ROUTE: (15) SPACES  
10% OF 161 SPACES  
GRAND TOTAL, REQUIRED NO. PARKING SPACES = 142 SPACES  
GRAND TOTAL NO. PARKING SPACES PROVIDED = 165 SPACES

ACCESSIBLE PARKING REQUIRED BY CITY OF ALBUQUERQUE:  
REQUIRED: FOR 101 300 SPACES  
PROVIDED: 6 STANDARD ACCESSIBLE + 2 VAN = 8 SPACES  
NON-ACCESSIBLE PARKING REQUIRED BY CITY OF ALBUQUERQUE:  
REQUIRED: 142 - 8 HCP, ACCESSIBLE = 134 SPACES  
PROVIDED: NON-ACCESSIBLE PARKING = 157 SPACES  
C.O.A. ALLOWS UP TO 1/3 TO BE COMPACT SPACES  
1/3 OF 134 TOTAL SPACES ALLOWED = 44 SPACES  
PROVIDED: NO. OF COMPACT SPACES = 25 SPACES  
PARKING SPACES SUMMARY:  
REGULAR SPACES (NON-ACCESSIBLE) REQUIRED PROVIDED  
REGULAR SIZE SPACES 90 130  
STAFF-REGULAR SPACES N/A 2  
COMPACT SPACES (ALLOWED) 44 25  
TOTAL REGULAR SPACES PROVIDED: 157 SPACES  
REGULAR HCP, SPACES 6 6  
VAN HCP, SPACES 2 2  
TOTAL ACCESSIBLE SPACES PROVIDED: 8 SPACES  
GRAND TOTAL NO. PARKING SPACES PROVIDED: 165 SPACES  
MOTORCYCLE PARKING PER COA 14-18-3-1 B.O.A.  
PROVIDE 4 MOTORCYCLE SPACES PER 101-150 REQUIRED PARKING SPACES:  
REQUIRED: = 4 SPACES PROVIDED: = 4 SPACES  
BICYCLE PARKING:  
PROVIDE 1 BICYCLE SPACE PER 20 REQUIRED PARKING SPACES:  
REQUIRED: 142 / 20 = 8 SPACES PROVIDED: = 8 SPACES

# GENERAL NOTES

A. ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL COMPLY WITH CITY OF ALBUQUERQUE (COA) STANDARDS.  
B. ALL DIMENSIONS ON THIS SITE PLAN ARE TO FACE OF CURB, CENTER LINE OF TRAFFIC STRIKE, OR EDGE OF CONCRETE, UNO.  
C. SEE ALSO CIVIL FOR ADDITIONAL INFORMATION.  
D. SEE ALSO MECHANICAL AND ELECTRICAL FOR ADDITIONAL INFORMATION.  
E. SEE LANDSCAPING AND IRRIGATION SHEETS FOR ADDITIONAL INFORMATION AND FOR LANDSCAPING CALCULATIONS.  
F. SEE PROJECT MANUAL FOR SECTORS AND REPORT BY VANDY & ASSOCIATES, INC. PROJECT 07-01-341, DATED SEPTEMBER 24, 2007.  
KEYED NOTES  
NOTE: THE FOLLOWING KEYED NOTES APPLY TO SHEETS C31 AND C32.  
8-0101 NOTES MAY NOT BE USED ON EVERY SHEET.

## KEYED NOTES

1. NEW CHURCH/COA SITE WALL. SEE SITE ELEVATIONS & DETAILS.
2. EXISTING 6' HIGH SITE WALL TO REMAIN.
3. EXISTING ADJACENT SITE WALL. HEIGHT VARIES, SEE SITE ELEVATIONS & DETAILS ON SHEET C42.
4. PAINT DASHED PORTION OF CURB FACE AND TOP COLOR RED WITH WHITE STENCILED 4" HIGH LETTERS "NO PARKING" AND "FIRE LANE" ALTERNATING AT 10' O.C. MAX.
5. EXISTING DOUBLE-HEAD LIGHT POLE WITH CONCRETE BASE ON ADJACENT PROPERTY. (NORTH HEAD THROUGH LIGHT ONTO PROPERTY IN THIS WORK). NEW LIGHT POLE WITH CONCRETE BASE COMPLYING WITH LIGHTING REGULATIONS ON THIS SHEET. SEE ELECTRICAL.
6. 8" WIDE CROSSWALK OF 12" WIDE STRIPES AT 30" O.C. PAINTED WITH WHITE REFLECTIVE TRAFFIC PAINT.
7. 4" WIDE WHITE TRAFFIC PAINT MARKINGS, TYP. AT NON-HANDICAP AND MOTORCYCLE PARKING SPACES.
8. 4" WIDE BLUE TRAFFIC PAINT AT PERIMETER AND 45 DEG STRIPES AT 3'-0" O.C. AT HANDICAP ACCESSIBLE AISLES. PAINT 4" WIDE STRIPE BETWEEN HANDICAP ACCESSIBLE SPACES NOT SEPARATED BY AISLES. PAINTED UNLESS PAIR SYMBOL ON PAVEMENT. SEE SITE DETAILS. PAINT WHITE STENCILED 12" HIGH LETTERS "COMPACT" WHERE SHOWN, OR "STOP" IN 10' H LETTERS WHERE SHOWN.
9. 4" WIDE WHITE TRAFFIC PAINT AT PERIMETER AND 45 DEG STRIPES AT 3'-0" O.C. AT BICYCLE PARKING AREA.
10. 18" W X 10" D L. (1/2) WHITE REFLECTIVE TRAFFIC STRIPE AND TEXT "STOP" IN 10' H LETTERS WHERE SHOWN.
11. WHITE REFLECTIVE DIRECTIONAL TRAFFIC ARROW, DIRECTION AS INDICATED. SEE SITE DETAILS.
12. DOUBLE TRAFFIC YELLOW TRAFFIC PAINT STRIPING DIVIDER LINE - TWO 4" WIDE STRIPES SEPARATED BY 4" CLEAR.
13. SINGLE 4" WIDE STRIPE WHITE TRAFFIC PAINT. SOLID FIRST 60', BROKEN LINE BALANCE OF LENGTH.
14. NEW CONC. CURB AND GUTTER COA STD. 24B, MEDIAN C&G. SEE CIVIL.
15. EXIST. STORM INLET AND UNDERDRAIN. PROTECT. SEE CIVIL.
16. 2'-0" WIDE CONC. CHANNEL. SEE CIVIL.
17. 1'-0" WIDE SIDEWALK CULVERT, SEE CIVIL. PROVIDE COVER WHERE SHOWN.
18. 2'-0" WIDE SIDEWALK CULVERT, SEE CIVIL. PROVIDE COVER WHERE SHOWN.
19. NEW STORM INLET. SEE CIVIL.
20. NEW UNDERGROUND STORM DRAIN PIPE. SEE CIVIL.
21. EXIST. STORM INLET AND UNDERDRAIN. PROTECT. SEE CIVIL.
22. 6'-0" WIDE EROSION PROTECTION. SEE CIVIL.
23. FORMED ASPHALTIC CONCRETE CURB ON TOP OF ASPHALTIC CONC. PAVING PER COA STD. DUG. 24B.
24. CONCRETE PAVING TURNDOWN EDGE DETAIL. AT ASPHALT. SEE SITE DETAILS.
25. TURN-DOWN EDGE OF ASPHALTIC CONC. PAVING. (8" DEEP X 12" WIDE)
26. NEW CONCRETE STAND-UP CURB. SEE SITE DETAILS.
27. NEW HANDRAIL. SEE DETAIL 20/C41.
28. FLUSH ASPHALTIC CONC. PAVING. SEE SITE DETAILS. SEE CIVIL.
29. EDGE OF PAVEMENT.
30. NEW AND EXISTING PAVEMENT TO MEET FLUSH AND HAVE POSITIVE DRAINAGE. SEE CIVIL.
31. EXIST. STAIRS OR RAMP STRUCTURE TO REMAIN.
32. PRE-CAST CONC. BUFFER. CENTER ON WIDTH OF PARKING SPACE AND POINT 2'-0" SIDE OF CURB SIDE OF FLOOR. SEE DETAIL.
33. 2'-0" WIDE RAISED CONC. MEDIAN. SEE SITE DETAILS.
34. EXISTING CONC. CURB, GUTTER AND SIDEWALK TO REMAIN. PROTECT.
35. EXISTING PAVEMENT TO REMAIN. PROTECT.
36. DASHED LINE INDICATES FUTURE CONSTRUCTION NOT IN THIS WORK.
37. LANDSCAPE AREA. SEE LANDSCAPE DRAWINGS.
38. NEW LOCATION OF SALVAGED DEDICATED DRIVE AND CROSS.
39. DASHED LINES INDICATE FUTURE CONSTRUCTION NOT IN THIS WORK.
40. EXISTING 6' TALL PERIMETER CHAIN LINK FENCE TO REMAIN.
41. NEW PUBLIC FIRE HYDRANT PER COA STANDARDS. SEE UTILITIES. LOCATE HYDRANT IN CENTER OF 3'-0" X 3'-0" CONC. PAD. POUR PAD TO WEST AND CLEAR OF 6'-0" WIDE PUBLIC SIDEWALK.
42. 28" CLEAR RIGHT TRIANGLE PER COA.
43. 30" CLEAR TRIANGLE PER COA.
44. STRAIGHT CURB RAMP. SEE SITE DETAILS.
45. FLARED CURB RAMP. SEE SITE DETAILS.
46. CURB-BREAK RAMP. SEE SITE DETAILS.
47. 2-SIDED CURB RAMP. SEE SITE DETAILS.
48. HANDICAP PARKING SIGN. SEE SITE DETAILS.
49. BICYCLE PARKING SIGN. SEE SITE DETAILS.
50. EXIST. RACK. SEE SITE DETAILS.
51. STOP SIGN. SEE SITE DETAILS.
52. KEEP RIGHT SIGN. SEE SITE DETAILS.
53. REPAIR END OF EXIST. ADJACENT WALL WHERE PORTION OF EXIST. REMOVED. SEE SITE DEMO PLAN. SEE ALSO SHEET C42.
54. NEW STAIRS. SEE SITE DETAILS.
55. (SEE LEGEND BELOW FOR DESCRIPTIONS OF PAVEMENT)
56. NEW STANDARD-DUTY PORTLAND CEMENT CONCRETE PAVING.
57. NEW HEAVY-DUTY PORTLAND CEMENT CONCRETE PAVING.
58. NEW STANDARD-DUTY ASPHALTIC CONCRETE PAVING.
59. NEW HEAVY-DUTY ASPHALTIC CONCRETE PAVING.
60. EXISTING MONUMENT SIGN TO REMAIN.
61. NEW DRIVE/ADJACENT SIDEWALK CURB. CONSTRUCT PER COA STD. DUG. 24B. SEE CIVIL.
62. NEW CORNER CURB RAMP PER COA STD. DUG. 24B.
63. NEW CONCRETE BENCH. SEE SITE DETAILS.
64. FIRE LINE VALVES AND BACKFLOW PREVENTER IN HOT BOX MOUNTED, MOUNTED ON UTILITY PAD. SEE UTILITIES. SEE MECHANICAL.
65. FIRE LINE POST INDICATOR VALVE (PIV). SEE UTILITIES. SEE MECHANICAL.
66. REMOTE FIRE DEPT. CONNECTION (RFD.C). SEE UTILITIES. SEE MECHANICAL.
67. LEADING EDGE AT BOTTOM TREAD AT RAMP HEIGHT RISE TO HAVE DISTINCTIVE MARKING STRIPE W/ SLIP RESISTANT SURFACE. (31) SAFETY-WALK GENERAL PURPOSE TAPES, SERIES 600 OR EQUAL COLOR BLACK & 1/2" SIZE. 7'
68. PROVIDE 6" WIDE DRAINAGE SLOT IN TOP OF CONC. BENCH TO DRAIN ADJACENT PLANTWORK. BOTTOM OF SLOT SHALL DRAIN WEST. SEE CIVIL.
69. TOOLS. CONTROL JOINTS IN VERTICAL PANELS.
70. ELECTRIC TRANSDUCER ON FIN. 6" X 6" CONC. PAD PER FIN. 8" X 6". SEE UTILITIES. SEE ELECTRICAL. COORDINATE WITH FIN.
71. PERCOLATION PIT. SEE CIVIL FOR DESIGN DETAILS.
72. GAS METER. SEE UTILITIES. SEE MECHANICAL. PROVIDE TWO (2) BOLLARDS. PAINT BOLLARDS AND PETERPITTING PAINT COLOR XP-1. SEE SHEET C41.
73. NEW PUBLIC SIDEWALK RAMP. SEE SHEET C40. SURVEY REPLAT.
74. EXIST. COA PUBLIC UTILITY EASEMENT. SEE SHEET C40. SURVEY REPLAT.
75. EXIST. COA PUBLIC STORM DRAIN EASEMENT. SEE SHEET C40. SURVEY REPLAT.
76. PLACING REBAR AND EXTERIOR WALL ELEVATIONS.
77. DEPRESS CONC. PLANTWORK SLAB 1/2" IN THIS AREA AND INSTALL 15" X 15" CERAMIC TILE, 1/4" H/16" NOSE, IN STAGGERED PATTERN SHOWN. SEE SHEET C41.

