

Vicinity Map Zone Atlas M-14-Z n.t.s.

Easement Notes

- 1 IMPROVEMENT & PUBLIC UTILITY EASEMENT TO THE CITY OF ALBUQUERQUE (4/8/49, BK 104, PG 49)

Exceptions 11-15

11. RESERVATIONS, EXCEPTIONS AND PROVISIONS CONTAINED IN THE PATENT FROM THE UNITED STATES OF AMERICA, AND IN THE ACTS AUTHORIZING THE ISSUANCE THEREOF, RECORDED: BOOK 45, PAGE 436, OF OFFICIAL RECORDS. AFFECTS SUBJECT PROPERTY—NOT SURVEY RELATED
12. EASEMENTS, COVENANTS AND OTHER MATTERS SHOWN ON THE RECORDED MAP OF SAID SUBDIVISION, REFERENCE IS MADE TO SAID MAP FOR FULL PARTICULARS.
13. EASEMENT DATED MARCH 19, 1949 BY AND BETWEEN SCHWARTZMAN PACKING COMPANY AND THE CITY OF ALBUQUERQUE FILED APRIL 8, 1949, IN BOOK 104, PAGE 49, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
14. GRANT OF RIGHT OF WAY EASEMENT FOR WOODWARD ROAD AND ACCESS, DATED SEPTEMBER 18, 1966, BY AND BETWEEN SCHWARTZMAN PACKING COMPANY AND THE CITY OF ALBUQUERQUE, FILED IN BOOK MISC. 66, PAGE 246, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
15. RESERVATIONS AS CONTAINED IN INSTRUMENTS FILED IN BOOKS D 247—A, PAGE 435; BOOK D 274—A, PAGE 509; BOOK D 247—A, PAGE 513; BOOK D247—A, PAGE 518; BOOK D 257—A, PAGE 607; BOOK D 257—A, PAGE 66; BOOK D 262—A, PAGE 902 AND IN BOOK A—70, PAGE 4148, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. NOT SURVEY RELATED
16. SUBSURFACE CONDITIONS AS EVIDENCED BY INSTRUMENTS FILED IN BOOK 94—19, PAGE 5679; BOOK 94—21, PAGE 490; BOOK 94—26, PAGE 9639 AND IN BOOK 8921, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. NOT SURVEY RELATED
17. EXTRACTION/INJECTION WELL BEING ONE—HUNDRED FEET (100') IN DIAMETER CIRCLE AROUND CENTER OF WELL, AS EVIDENCED BY PLAT OF EASEMENTS SURVEY, FILED MAY 2, 1997, IN BOOK 97—S, PAGE 57, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.

Owner's Affidavit

THE PURPOSE OF THIS SURVEY IS TO DEFINE THE REAL PROPERTY SHOWN HEREON. THIS PLAT IS A SURVEY OF AN ENTIRE TRACT OF LANDS AS IT PREVIOUSLY EXISTED AND THEREFORE IS NOT A LAND DIVISION, A SUBDIVISION, A CREATION OF A NEW LOT, OR A RECOMBINATION OF MORE THAN ONE TRACT.

Angel H. Vanden
Officer of Corporation/Schwartzman Inc., A New Mexico Corporation

8/7/07
Date

DOC# 2008018156

02/19/2008 10:10 AM Page: 1 of 2
SRVY R.\$12.00 B: 2008S P: 0016 M Toulouse, Bernalillo County

Indexing Information

Section 32, Township 10 North, Range 3 East
Subdivision: Schwartzman Industrial Park
Owner: Schwartzman Inc., a New Mexico Corp.

Notes

1. FIELD SURVEY PERFORMED IN JULY 2007.
2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
3. THE BASIS OF BEARINGS REFERENCES THE PLAT OF RECORD.
4. THIS SURVEY SHOWS ALL EASEMENTS THAT AFFECT THE SUBJECT PROPERTY AS LISTED IN THE EXCEPTIONS OF THE TITLE COMMITMENT.
5. A GATE SHOWN HEREON SUGGEST THAT THE ADJOINER MAY BE CROSSING THE SUBJECT PROPERTY TO ACCESS THE ADJOINER.

Legal

A CERTAIN TRACT OF LAND COMPRISED OF TRACT N THE COMPILED PLAT OF SCHWARTZMAN PACKING COMPANY IS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 17, 1961 BOOK D—2, PAGE 133 AND ALSO BEING KNOWN AND PLATTED AS TRACT 20, SCHWARTZMAN INDUSTRIAL PARK (NOT FILED) BY JERYL HART JR, LS 7474, DATED JUNE 1985 AND BEING DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT, MARKED BY A BATHEY MARKER WITH CAP "LS 14271" BEING A POINT ON THE EASTERLY RIGHT-OF-WAY OF BROADWAY BOULEVARD S.E., WHENCE A TIE TO ACS MONUMENT "5-M14" BEARS N 71°40'19" W, A DISTANCE OF 8.37;

THENCE, FROM THE SOUTHWEST CORNER, COINCIDING SAID EASTERLY RIGHT OF WAY, N10°08'16" E, A DISTANCE OF 164.95 FEET TO THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, LEAVING SAID RIGHT-OF-WAY, S 88°11'00" E, A DISTANCE OF 567.98 FEET TO AN ANGLE POINT MARKED BY A REBAR WITH TAG;

THENCE, S 87°14'50" E, A DISTANCE OF 25.00 FEET TO THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT MARKED BY A BATHEY MARKER WITH CAP "LS 14271";

THENCE S 2°47'37" W, A DISTANCE OF 108.16 FEET TO THE SOUTHEAST CORNER OF THE NORTHERLY RIGHT-OF-WAY OF WOODWARD ROAD S.E. MARKED BY A BATHEY MARKER WITH CAP "LS 14271";

THENCE, COINCIDING SAID NORTHERLY RIGHT-OF-WAY THE FOLLOWING 3 COURSES:

107.25 FEET ALONG A CURVE TO THE LEFT, NOT TANGENT TO THE PREVIOUS COURSE, HAVING A RADIUS OF 2,897.79 FEET, A DELTA OF 2°07'14", A CHORD BEARING S 86°28'27" W, A DISTANCE OF 107.25 FEET TO A POINT OF TANGENCY MARKED BY A BATHEY MARKED WITH CAP "LS 14271";

S 85°24'50" W, A DISTANCE OF 246.55 FEET TO A POINT OF CURVATURE, MARKED BY A BATHEY MARKER WITH CAP "LS 14271";

263.87 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 2,831.79 FEET, A DELTA OF 5°20'20", AND A CHORD BEARING S 88°05'00" W, A DISTANCE OF 263.77 FEET TO THE POINT OF BEGINNING, CONTAINING 1.9232 ACRES (83,773 SQ. FT.) MORE OR LESS.

Encroachment Notes

- A BUILDING IS INTO SUBJECT PROPERTY BY AS MUCH AS 1.6 FEET.
CHAINLINK FENCE IS INTO SUBJECT PROPERTY BY AS MUCH AS 11.4 FEET.
- B CHAINLINK FENCE IS OUTSIDE OF SUBJECT PROPERTY BY AS MUCH AS 7.7 FEET.
- C OVERHEAD UTILITY ANCHOR IS OUTSIDE OF EASEMENT BY AS MUCH AS 13.2 FEET.

Flood Notes

BASED UPON SCALING, THIS SUBJECT PROPERTY APPEARS TO BE IN ZONE(S) "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 35001C0342E, WHICH BEARS AN EFFECTIVE DATE OF BEING DEFINED AS AN AREA IN/OUT OF THE 500 YEAR FLOODPLAIN.

Boundary Survey for Schwartzman Inc., A New Mexico Corp. and ALTA/ACSM Land Title Survey for Tract N Schwartzman Industrial Park City of Albuquerque Bernalillo County, New Mexico July 2007

Legend

N 90°00'00" E	MEASURED BEARING AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES PER PLAT OF RECORD
●	FOUND AS INDICATED
○	SET BATHEY MARKER "LS 14271"
■	CONCRETE
●	UTILITY POLE
—OHU—	OVERHEAD UTILITY LINES
—	ANCHOR
■	BOLLARD
■	SIGNAL BOX
●	TRAFFIC MAST
■	MAILBOX
—○—	CHAIN LINK FENCE
—	BLOCK WALL
■	STORM DRAIN INLET
■	WATER VALVE
○	SANITARY SEWER MANHOLE

ALTA Certificate

To: Fidelity National Title Insurance Company, Fidelity National Title, Victor M. Larranga and Dean M. Larranga, and Schwartzman Inc., A New Mexico Corporation:

This is to certify that this map or plat and the survey on which it is based were made (i) in accordance with the "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys", jointly established and adopted by ALTA and ACSM in 1999, and survey measurements were made in accordance with the "Minimum Angle, Distance and Closure Requirements for Survey Measurements Which Control Land Boundaries for ALTA/ACSM Land Title Surveys". This plat does not meet New Mexico subdivision ordinance, and is not intended to subdivide an existing parcel. This is a boundary survey plat of an existing tract and is not a land division or subdivision as defined in the New Mexico subdivision act.

Will Plotner Jr. 7/25/07
Will Plotner Jr. Date

Surveyor's Certificate

I, Will Plotner Jr., a new mexico registered professional land surveyor do hereby certify that a boundary survey of the real property shown hereon has been surveyed, monumented and platted in accordance with the standards for land surveys in the state of new mexico, and is true and correct to the best of my knowledge and belief. I further certify that this survey and plat do not meet new mexico subdivision ordinance, and is not intended to subdivide an existing parcel. This is a boundary survey plat of an existing tract and is not a land division or subdivision as defined in the new mexico subdivision act. no encroachments exist except as noted and all improvements are shown in their correct location relative to record boundaries as located by this survey.

Will Plotner Jr. 7/25/07
Will Plotner Jr. Date

CARTESIAN SURVEYS INC.

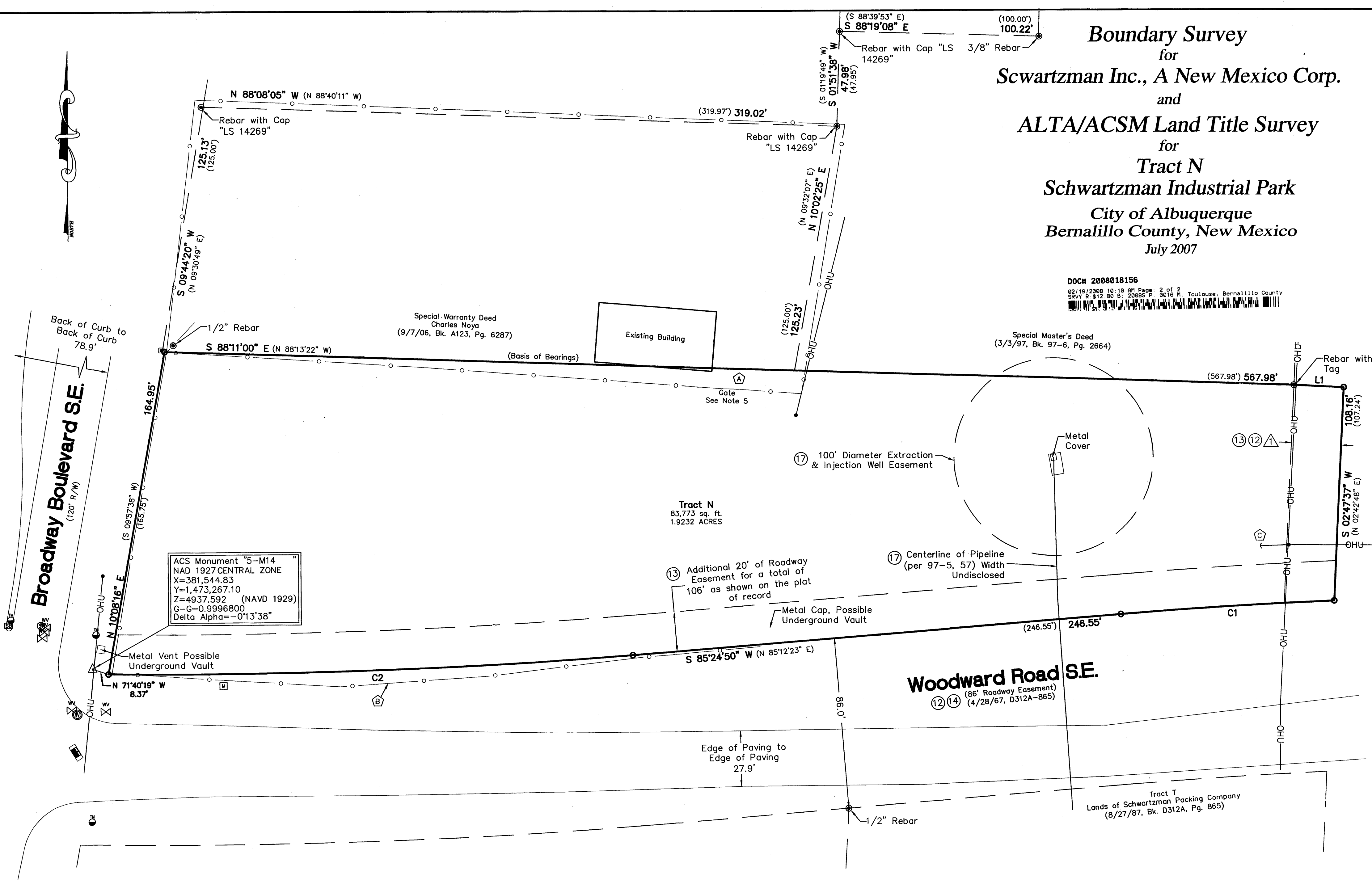
P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244



Boundary Survey
for
Swartzman Inc., A New Mexico Corp.
and
ALTA/ACSM Land Title Survey
for
Tract N
Schwartzman Industrial Park
City of Albuquerque
Bernalillo County, New Mexico
July 2007

DOCH 2008018156

02/19/2008 10:10 AM Page: 2 of 2
SERV R: \$12.00 B: 20085 P: 0016 M. Toulouse, Bernalillo County



ACS Monument "5-M14"
NAD 1927 CENTRAL ZONE
X=381,544.83
Y=1,473,267.10
Z=4937.592 (NAVD 1929)
G=0.9996800
Delta Alpha=-0°13'38"

Metal Vent Possible
Underground Vault

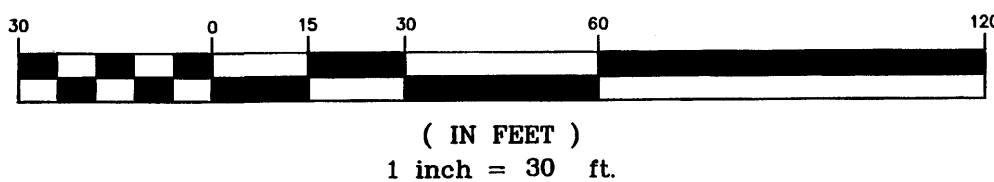
Additional 20' of Roadway
Easement for a total of
106' as shown on the plat
of record

Metal Cap, Possible
Underground Vault

Woodward Road S.E.
(86' Roadway Easement)
(4/28/67, D312A-865)

Tract T
Lands of Schwartzman Packing Company
(8/27/87, Bk. D312A, Pg. 865)