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRG/Permit approval and Work Order required.

TRAFFIC CIRCULATION LAYOUT APPROVED  
4/30/08  
Date

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

## LEGEND - NEW PAVING

### Asphaltic Concrete Paving

HEAVY-DUTY ASPHALTIC CONCRETE PAVING SECTION:  
3" THK. CONCRETE ON 4" THK. AGGREGATE BASE COURSE ON COMPACTED FILL PER GEOTECHNICAL REPORT RECOMMENDATIONS. COA CLASS B MIN.  
STANDARD-DUTY ASPHALTIC CONCRETE PAVING SECTION:  
3" THK. ASPHALTIC CONCRETE ON COMPACTED FILL PER GEOTECHNICAL REPORT RECOMMENDATIONS. COA CLASS B MIN.

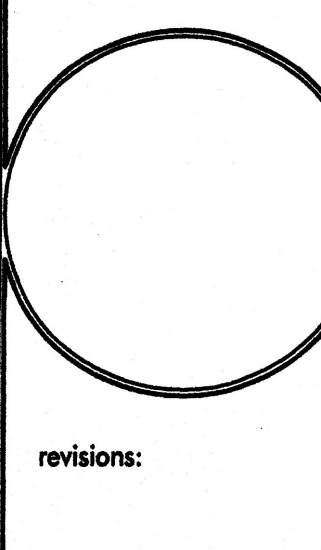
### Portland Cement Concrete Paving

HEAVY-DUTY PORTLAND CEMENT CONC. PAVING SECTION: (AT REFUSE ENCLOSURE ONLY)  
6" THK. P.C. 4,000 PSI WITH 2" X 4" AGGREGATE AND 6X6-10/10 W/1. REINFORCEMENT AT REFUSE APRON AND 6X6-10/10 W/1. REINFORCEMENT IN REFUSE ENCLOSURE. ON 4" AGGREGATE COURSE ON COMPACTED FILL PER GEOTECHNICAL REPORT RECOMMENDATIONS.  
STANDARD-DUTY PORTLAND CEMENT CONC. PAVING SECTION: (AT ALL OTHER AREAS)  
4" THK. P.C. 3,000 PSI MIX PER SPECIFICATIONS, AND ON COMPACTED FILL PER GEOTECHNICAL.

E.J. = 1/2" WIDE EXPANSION JOINT, FULL DEPTH.  
C.J. = CONTROL/CONSTRUCTION JOINT, TOOLED.



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designing today designing tomorrow



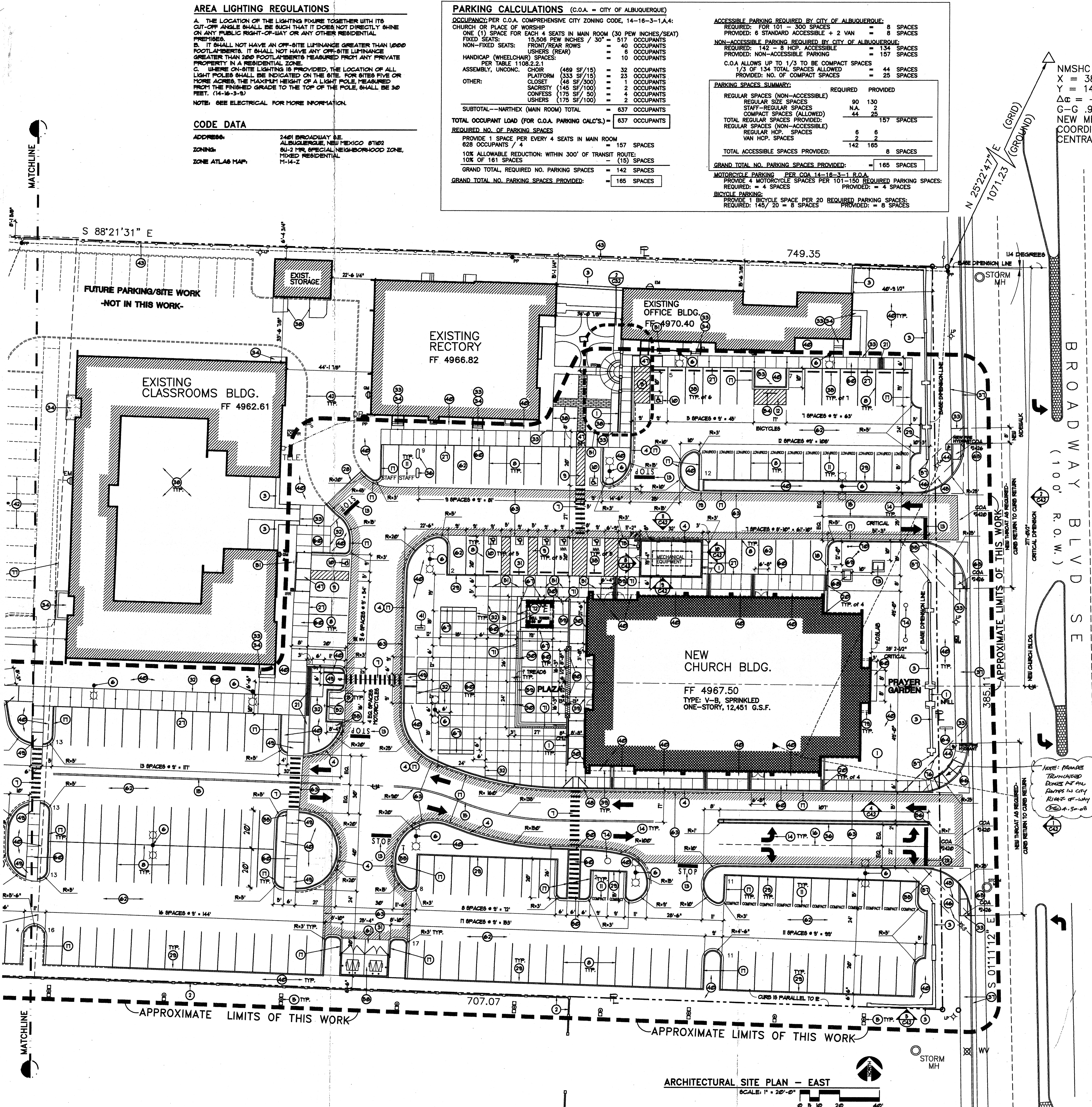
ARCHDIOCESE OF SANTA FE  
SAN JOSE PARISH NEW CHURCH & SITE IMPROVEMENTS  
2401 Broadway Blvd. SE  
Albuquerque, New Mexico

revisions:  
proj. no.: 0715  
acad file: 0715C3  
date: 3/28/08

ARCHITECTURAL  
SITE PLAN EAST  
PARKING CALCULATIONS

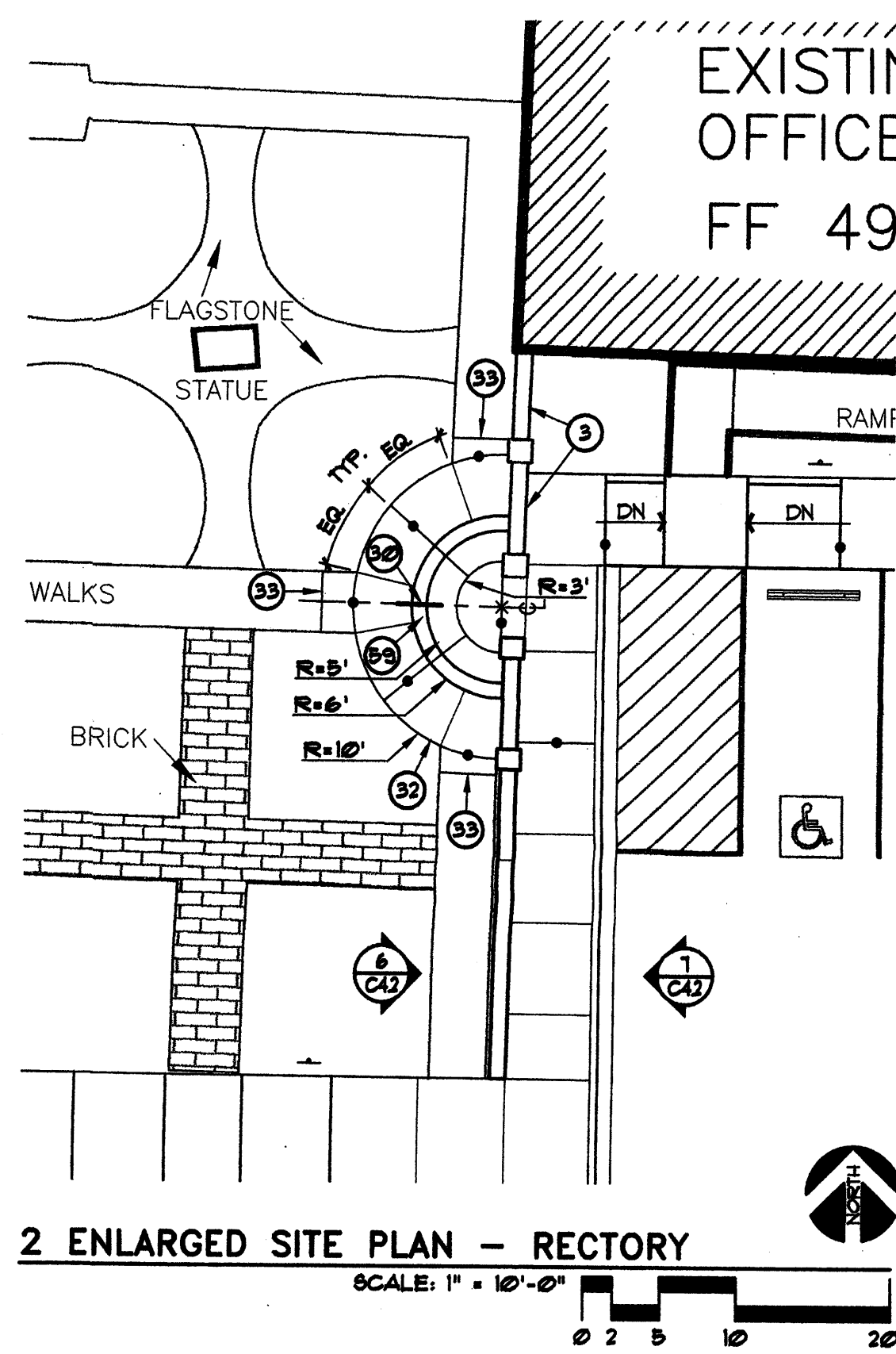
RECEIVED  
APR 24 2008  
HYDROLOGY  
SECTION

C3.1



ARCHITECTURAL SITE PLAN - EAST  
SCALE: 1" = 20'-0"





2 ENLARGED SITE PLAN - RECTORY

SCALE: 1" = 10'-0"

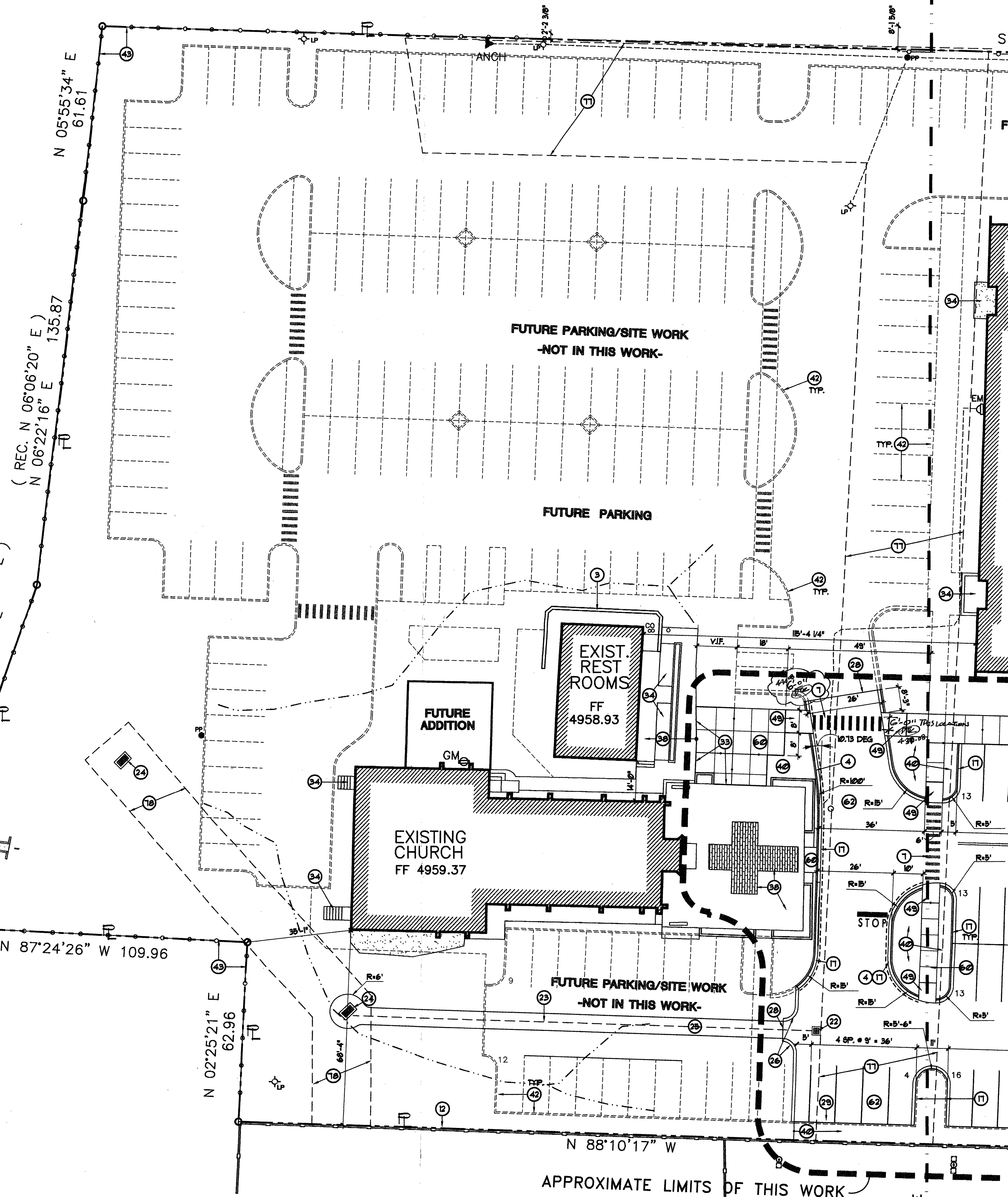
Fd. 5/8" Rebar cap unreadable.

$R = 34.61$   
 $L = 69.91$   
 $\Delta = 115^\circ 43' 38''$   
 Ch N 37°50'20" E 58.61

ROMANA AVENUE

1 ARCHITECTURAL SITE PLAN - WEST

SCALE: 1" = 10'-0"



# GENERAL NOTES

- ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL COMPLY WITH CITY OF ALBUQUERQUE (COA) STANDARDS.
- ALL DIMENSIONS ON THIS SITE PLAN ARE TO FACE OF CURB, CENTER LINE OF TRAFFIC STRIPE, OR EDGE OF CONCRETE, UNO.
- SEE ALSO CIVIL FOR ADDITIONAL INFORMATION.
- SEE ALSO MECHANICAL AND ELECTRICAL FOR ADDITIONAL INFORMATION.
- SEE LANDSCAPING AND IRRIGATION SHEETS FOR ADDITIONAL INFORMATION AND FOR LANDSCAPING CALCULATIONS.
- SEE PROJECT MANUAL FOR GEOTECHNICAL REPORT BY VINYARD & ASSOCIATES, INC. PROJECT 01-01-341, DATED SEPTEMBER 24, 2007.

## KEYED NOTES

NOTE: THE FOLLOWING KEYED NOTES APPLY TO SHEETS C3.1 AND C3.2. SOME NOTES MAY NOT BE USED ON EVERY SHEET.