GRAPHIC SCALE

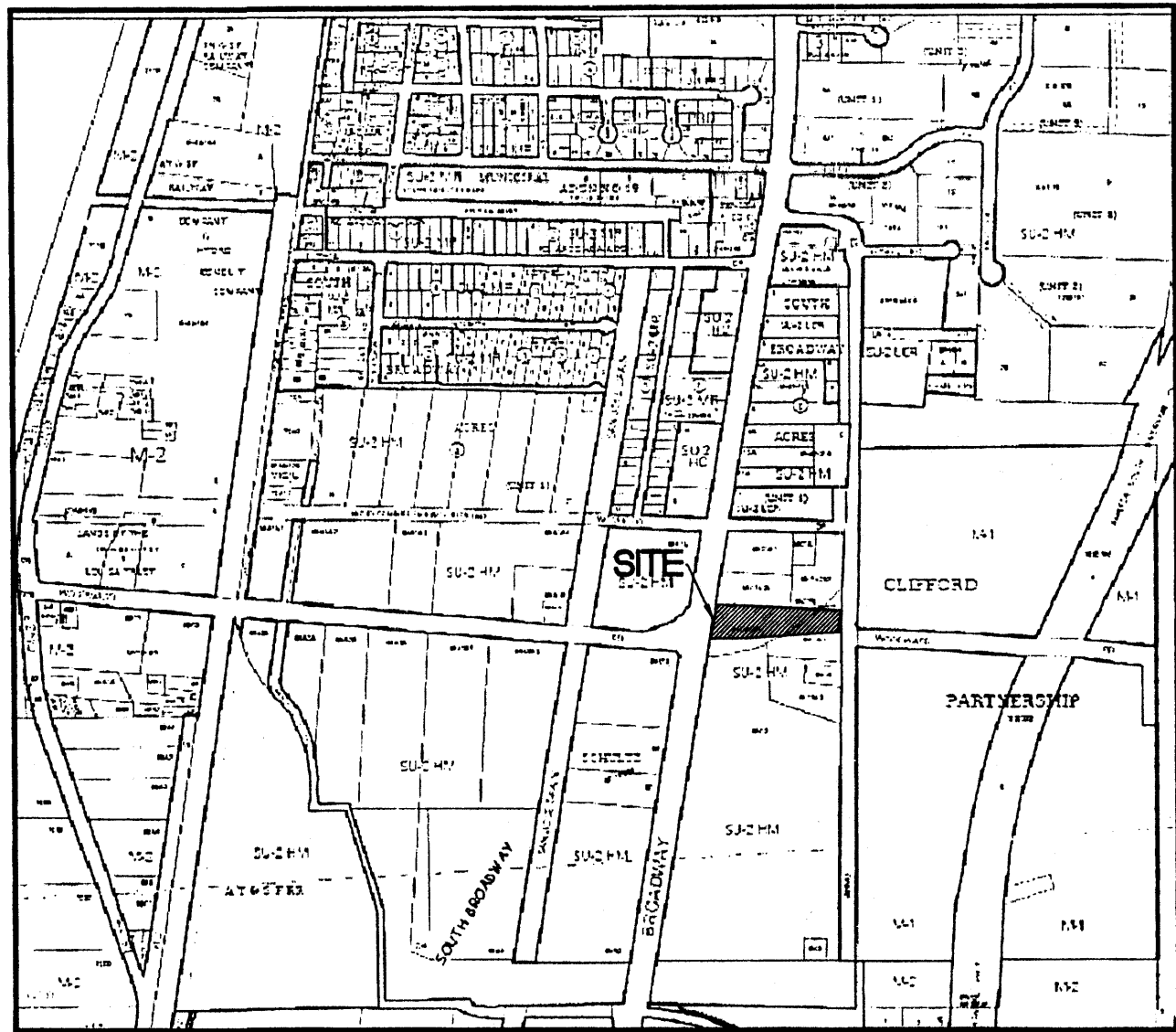


CURVE TABLE				
CURVE	RADIUS	LENGTH	DELTA	CHORD DIR.
C1	2897.79' (2897.79')	107.25' (107.14')	2°07'14"	S 86°28'27" W
C2	2831.79' (2831.79')	263.87' (263.97')	5°20'20"	S 88°05'00" W

LINE TABLE		
LINE	LENGTH	BEARING
L1	25.00' (25.00')	S 87°14'50" E (S 87°17'12" E)

CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244



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August H. Vanden

8/7/07

Officer of Corporation/Schwartzman Inc., A New Mexico Corporation

Date

DOCM 2008018158

02/19/2008 10:10 AM Page 1 of 2
SRVY P 512 00 B 2006SP 0016 M Toulouse, Bernalillo County

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Boundary Survey for Schwartzman Inc., A New Mexico Corp. and ALTA/ACSM Land Title Survey for Tract N Schwartzman Industrial Park City of Albuquerque Bernalillo County, New Mexico July 2007

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(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES PER PLAT OF RECORD
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○	SET BATHEY MARKER "LS 14271"
□	CONCRETE
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—	BLOCK WALL
—	STORM DRAIN INLET
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⊙	SANITARY SEWER MANHOLE

ALTA Certificate

To: Fidelity National Title Insurance Company, Fidelity National Title, Victor M. Larranga and Dean M. Larranga, and Schwartzman Inc., A New Mexico Corporation:

This is to certify that this map or plat and the survey on which it is based were made (i) in accordance with the "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys", jointly established and adopted by ALTA and ACSM in 1999, and survey measurements were made in accordance with the "Minimum Angle, Distance and Closure Requirements for Survey Measurements Which Control Land Boundaries for ALTA/ACSM Land Title Surveys". This plat does not meet New Mexico subdivision ordinance, and is not intended to subdivide an existing parcel. This is a boundary survey plat of an existing tract and is not a land division or subdivision as defined in the New Mexico subdivision act.

Will Plotner Jr. 7/25/07
Will Plotner Jr. Date

Surveyor's Certificate

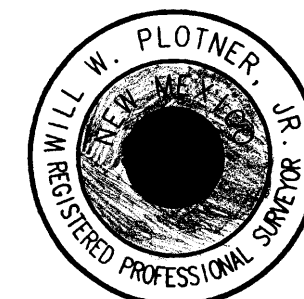
I, Will Plotner Jr., a new Mexico registered professional land surveyor do hereby certify that a boundary survey of the real property shown hereon has been surveyed, monumented and platted in accordance with the standards for land surveys in the state of new Mexico, and is true and correct to the best of my knowledge and belief. I further certify that this survey and plat do not meet new Mexico subdivision ordinance, and is not intended to subdivide an existing parcel. This is a boundary survey plat of an existing tract and is not a land division or subdivision as defined in the new Mexico subdivision act. no encroachments exist except as noted and all improvements are shown in their correct location relative to record boundaries as located by this survey.

Will Plotner Jr. 7/25/07
Will Plotner Jr. Date

CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244

PREPARED BY: *Will Plotner Jr.* 8/7/07
450 5800 265-9612



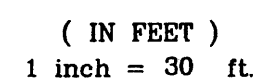
Sheet 1 of 2
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DOC# 2008018156