- NEW CHURCH SITE WALL. SEE SITE ELEVATIONS & DETAILS.
- EXISTING 6" HIGH CMU SITE WALL TO REMAIN.
- EXISTING ADG/CHU SITE WALL. HEIGHT VARIES, SEE SITE ELEVATIONS & DETAILS ON SHEET C4.2.
- PAINT DASHED PORTION OF CURB FACE AND TOP COLOR RED WITH WHITE STENCILED 4" HIGH LETTERS "NO PARKING" AND "FIRE LANE" ALTERNATING AT 10' O.C. MAX.
- EXISTING DOUBLE-HEAD LIGHT POLE WITH CONCRETE BASE ON ADJACENT PROPERTY. (NORTH HEAD THROUGH LIGHT ONTO PROPERTY IN THIS WORK).
- NEW LIGHT POLE WITH CONCRETE BASE COMPLYING WITH LIGHTING REGULATIONS ON THIS SHT. SEE ELECTRICAL.
- 5'-0" WIDE CROSSWALK OF 12" WIDE STRIPES AT 30" O.C. PAINTED WITH WHITE REFLECTIVE TRAFFIC PAINT. TYP. AT NON-HANDICAP AND MOTORCYCLE PARKING SPACES.
- 4" WIDE WHITE TRAFFIC PAINT PAYMENT MARKINGS. TYP. AT NON-HANDICAP AND MOTORCYCLE PARKING SPACES.
- 4" WIDE BLUE TRAFFIC PAINT AT PERIMETER AND 45 DEG STRIPES AT 10'-0" O.C. AT HANDICAP ACCESSIBLE SPACES. PAINT 4" WIDE STRIPE BETWEEN HANDICAP ACCESSIBLE SPACES NOT SEPARATED BY AISLES.
- PAINTED WHEELCHAIR SYMBOL ON PAVEMENT. SEE SITE DETAILS. PAINT WHITE STENCILED 12" HIGH LETTERS "VAN" WHERE SHOWN.
- PAINT WHITE STENCILED 12" HIGH LETTERS "COMPACT" WHERE SHOWN, OR "STAFF" WHERE SHOWN.
- 4" WIDE WHITE TRAFFIC PAINT AT PERIMETER AND 45 DEG STRIPES AT 3'-0" O.C. AT BICYCLE PARKING AREA.
- 10" W x 10'-0" L (MIN) WHITE REFLECTIVE TRAFFIC STRIPE AND TEXT "STOP" IN 18" H LETTERS WHERE SHOWN.
- WHITE REFLECTIVE DIRECTIONAL TRAFFIC ARROW, DIRECTION AS INDICATED. SEE SITE DETAILS.
- DOUBLE TRAFFIC YELLOW TRAFFIC PAINT STRIPING DIVIDER LINE - TWO 4" WIDE STRIPES SEPARATED BY 4" CLEAR.
- SINGLE 4" WIDE STRIPE WHITE TRAFFIC PAINT. SOLID FIRST 60', BROKEN LINE BALANCE OF LENGTH.
- NEW CONC. CURB AND GUTTER COA STD. 2418, MEDIAN C&G. SEE CIVIL.
- 2'-0" WIDE CONC. CHANNEL. SEE CIVIL.
- 1'-0" WIDE SIDEWALK CULVERT. SEE CIVIL. PROVIDE COVER WHERE SHOWN.
- 2'-0" WIDE SIDEWALK CULVERT. SEE CIVIL. PROVIDE COVER WHERE SHOWN.
- NEW STORM INLET. SEE CIVIL.
- NEW UNDERGROUND 8" DRAIN PIPE. SEE CIVIL.
- EXIST. STORM INLET AND UNDERGROUND PIPING. PROTECT. SEE CIVIL.
- 6'-0" WIDE EROSION PROTECTION. SEE CIVIL.
- FORMED ASPHALT CONCRETE CURB ON TOP OF ASPHALTIC CONC. PAVING PER COA STD. DUG. 2418.
- CONCRETE PAVING TURNDOWN EDGE DETAIL AT ASPHALT. SEE SITE DETAILS.
- TURN-DOWN EDGE OF ASPHALTIC CONC. PAVING. (6" DEEP x 2" WIDE)
- NEW CONCRETE STAND-UP CURB. SEE SITE DETAILS.
- NEW HANDRAIL. SEE DETAIL 20/41.
- FLUSH ASPHALT/CONC. PAVING. SEE SITE DETAILS. SEE CIVIL.
- EDGE OF PAVEMENT.
- NEW AND EXISTING PAVEMENT TO MEET FLUSH AND HAVE POSITIVE DRAINAGE. SEE CIVIL.
- EXIST. STAIRS OR RAMP STRUCTURE TO REMAIN.
- PRE-CAST CONC. BUFFER. CENTER ON WIDTH OF PARKING SPACE AND POINT 2'-0" FROM FACE OF BUFFER TO F&G CURB. SEE DETAIL.
- 2'-0" WIDE RAISED CONC. MEDIAN. SEE SITE DETAILS.
- EXISTING CONC. CURB, GUTTER AND SIDEWALK TO REMAIN. PROTECT.
- EXISTING PAVEMENT TO REMAIN. PROTECT.
- DASHED LINE INDICATES ROOF LINE ABOVE.
- LANDSCAPE AREA. SEE LANDSCAPE DRAWINGS.
- NEW LOCATION OF SALVAGED STONE AND CROSS.
- DASHED LINE INDICATES FUTURE CONSTRUCTION NOT IN THIS WORK.
- EXISTING 6" TALL PERIMETER CHAIN LINK FENCE TO REMAIN.
- NEW PUBLIC FIRE HYDRANT PER COA STANDARDS. SEE UTILITIES. SEE CIVIL. LOCATE HYDRANT IN CENTER OF 3'-0" x 3'-0" CONC. PAD.
- FOUR PAD TO WEST AND CLEAR OF 6'-0" WIDE PUBLIC SIDEWALK.
- 25' CLEAR SIGHT TRIANGLE PER COA.
- 35' CLEAR SIGHT TRIANGLE PER COA.
- STRAIGHT CURB RAMP. SEE SITE DETAILS.
- FLARED CURB RAMP. SEE SITE DETAILS.
- CURB-BREAK RAMP. SEE SITE DETAILS.
- 2-SIDED CURB RAMP. SEE SITE DETAILS.
- "HANDICAPPED PARKING" SIGN. SEE SITE DETAILS.
- "MOTORCYCLE PARKING" SIGN. SEE SITE DETAILS. PROVIDE 4 SPACES.
- "BICYCLE PARKING" SIGN. SEE SITE DETAILS.
- BIKE RACK. SEE SITE DETAILS. PROVIDE 8 SPACES TOTAL.
- "STOP" SIGN. SEE SITE DETAILS.
- KEEP RIGHT SIGN. SEE SITE DETAILS.
- REPAIR END OF EXIST. ADG/CHU WALL WHERE PORTION OF EXIST. REMOVED. SEE SITE DETAIL PLAN. SEE ALSO SHT. C4.2.
- NEW REFUSE ENCLOSURE AND APRON. SEE SITE DETAILS.
- NEW STAIRS. SEE SITE DETAILS.
- (SEE LEGEND BELOW FOR DESCRIPTIONS OF PAVEMENT)
- NEW STANDARD-DUTY PORTLAND CEMENT CONCRETE PAVING.
- NEW HEAVY-DUTY PORTLAND CEMENT CONCRETE PAVING.
- NEW STANDARD-DUTY ASPHALTIC CONCRETE PAVING.
- NEW HEAVY-DUTY ASPHALTIC CONCRETE PAVING.
- EXISTING MONUMENT SIGN TO REMAIN.
- NEW DRY-PAVED DROPPED SIDEWALK CURBS. CONSTRUCT PER COA. STD. DUG. 2418. SEE CIVIL.
- NEW CORNER CURB RAMP PER COA STD. DUG. 2426.
- NEW CONCRETE BENCH. SEE SITE DETAILS.
- FIRE LINE VALVES AND BACKFLOW PREVENTER IN HOT BOX MOUNTED, MOUNTED ON CONC. PAD. SEE UTILITIES. SEE MECHANICAL.
- FIRE LINE POST INDICATOR VALVE (PIV). SEE UTILITIES. SEE MECHANICAL.
- RECYCLE FIBER DET. CONNECTION (RFD/C). SEE UTILITIES. SEE MECHANICAL.
- LEADING EDGE OF BOTTOM TREAD AT NON-UNIFORM HEIGHT RIDER TO HAVE DISTINCTIVE MARKING STRIPE W/ SLIP RESISTANT SURFACE. (31) SAFETY-WALK GENERAL PURPOSE TAPES, SERIES 6000 OR EQUAL COLOR, BLACK 1/2", SIZE: 2".
- PROVIDE 6" WIDE DRAINAGE SLOT IN TOP OF CONC. BENCH TO DRAIN ADJACENT SIDEWALK. BOTTOM OF SLOT SHALL DRAIN WEST. SEE CIVIL.
- ELECTRIC TRANSFORMER ON MIN. 6' x 6' CONC. PAD PER FM 18/PCS. SEE UTILITIES. SEE ELECTRICAL. COORDINATE WITH FM 18.
- PERCOLATION PIT. SEE CIVIL FOR DESIGN DETAILS.
- GAS METER. SEE UTILITIES. SEE MECHANICAL. PROVIDE TWO (2) BOLLARDS. PAINT BOLLARDS AND METERPIPING PAINT COLOR X-11. SEE SHT. C4.1.
- NEW PUBLIC SIDEWALK EASEMENT. SEE SHT. COO, SURVEY REFLAT.
- EXIST. COA PUBLIC UTILITY EASEMENT. SEE SHT. COO, SURVEY REFLAT.
- EXIST. COA PUBLIC UTILITY DRAIN EASEMENT. SEE SHT. COO, SURVEY REFLAT.
- FLATWORK BEARING STRUCTURAL AND EXTERIOR ELEVATIONS.
- DEPRESS CONC. FLATWORK 6" AB 1/2" IN THIS AREA AND INSTALL 13"x13" CERAMIC TILE, 1/4" ALPHI NOSE, IN STAGGERED PATTERN SHOWN. SEE AS SHTS.

## SYMBOLS LEGEND

- EM ELECTRIC METER
- GM GAS METER
- WV WATER VALVE
- WM WATER METER
- MH SANITARY SEWER MANHOLE
- CO SEWER CLEANOUT
- IRR IRRIGATION CONTROL VALVE/BOX
- FH FIRE HYDRANT
- PP POWER POLE
- ANCH ANCHOR
- LP LIGHT POLE

OVERHEAD POWER LINE

BURIED POWER CONDUIT

INDEX COUTOUR INTERVAL: 5 FT.

4955

CONTOUR INTERVAL: 1 FT.

SPOT ELEVATION  
 UNLESS OTHERWISE INDICATED, SPOT  
 ELEVATIONS ARE TO NATURAL GRADE


- EA EDGE OF ASPHALT
- TA TOP OF ASPHALT
- TC TOP OF CURB / CONCRETE
- FL FLOWLINE
- TW TOP OF WALK OR WALL
- CL CHAIN LINK FENCE
- SD STORM DRAIN LINE
- BL BURIED TELEPHONE LINE
- GL GAS LINE



RECEIVED

APR 24 2008

HYDROLOGY SECTION



**GREGORY T. Hicks & Assoc., P.C.**  
 ARCHITECTS • PLANNERS  
 The Sunshine Building  
 Albuquerque, New Mexico 87102  
 (505) 243-7492 Fax (505) 243-1106  
 e-mail: ghicks@ghicks.com

proj. no.: 0715

acad file: 0715C3

date: 3/28/08

revisions:

ARCHDIOCESE of SANTA FE

SAN JOSE PARISH NEW CHURCH & SITE IMPROVEMENTS

2401 Broadway Blvd. SE

Albuquerque, New Mexico

sheet title:

ARCHITECTURAL

SITE PLAN WEST

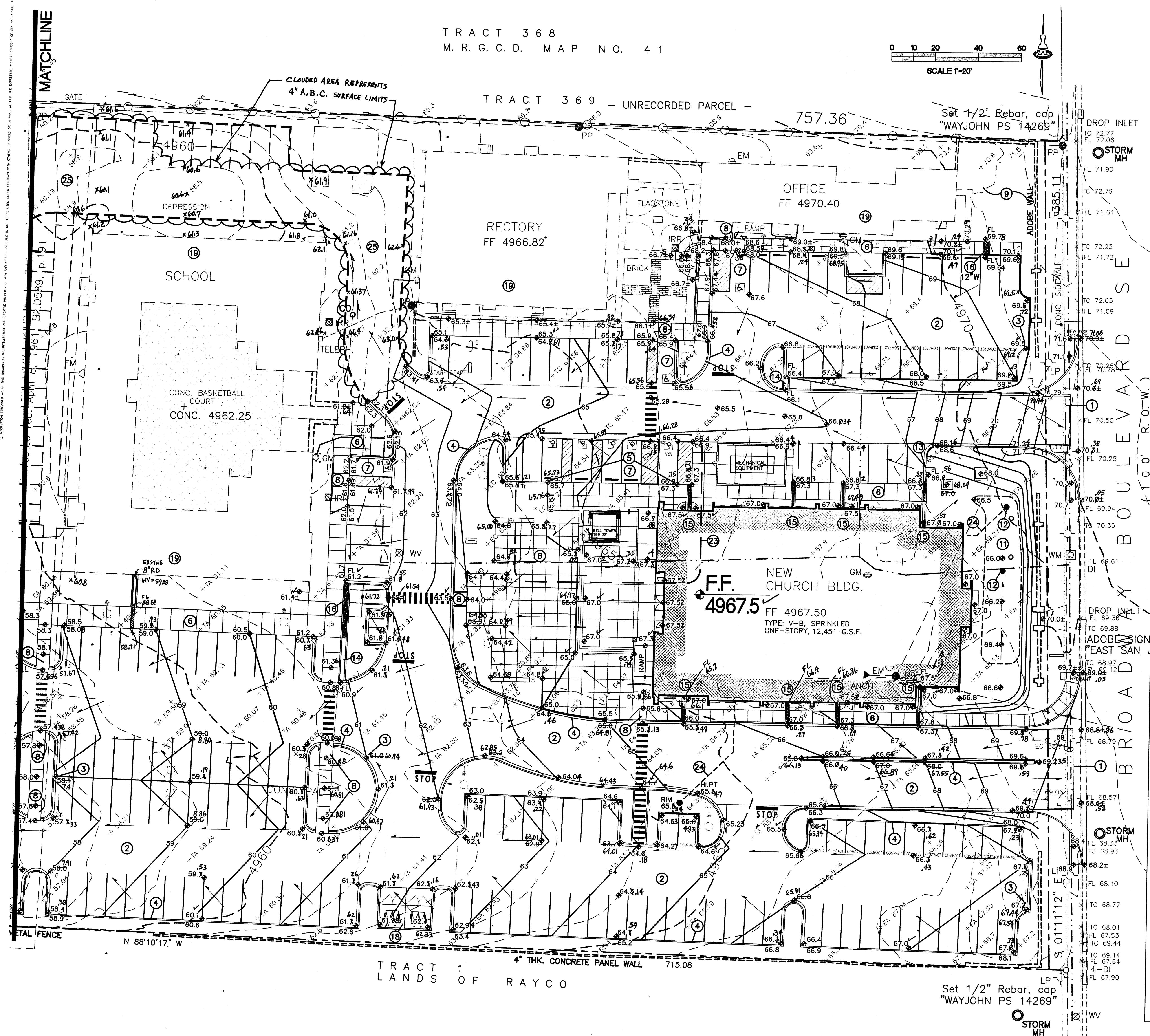
C3.2

APR 24 2008

HYDROLOGY SECTION



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#### PERMANENT C.O.

I, Scott M. McGee, NMPE 10519, of the firm Isaacson & Arfman, P.A., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 04/03/08. The record information edited onto the original design document has been obtained by Jean Bordenave, NMPS 5110, of the firm Baseline Field Services, Inc.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Scott M. McGee  
Scott M. McGee NMPE 10519



12/15/08  
Date

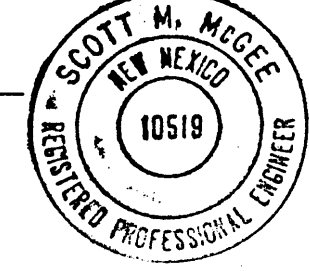
#### DRAINAGE CERTIFICATION

#### TEMPORARY C.O.

I, Scott M. McGee, NMPE 10519, of the firm Isaacson & Arfman, P.A., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 04/03/08. The record information edited onto the original design document has been obtained by Jean Bordenave, NMPS 5110, of the firm Baseline Field Services, Inc.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Scott M. McGee  
Scott M. McGee NMPE 10519



11/25/08  
Date

#### DRAINAGE CERTIFICATION

### GENERAL NOTES

- COORDINATE WORK WITH SITE PLAN, DEMOLITION PLAN, UTILITY PLAN AND LANDSCAPE PLAN.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT AND VERIFY THE ARCHITECT'S INTENT BEFORE PROCEEDING.
- ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES. TYPICAL CONTRACTOR TO FIELD VERIFY AND PROTECT ALL EXISTING UTILITIES WITHIN AREA TO BE IMPROVED.
- ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING / PROPOSED DRAINAGE PATHS. WHERE NEW GRADES ARE SHOWN AS "1", TRANSITION TO EXISTING SHALL BE SMOOTH AND LEVEL.
- WATER SHALL NOT POND ON NEWLY PAVED AREAS.
- FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS MATERIAL THICKNESS.
- ALL COBBLES TO BE 6" AVG. DIA. ANGULAR FACED ROCK PLACED OVER GEOTEX 50 NON-WOVEN GEOTEXTILE (O.E.). NOTE: PERMANENT TURF REINFORCEMENT MATERIAL (LANDLOK TRM 450 O.E.) MAY BE SUBSTITUTED AT ALL AREAS REFERENCING COBBLE EROSION PROTECTION.
- ALL NEW SLOPES > OR = 3:1 MUST HAVE PERMANENT EROSION CONTROL (COBBLE ARMOUR PER GENERAL NOTE "1" OR LANDLOK TRM 450 O.E.) INSTALLED PER MANUFACTURER'S SPECIFICATIONS. TYPICAL.
- ALL AREAS DISTURBED BY CONSTRUCTION (OUTSIDE PROPOSED PAVED AREAS) SHALL BE RESEED WITH NATIVE GRASS PER C.O.A. SPECIFICATIONS SECTION 1012 (FOR SANDY SOILS).
- OWNER SHALL MAINTAIN DRAINAGE AND EROSION PROTECTION ELEMENTS. OWNER SHALL INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCUPANCIES.

### LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- FLOW ARROW
- COBBLE SWALE
- FUTURE PAVING IMPROVEMENTS

### PROJECT DATA

PROPERTY: THE SITE IS A DEVELOPED SU-2 PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP M-14. THE SITE IS BOUND TO THE EAST BY BROADWAY BLVD., TO THE WEST, NORTH AND SOUTH BY DEVELOPED RESIDENTIAL PROPERTY.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE A NEW CHURCH BUILDING WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, AND LANDSCAPING IMPROVEMENTS.

LEGAL: TRACTS 50, 51 AND 52 AS THEY APPEAR ON THE M.R.G.C.D. PROPERTY MAP NO. 44.

ADDRESS: 2401 BROADWAY S.E.