02/19/2008 10:10 AM Page: 2 of 2
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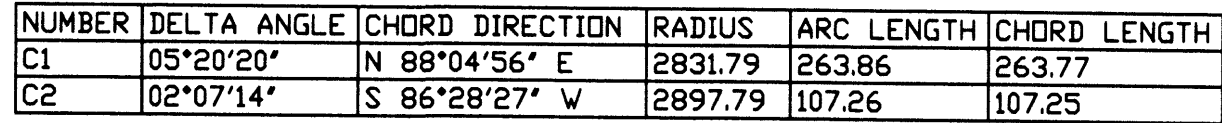
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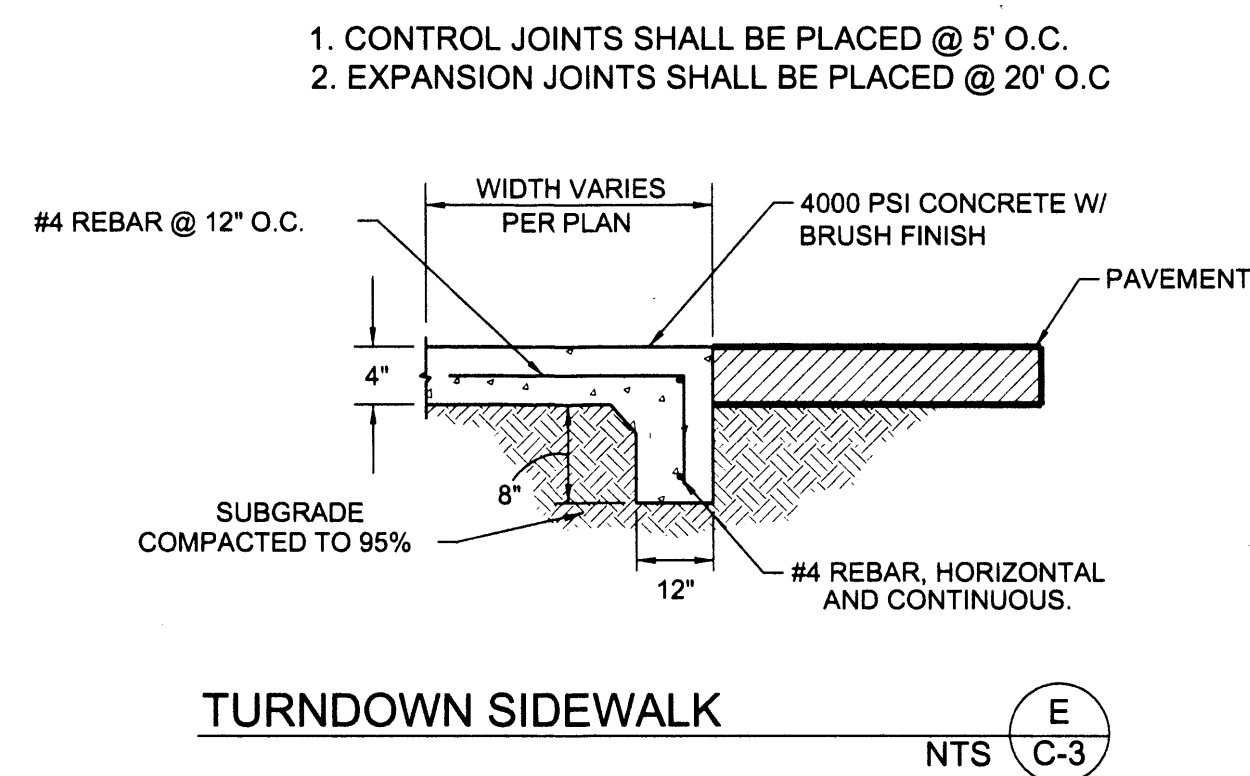
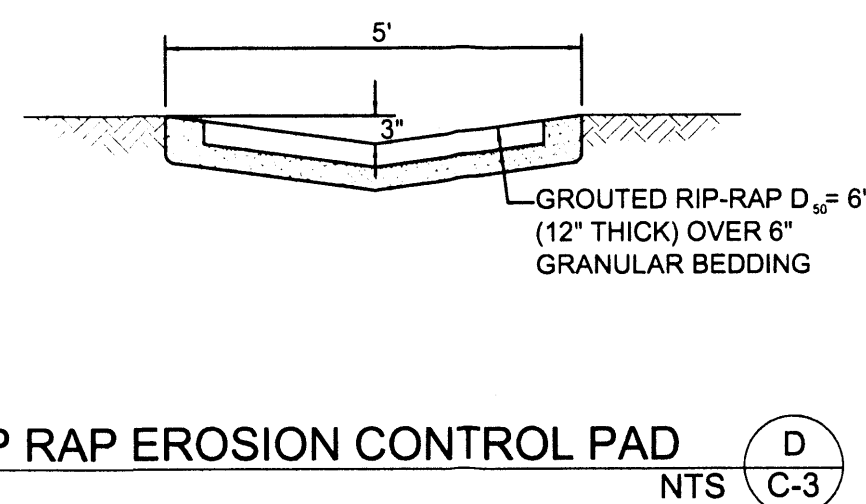
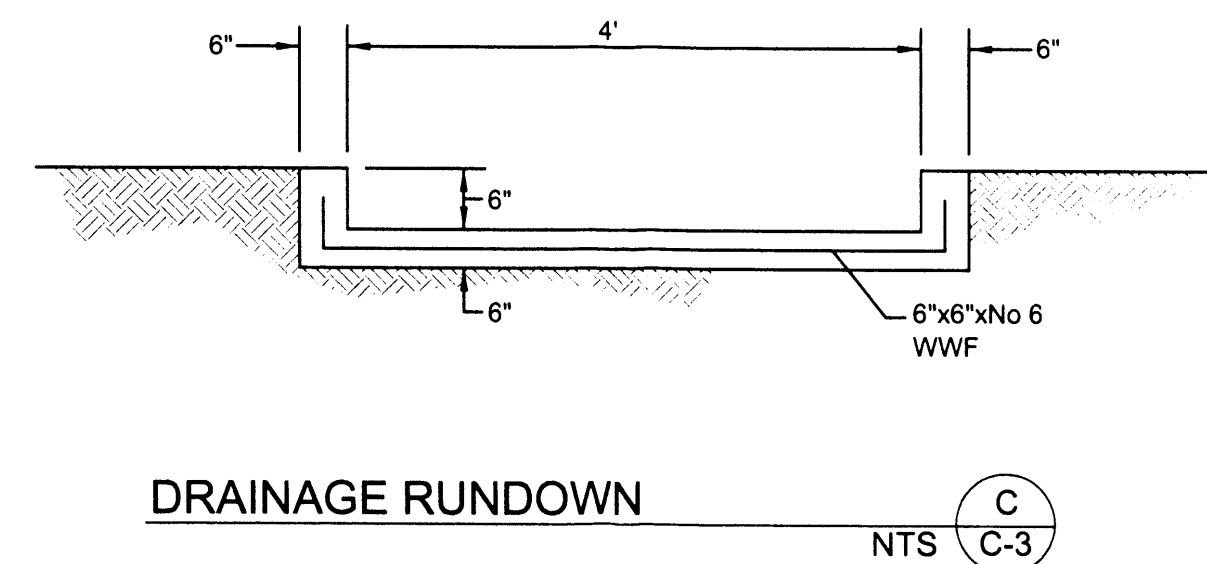
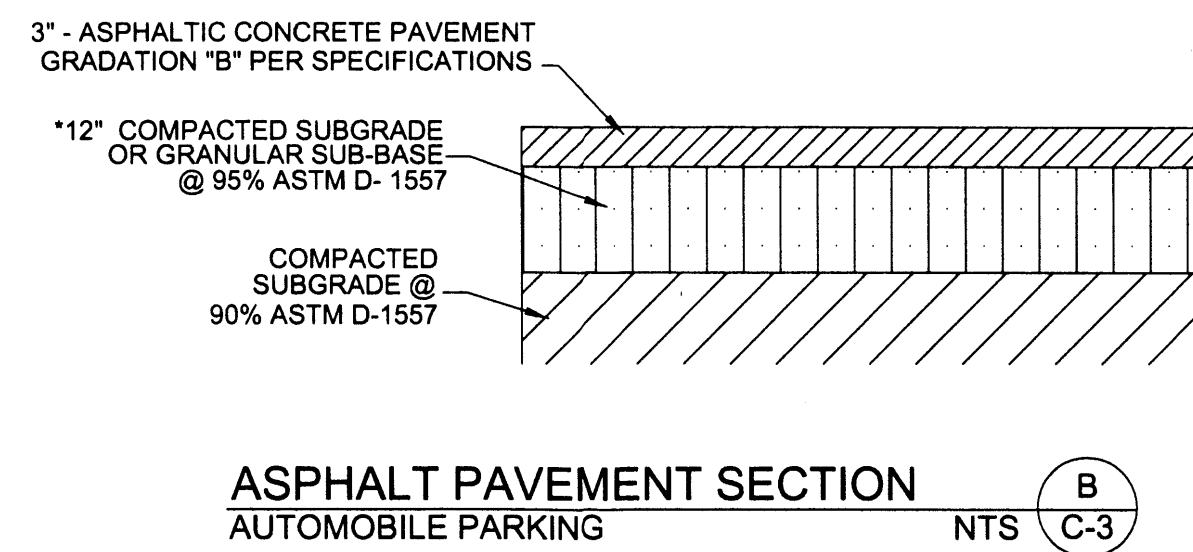
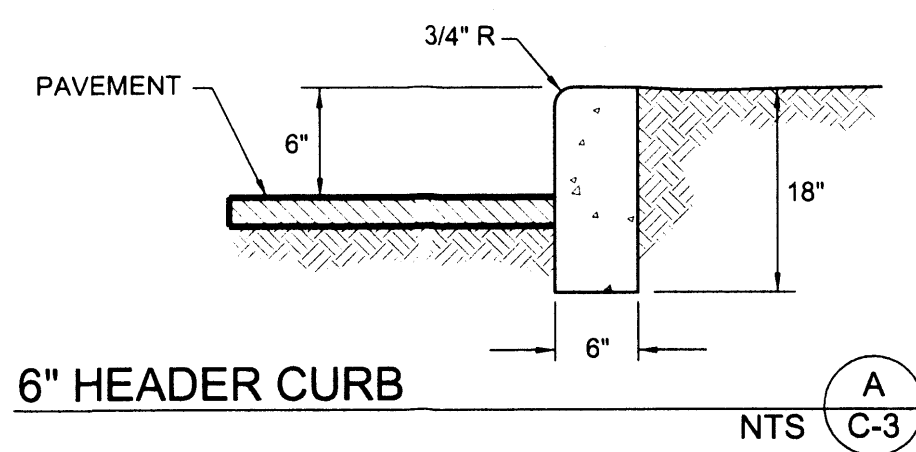
02/19/2008 10:10 AM Page: 2 of 2
SRVY R: \$12.00 B: 2008S P: 0016 M. Toulouse, Bernalillo County