BENCHMARK: ACS STA. 8-M14, SQUARE CHISEL ON CONC. MEDIAN CURB IN BROADWAY BLVD. APPROX. 690 FT. SOUTH OF BETHEL AVENUE ELEV. 4941.052 (NAD83)

OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #108, THE SITE IS LOCATED WITHIN FLOODZONE "X" DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

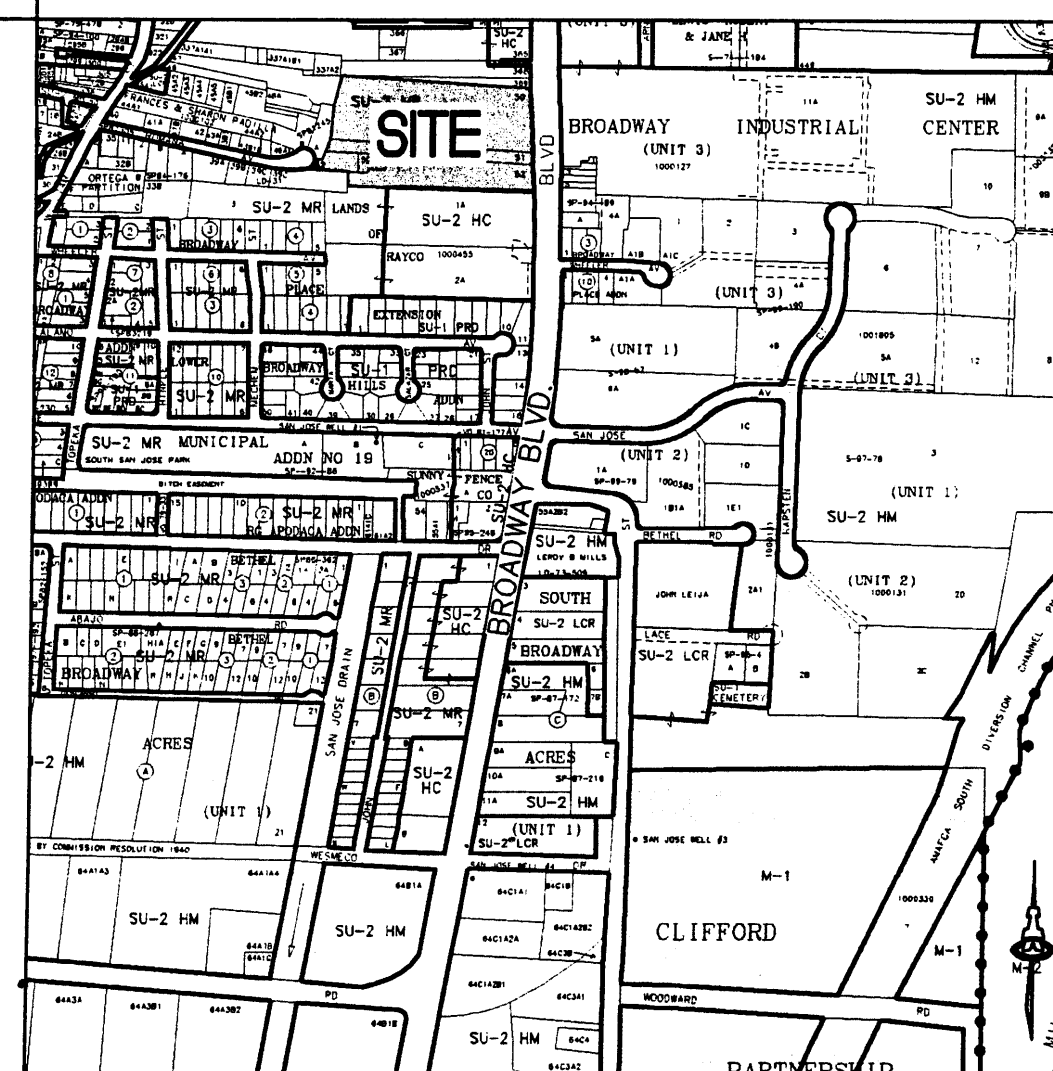
EROSION CONTROL: THE CONTRACTOR IS RESPONSIBLE FOR RETAINING ON-SITE ALL SEDIMENT GENERATED DURING CONSTRUCTION BY MEANS OF TEMPORARY EARTH BERMS OR SILT FENCES.

#### DRAINAGE PLAN CONCEPT:

THE SITE WILL CONTINUE TO DRAIN WEST TO THE EXISTING DETENTION / DESILTATION POND LOCATED AT THE SOUTHWEST CORNER OF THE PROPERTY. FLOW THEN ENTERS THE EXISTING MECHM STORM DRAIN SYSTEM INSTALLED IN 2005 (C.O.A. PROJECT #682502) AND IS ROUTED TO AN EXISTING OFF-SITE STORMWATER DETENTION AREA WEST OF THE SITE. FLOW IN EXCESS OF STORM DRAIN CAPACITY WILL OVERFLOW TO ROMANA STREET AT EXISTING OVERFLOW STRUCTURE.

NOTE: PER CALCULATIONS (SEE SUPPLEMENTAL DATA), THE FULLY DEVELOPED SITE (5% TREATMENT B, 10% TREATMENT C, 85% TREATMENT D) WILL GENERATE 30.2 CFS

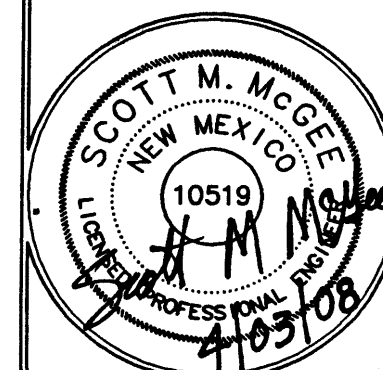
### VICINITY MAP M-14



### KEYED NOTES

- SITE ACCESS - CONSTRUCT PER C.O.A. STD. DWG. 2426 TO ELEVATIONS SHOWN. MATCH EXISTING INFRASTRUCTURE FOR SMOOTH RIDING TRANSITION.
- CONSTRUCT ASPHALT PAVING AT ELEVATIONS SHOWN. SEE ARCHITECTURAL FOR STRIPING AND PAVING DESIGN THICKNESSES.
- SPOT ELEVATIONS WITHIN FLOWLINE AREA REPRESENT FLOWLINE, UNLESS NOTED. ADD 0.5' TYPICAL FOR TOP OF CURB OR TOP OF ADJACENT WALK ELEVATIONS.
- CONSTRUCT MEDIAN CURB AND GUTTER PER C.O.A. STD. DWG. 2415 AT ALL CURB LOCATIONS UNLESS NOTED OTHERWISE.
- TOP OF ASPHALT TO BE FLUSH WITH TOP OF CONCRETE WALK THIS AREA.
- CONSTRUCT CONCRETE WALK AT ELEVATIONS SHOWN.
- SLOPES WITHIN HANDICAP PARKING AREA TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
- CONSTRUCT HANDICAP ACCESS RAMP. SEE ARCHITECTURAL FOR DETAILS.
- FINE GRADE THIS AREA TO DRAIN TO SIDEWALK CULVERT.
- CLEAN AND FINE GRADE EXISTING DESILTATION BASIN. BOTTOM OF BASIN TO BE = FLOWLINE OF 6" DIA. OPENINGS IN EXISTING "1" INLET. RE-ESTABLISH 2" WIDE "X" DEEP COBBLE EROSION PROTECTION AROUND INLET (TOP OF COBBLES = BOTTOM OF POND ELEVATION).
- CONSTRUCT LANDSCAPED STILLING BASIN AT GRADES SHOWN TO ACCEPT DRAINAGE FROM PRAYER GARDEN. FLOW IN EXCESS OF BASIN CAPACITY WILL DISCHARGE TO NORTH PAVEMENT AT OVERFLOW OPENING AS SHOWN.
- INSTALL PERCOLATION PIT THIS AREA (TWO LOCATIONS WITHIN PRAYER GARDEN). FINE GRADE PRAYER GARDEN TO DRAIN TO INLETS. SEE DETAIL ON SHEET C1.2.
- PROVIDE 2' WIDE OPENING IN CURB AT FL ELEVATION SHOWN TO PASS FLOW IN EXCESS OF PRAYER GARDEN STILLING BASIN.
- PROVIDE 2' WIDE (BOTTOM WIDTH) "U" SHAPED CONCRETE CHANNEL THROUGH PARKING ISLAND TO PASS FLOW. MIN. SLOPE = 1%.
- NEW CHURCH BUILDING ROOF DISCHARGE TO BE RELEASED VIA DOWNSPOUTS TO CONCRETE SIDEWALK CULVERTS (1" WIDE; CONSTRUCT PER C.O.A. STD. DWG. 2236) AS SHOWN. NO ROOF DISCHARGE WILL BE RELEASED TO PRAYER GARDEN.
- CONSTRUCT 2' WIDE (UNLESS NOTED) CONCRETE SIDEWALK CULVERT AT RIM/FLOWLINE ELEVATIONS SHOWN PER C.O.A. STD. DWG. 2236.
- EXISTING STORM DRAIN INLET LOCATION. CONTRACTOR TO CLEAN. NOTE: DASHED FLOWLINE ARROWS REPRESENT DIRECTION OF PUBLIC STORM DRAIN FLOW.
- CONSTRUCT NEW CONCRETE DUMPSTER PAD AND ENCLOSURE AT ELEVATIONS SHOWN.
- PROVIDE PRECAST CONCRETE SPLASHBLOCK AT ALL EXISTING ROOF DRAIN SURFACE OUTLETS (TYPICAL ALL BUILDINGS). FINE GRADE EXISTING BUILDING PERIMETERS TO DIRECT ROOF DRAINAGE AWAY FROM BUILDING.
- CONSTRUCT SINGLE TYPE "D" INLET PER C.O.A. STD. DWG. 2206 AT RIM / INVERT ELEVATIONS SHOWN. EXTEND 12" DRAINLINE TO EXISTING INLET AS SHOWN.
- CONSTRUCT 6" WIDE ASPHALT SWALE AT ELEVATIONS SHOWN TO DIRECT EXCESS DISCHARGE TO EXISTING STORM DRAIN INLET TO WEST. SEE DETAIL SHEET C1.2.
- INSTALL 4' WIDE X 12" DEEP COBBLE SWALE (SEE GENERAL NOTE "1") TO EXISTING POND INLET AS SHOWN. MINIMUM SLOPE = 1%.
- SEE ENLARGED BELL TOWER AREA ON SHEET C1.2 FOR DETAILED GRADES THIS AREA.
- SEE SHEET P1.2 FOR DRAIN LINE. MIN. SLOPE = 2%. EXTEND DRAIN LINE TO PERCOLATION PIT. SEE SHEET C1.2 PERCOLATION PIT DETAIL FOR ADDITIONAL INFORMATION.
- FUTURE PAVEMENT PHASE(S) DASHED.
- EXISTING ROP PUBLIC STORM DRAIN. DASHED ARROWS REPRESENT DIRECTION OF FLOW.
- CONNECT NEW 12" STORM DRAIN TO EXISTING PUBLIC STORM DRAIN INLET AT INVERT = 47.7'. CONSTRUCT PER C.O.A. STD. DWG. 2237.
- TEMPORARY ASPHALT CURB. SEE ARCHITECTURAL FOR EXTENTS.