LINE TABLE		
LINE	LENGTH	BEARING
11	25.00' (25.00')	S 87°14'50" E (S 87°17'12" E)

P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244



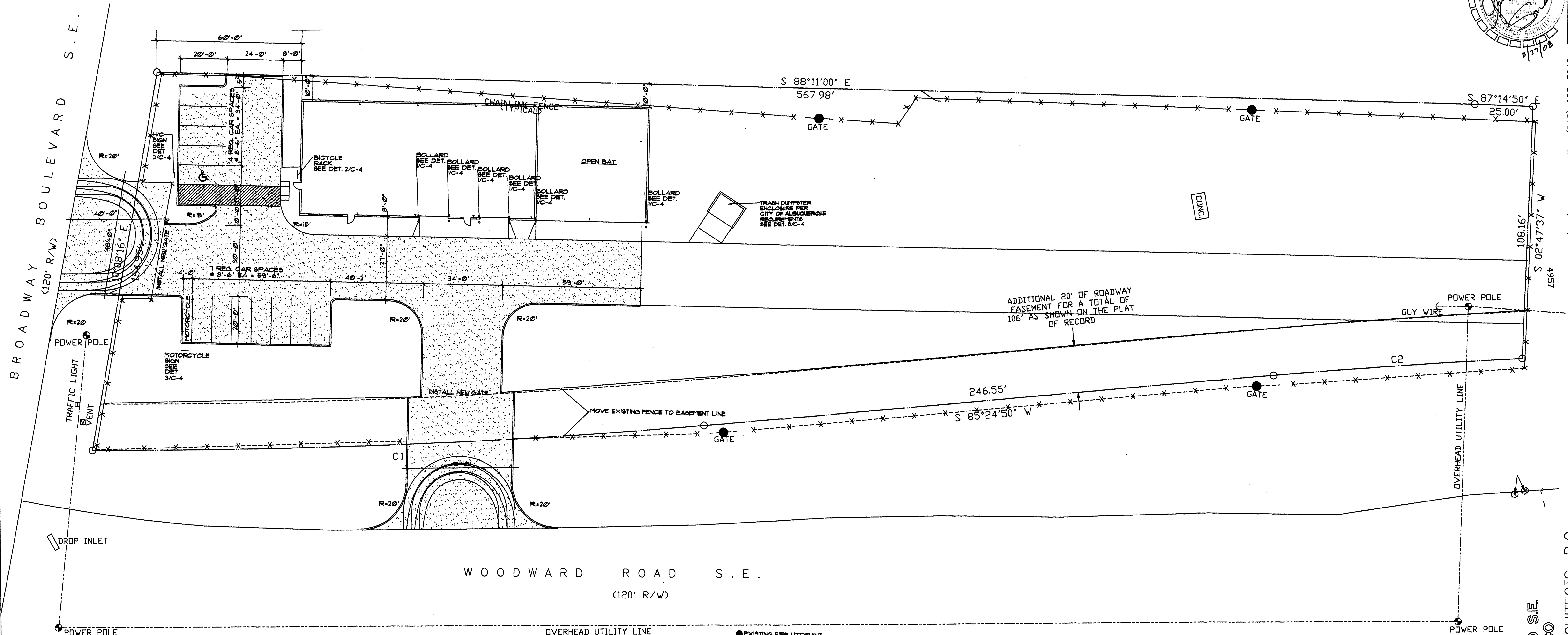
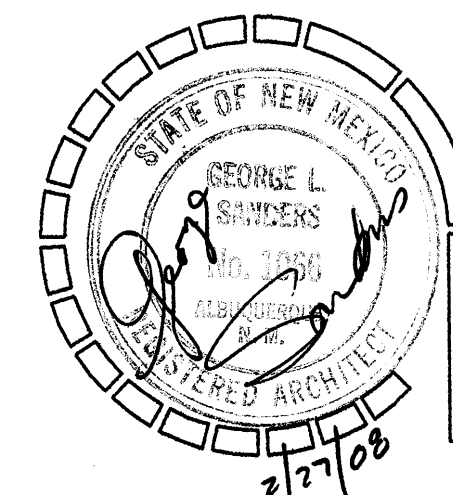


DRAINAGE FACILITIES WITHIN CITY RIGHT-OF WAY
NOTICE TO CONTRACTOR

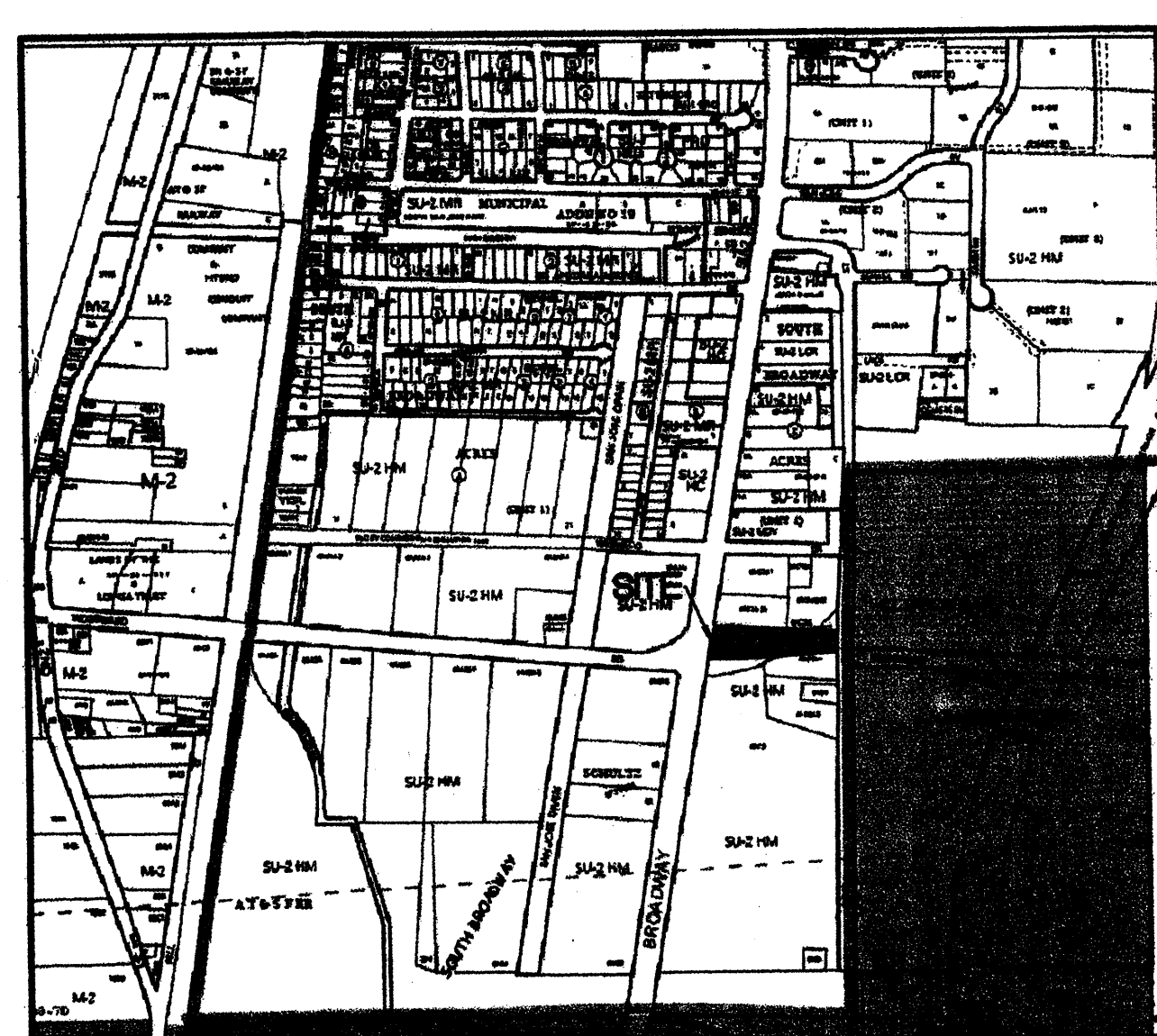
1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION", 1986 EDITION, AS AMENDED THROUGH UPDATE NO. 7.
3. THREE WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234 FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVALS
INSPECTOR _____ DATE _____

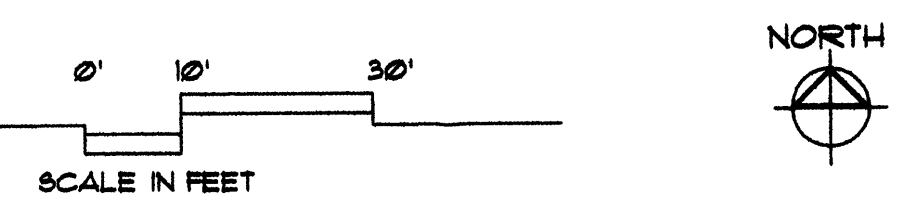
GRADING AND DRAINAGE DETAILS



SITE PLAN
SCALE: 1" = 20'-0"



Vicinity Map Zone Atlas M-14-Z n.t.s.



LEGAL DESCRIPTION:

TRACT N, SCHWARTZMAN INDUSTRIAL PARK
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM

PROPERTY ZONING:

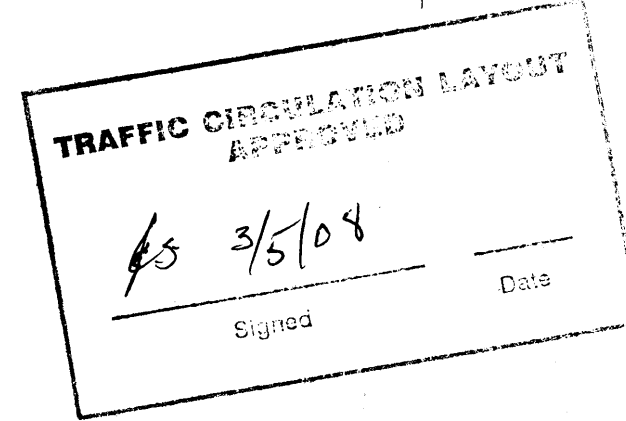
SU-2 HM

PROPERTY ADDRESS:

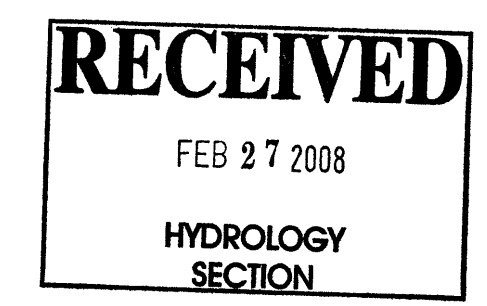
3024 BROADWAY BLVD. S.E.

PARKING REQUIREMENTS:

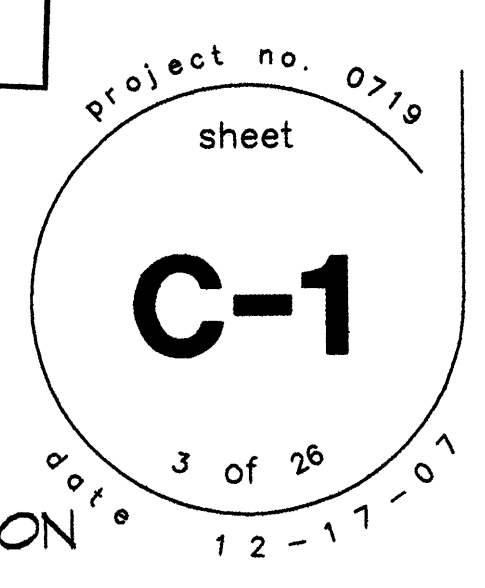
OFFICE - 2,000 SF. 1 PARKING SPACE PER 200 SF.
WAREHOUSE - 3,000 SF. 1 PARKING SPACE PER 200 SF.
TOTAL REQUIRED 15 SPACES
TOTAL PROVIDED 15 SPACES
BICYCLE: 1 SPACE PER 20 CARS TOTAL: 1 REQ. 1 PROVIDED
MOTORCYCLE: 1 SPACE PER 25 CARS TOTAL: 1 REQ. 1 PROVIDED



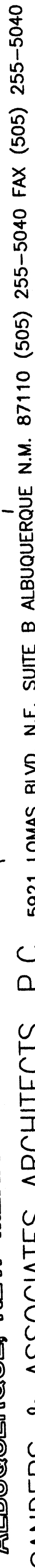
Public Infrastructure shown
on these plans for information
only and not part of approval.
Separate Order/Permit approval
and work Order required.