GREGORY T. HICKS & ASSOC., P.C.  
ARCHITECTS - PLANNERS  
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revisions:

proj. no.: 0715

acad file:

date: 03/28/08

ARCHDIOCESE of SANTA FE  
SAN JOSE PARISH NEW CHURCH & SITE IMPROVEMENTS  
2401 Broadway Blvd. SE  
Albuquerque, New Mexico

sheet title:

GRADING AND  
DRAINAGE PLAN -  
EAST

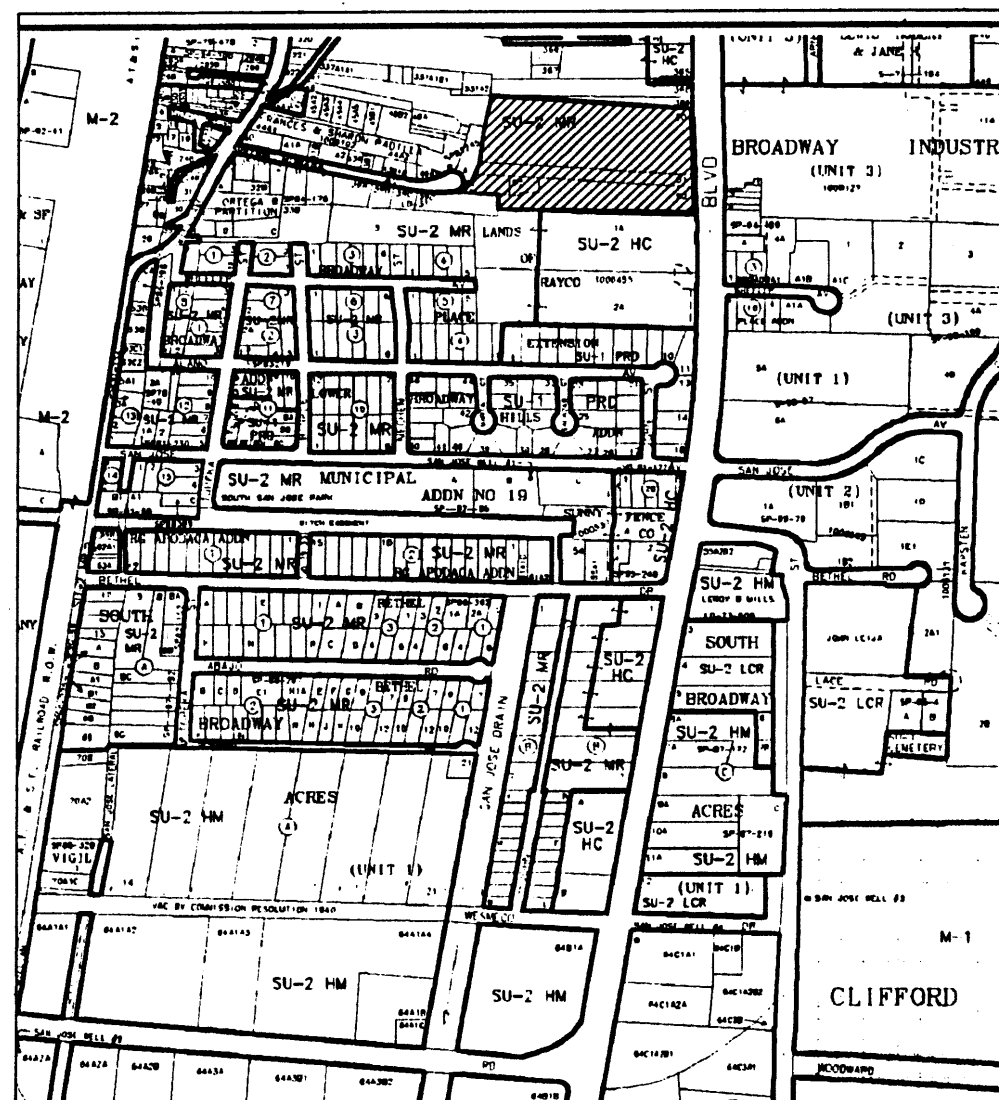
C1.1







## VICINITY MAP (M-14) NO SCALE



## SUBDIVISION DATA

1. DRB Proj. No.
2. Zone Atlas Index No. M-14
3. Current Zoning SU-2 MR
4. Gross acreage 6.8196 Ac.
5. Existing number of deeded parcels 3  
Replatted number of tracts 1

LOG NO. 2008030816

## NOTES

1. Bearings shown on this plat are New Mexico State Plane Grid, Central Zone, NAD 83. Bearings and distances in parenthesis are from existing adjoining recorded plat(s).
2. Perimeter distances are field measurements made on the ground.
3. Monuments recovered and accepted or reset are noted on inscribed plat.
4. No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat.
5. Existing 20' Public Storm Drainage easement granted to the City of Albuquerque by document recorded October 5, 2005 in Book A104, Page 7333 as document No. 2005147737.
6. A Forty foot (40') City of Albuquerque Underground Utility Easement traversing property from North to South recorded December 28, 1960; Book D576, page 249, Corrected and recorded April 8, 1961; Book D 589, page 191, records of Bernalillo County, New Mexico.
7. Public Sidewalk easement granted to the City of Albuquerque by this plat.

## PURPOSE OF PLAT

This plat has been prepared for the purpose of eliminating interior tract boundaries, creating one tract from three parcels, granting of easements and dedication of additional right of way.

FOR BERNALILLO COUNTY TREASURER'S OFFICE USE ONLY  
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON  
UPC# 101405531247721620, 101405530750021621

PROPERTY OWNER OF RECORD:  
ARCHDIOCESE OF SANTA FE

BERNALILLO COUNTY TREASURER'S OFFICE

*Stacy Miller* 3/19/08

DOC# 2008031920

03/20/2008 03:20 PM Page: 1 of 2  
PLAT R: \$12.00 B: 2008C P: 0054 M: Toulouse, Bernalillo County

COUNTY CLERK RECORDING LABEL HERE

## DESCRIPTION

A tract of land in Albuquerque, Bernalillo County, New Mexico, within Section 32, Township 10 North, Range 3 East, N.M.P.M., being and comprising Tracts 50, 51 and 52, as they appear on the Middle Rio Grande Conservancy District Property Map No. 44, said tract being more particularly described as follows:

BEGINNING at the Northeast corner of the herein described land, being a point on the Westerly right-of-way line of Broadway Boulevard, SE, from which point NMSHC Station "G-10" (x=1522561.449, y=1477731.980, New Mexico State Plane Grid Coordinates, Central Zone, NAD 83) bears N 25°22'47" E, a distance of 1071.23 feet and running from said beginning point thence, along the West line of Broadway Boulevard, S 01°11'12" E, a distance of 385.11 feet to the Southeast corner of the herein described land;  
thence, N 88°10'17" W, a distance of 715.08 feet;  
thence, N 02°25'21" E, a distance of 62.96 feet;  
thence, N 87°24'26" W, a distance of 109.96 feet;  
thence, N 84°17'51" W, a distance of 55.51 feet to the Southwest corner of the herein described land, said corner being a point on the South line of Romana Avenue, SE;  
thence, in a Northeasterly direction along a curve to the left following said street, having a radius of 34.61 feet, a central angle of 115°43'38", chord bearing N 37°50'20" E 58.61 feet, an arc length of 69.91 feet;  
thence, departing said street, S 82°46'39" E, a distance of 31.42 feet;  
thence, N 18°08'16" E, a distance of 75.61 feet;  
thence, N 06°22'16" E, a distance of 135.87 feet;  
thence, N 05°55'34" E, a distance of 61.61 feet to the Northwest corner of the herein described land;  
thence, S 88°21'31" E, a distance of 757.36 feet to the Northeast corner and the place of beginning, containing 6.8196 acres, more or less.

## FREE CONSENT

The platting of the property as described above, granting of all public and private easements and dedication of additional right of way to the City of Albuquerque in fee simple with warranty covenants is with the free consent and in accordance with the desires of the undersigned owner. Said owner warrants that it holds complete and indefeasible title in fee simple to the land subdivided.

*+ Michael J. Sheehan, Archbishop of Santa Fe* 3/4/08  
Most Rev. Michael J. Sheehan, Archbishop and President, Roman Catholic Church, Archdiocese of Santa Fe Date

## ACKNOWLEDGMENT

STATE OF NEW MEXICO )

COUNTY OF Bernalillo )

On this 4th day of March, 2008, the foregoing instrument was acknowledged before me by Most Rev. Michael J. Sheehan, Archbishop and President, Roman Catholic Church, Archdiocese of Santa Fe

My Commission expires

9/16/11

Notary Public

*John A. Hershman*

JOHN A. HERSHMAN  
NOTARY PUBLIC  
STATE OF NEW MEXICO

# PLAT OF TRACT A SOUTH SAN JOSE PARISH

A REPLAT OF TRACTS 50, 51 AND 52  
MIDDLE RIO GRANDE PROPERTY MAP NO. 44  
WITHIN SECTION 32, T.10N., R.3E., N.M.P.M.  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

FEBRUARY 2008

PROJECT NUMBER: 1007062

Application Number: 08-70127

City Approvals:

City, Surveyor

Traffic Engineering, Transportation Division

ABCWUA

Christina Sandoval  
Parks and Recreation Department

Bradley L. Bingham

AMAFCA

Bradley L. Bingham

City Engineer

DRB Chairperson, Planning Department

3-6-08

Date

3-19-08

Date

3-19-08

Date

3/19/08

Date

3/19/08

Date

3/19/08

Date

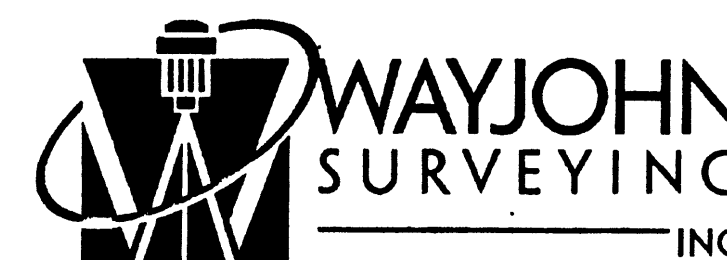
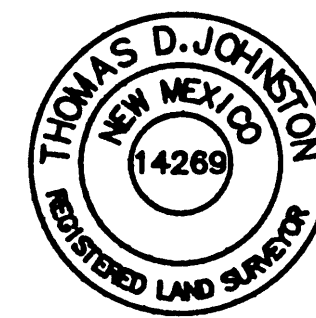
3/19/08

Date

## SURVEYOR'S CERTIFICATE

I, Thomas D. Johnston, licensed as a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that I am responsible for this plat, that it shows all easements of the recorded plat and made known to me by the title company, utility companies or by the owner of record, meets the minimum standards for monumentation and surveys of the Albuquerque Subdivision Ordinance, and meets the Minimum Standards for Land Surveys as adopted by the New Mexico State Board of Registration for Professional Engineers and Surveyors, effective May 1, 2007 and is true and correct to the best of my knowledge and belief.

Thomas D. Johnston, N.M.P.S. No. 14269

2-28-08  
Date

330 LOUISIANA BLVD., N.E.  
ALBUQUERQUE, N.M. 87108  
PHONE: (505) 255-2052 FAX: (505) 255-2887

INDEXING INFORMATION FOR COUNTY  
OWNER: ARCHDIOCESE OF SANTA FE  
LOCATION: SEC. 32  
T.10 N., R.3 E., N.M.P.M.

DRAWN: E W K  
CHECKED: T D J  
DRAWING NO.  
SP10208.DWG

14 JAN 2008

FILE NO.  
SP-1-02-2008

RECEIVED

APR 03 2008

HYDROLOGY



DOC# 2008031920

03/20/2008 03:20 PM Page: 2 of 2  
PLAT R: \$12.00 B: 2008C P: 0064 N. Toulouse, Bernalillo County

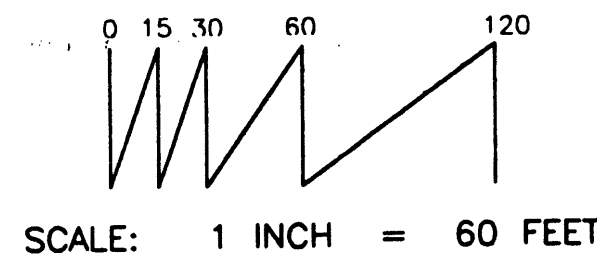
COUNTY CLERK RECORDING LABEL HERE

# PLAT OF TRACT A SOUTH SAN JOSE PARISH

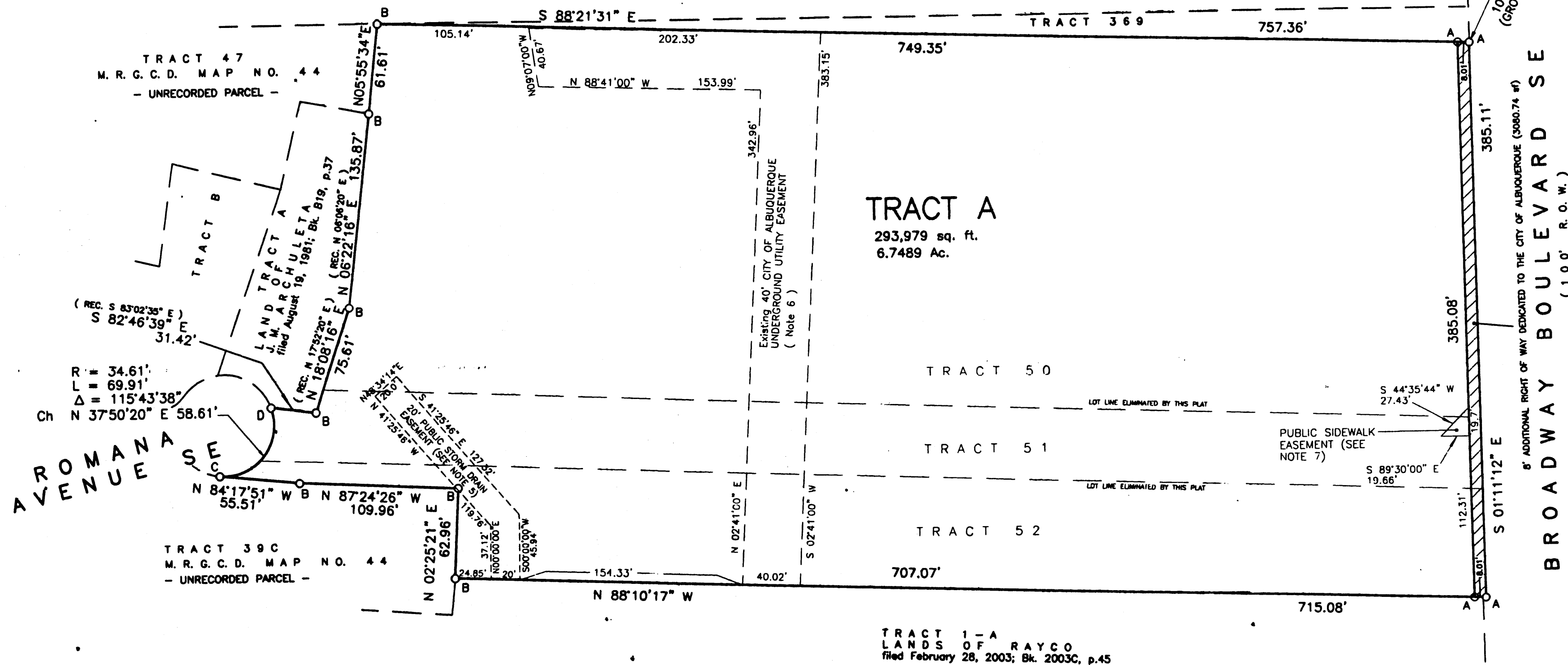
A REPLAT OF TRACTS 50, 51 AND 52  
MIDDLE RIO GRANDE PROPERTY MAP NO. 44  
WITHIN SECTION 32, T.10N., R.3E., N.M.P.M.  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

TRACT 368  
M. R. G. C. D. MAP NO. 41

FEBRUARY 2008

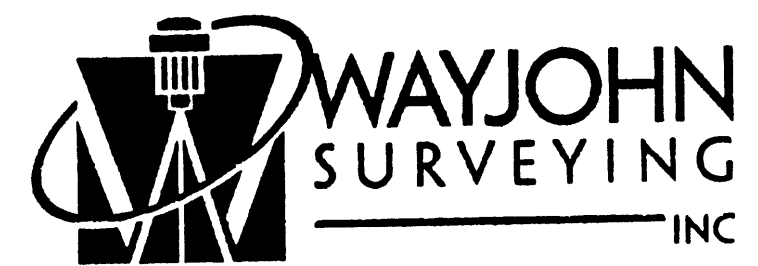


NMSHC STA "G-10"  
X = 1522561.449  
Y = 1477731.980  
Δ = -0°13'34.47"  
G-G .999681561  
NEW MEXICO STATE PLANE  
COORDINATES  
CENTRAL ZONE NAD 83  
ELEV. 4980.822 (NAVD. 1988)



## MONUMENT LEGEND:

- A Set 1/2" Rebar, cap "WAYJOHN PS 14269"
- B Attached tag "WAYJOHN PS 14269" to chain link fence post
- C Found chiseled mark on concrete
- D Found nail, no I.D.



330 LOUISIANA BLVD., N.E.  
ALBUQUERQUE, N.M. 87108  
PHONE: (505) 255-2052 FAX: (505) 255-2887

INDEXING INFORMATION FOR COUNTY  
OWNER: ARCHDIOCESE OF SANTA FE  
LOCATION: SEC. 32  
T.10 N., R.3 E., N.M.P.M.

DRAWN: E W K	SCALE: 1" = 60'	FILE NO. SP-1-02-2008
CHECKED: T D J		
DRAWING NO. SP10208.DWG	14 JAN 2008	SHEET 2 OF 2