AGUAMATIC LANDSCAPING
OFFICE WAREHOUSE
BROADWAY & WOODWARD S.E.
ALBUQUERQUE, NEW MEXICO



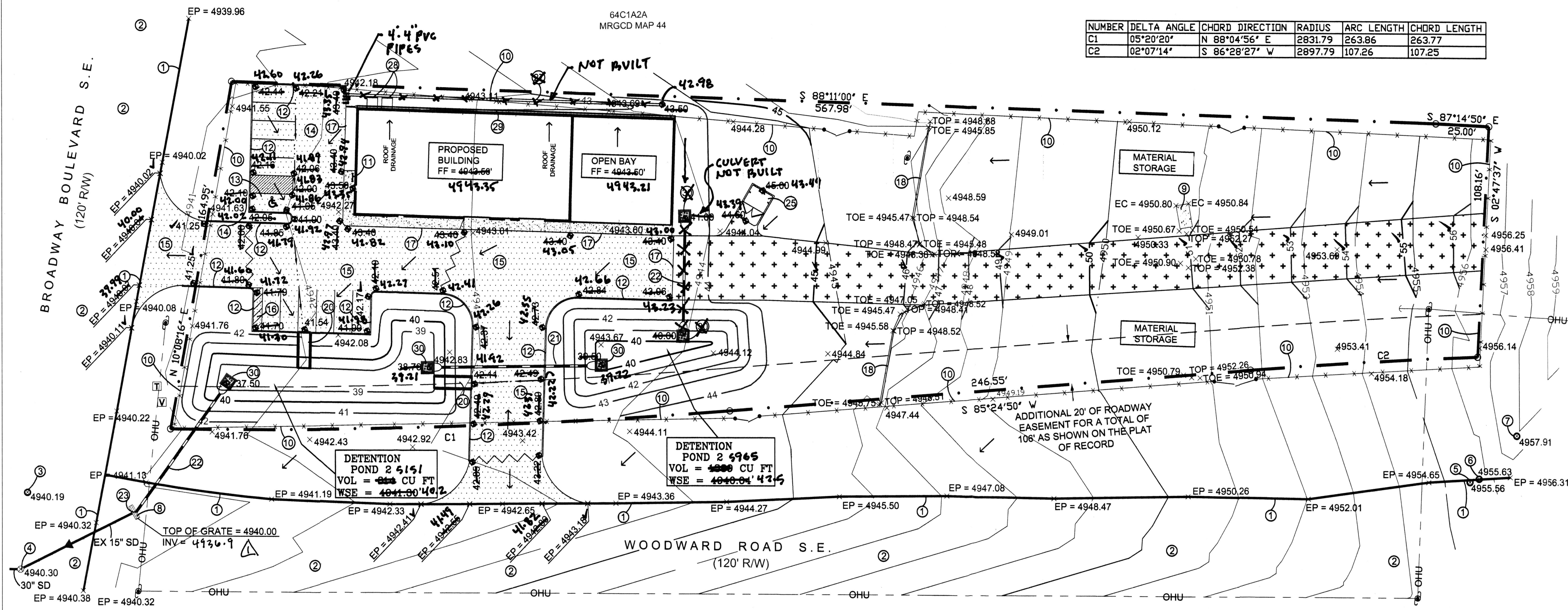
TRAFFIC CIRCULATION





 Dennis A. Lorenz, ME# 8647
 Date _____

TRAFFIC CIRCULATION



NUMBER	DELTA	ANGLE	CHORD	DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	05°20'20"	N 88°04'56" E	2831.79	263.86	263.77		
C2	02°07'14"	S 86°28'27" W	2897.79	107.26	107.25		

GRADING & DRAINAGE PLAN

PURPOSE AND SCOPE

PURSUANT TO THE ESTABLISHED DRAINAGE ORDINANCE OF THE CITY OF ALBUQUERQUE AND THE DEVELOPMENT PROCESS MANUAL, THIS GRADING AND DRAINAGE PLAN OUTLINES THE DRAINAGE MANAGEMENT CRITERIA FOR CONTROLLING DEVELOPED RUNOFF FROM THE PROJECT SITE. THE PROJECT CONSISTS OF THE DEVELOPMENT OF THE EXISTING PROPERTY BY CONSTRUCTING A NEW COMMERCIAL BUILDING WITH RELATED SITE IMPROVEMENTS. PROPOSED SITE IMPROVEMENTS INCLUDE PAVING, UTILITY, LANDSCAPING, AND GRADING AND DRAINAGE IMPROVEMENTS. THIS GRADING PLAN AND DRAINAGE IS PREPARED TO SUPPORT A BUILDING PERMIT APPLICATION.

EXISTING CONDITIONS

THE PROJECT SITE CONTAINS APPROXIMATELY 1.92 ACRES AND IS LOCATED AT 3024 BROADWAY BOULEVARD SE. THE SITE IS PRESENTLY UNDEVELOPED. IT IS BOUNDED TO THE NORTH BY LOT 64C1A2A, MRGCD MAP 44, TO THE SOUTH BY WOODWARD ROAD SE, TO THE WEST BY BROADWAY BOULEVARD SE, AND TO THE EAST BY A DEVELOPING LOT. CURRENTLY, ON-SITE RUNOFF DRAINS ONTO BROADWAY AND WOODWARD. OFFSITE, BASIN OS-1, FLOW IMPACTS THE SITE.

AS SHOWN BY THE FIRM PANEL FOR THIS AREA, THIS PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE.

PROPOSED CONDITIONS

AS SHOWN BY THE PLAN, THE PROPERTY IS TO BE DEVELOPED BY CONSTRUCTING A COMMERCIAL BUILDING AND ASSOCIATED SITE IMPROVEMENTS.

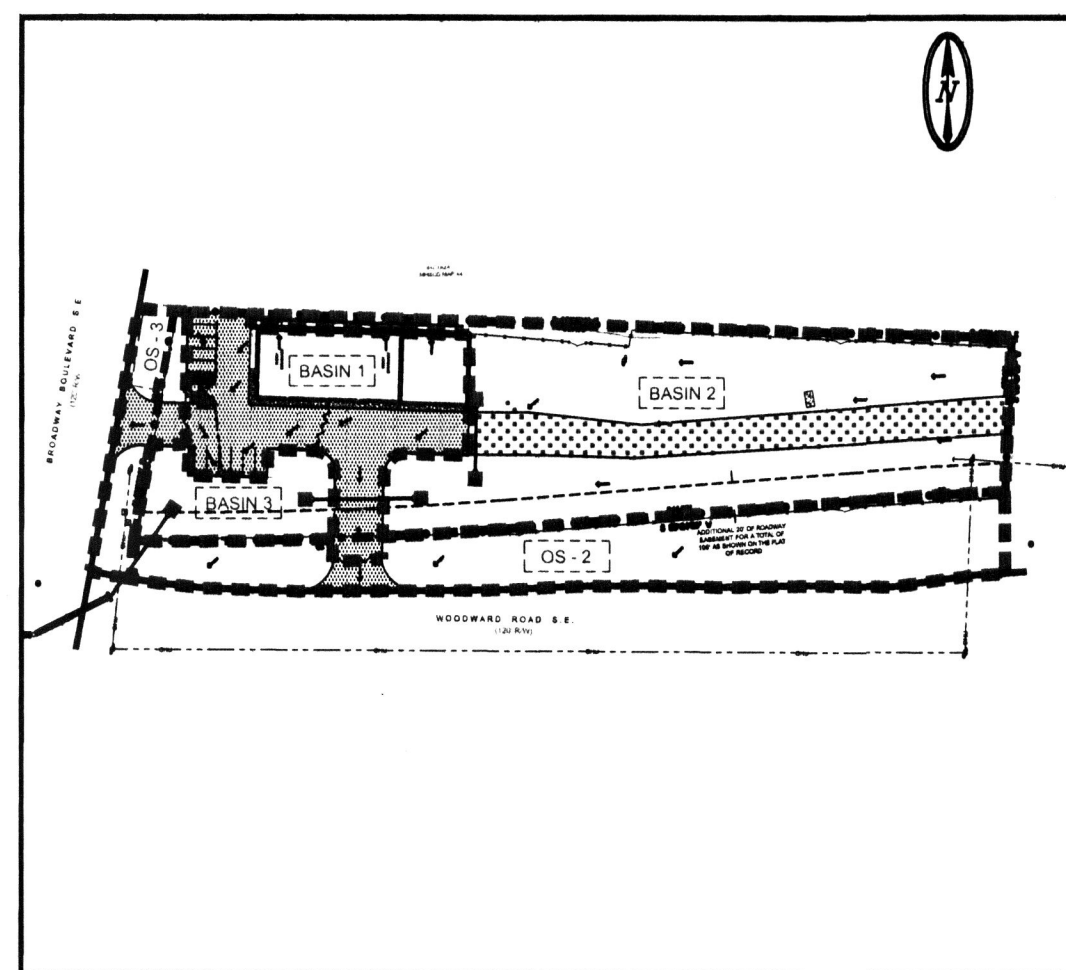
ALL DRAINAGE FLOWS WILL BE MANAGED BY ON-SITE SWALES, CONVEYING RUNOFF TO TWO DETENTION PONDS. THE PLAN SHOWS THE ELEVATIONS REQUIRED TO PROPERLY PAVE AND CONSTRUCT THE RECOMMENDED IMPROVEMENTS. FLOW ARROWS ARE GIVEN TO DEMONSTRATE THE DIRECTION OF DRAINAGE FLOWS, AND PROJECT HYDROLOGY IS GIVEN FOR BOTH EXISTING AND DEVELOPED CONDITIONS. ON-SITE PONDING IS REQUIRED.

TEMPORARY EROSION CONTROL

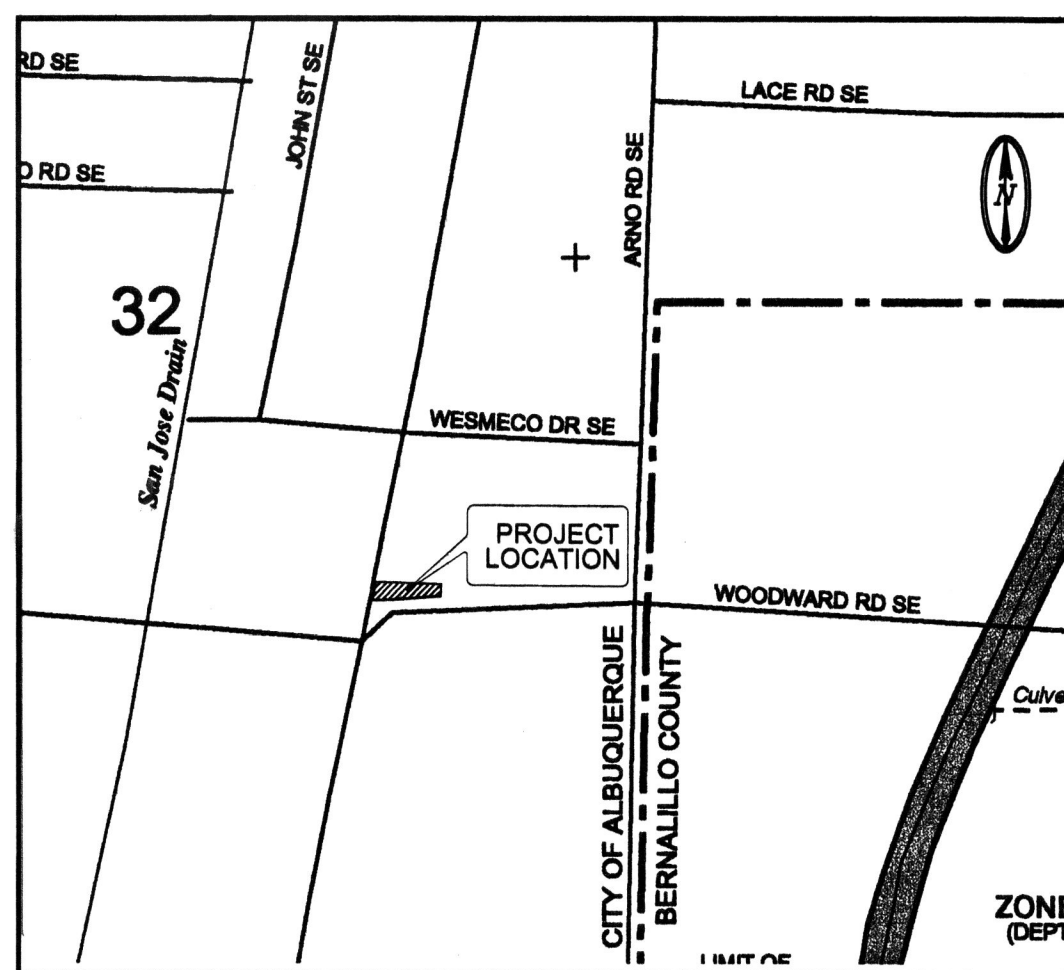
TEMPORARY EROSION CONTROL MEASURES WILL BE IMPLEMENTED DURING CONSTRUCTION TO LIMIT THE DISCHARGE OF SEDIMENT FROM THE SITE TO ADJACENT PROPERTIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ALL TEMPORARY EROSION CONTROL MEASURES UNTIL COMPLETION OF ALL SITE PAVING, GRADING, DRAINAGE AND LANDSCAPING IMPROVEMENTS. SINCE THE SITE CONTAINS MORE THAN 1.0 ACRES, A SWPPP IS REQUIRED. SWPPP IS TO BE PREPARED BY OTHERS.

CALCULATIONS

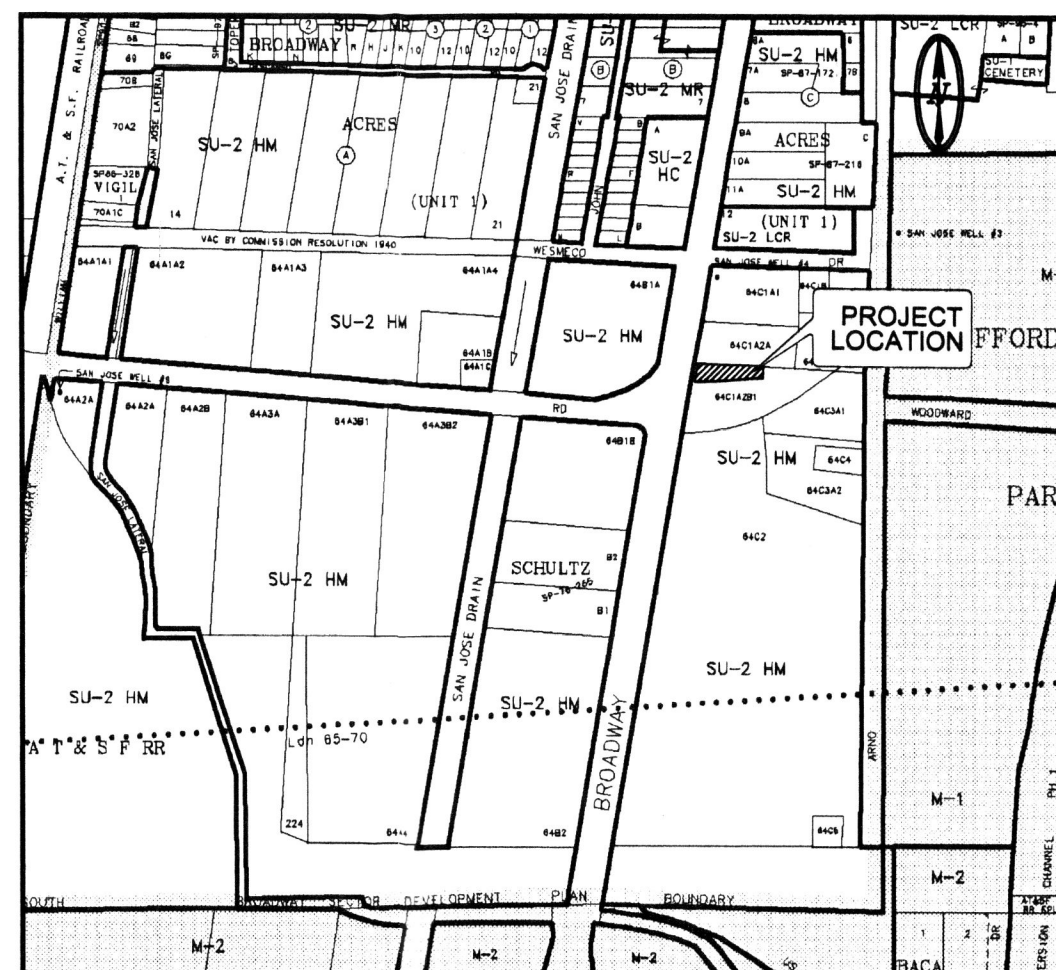
THE CALCULATIONS SHOWN HEREON DEFINE THE 100 YEAR/6 HOUR DESIGN STORM IMPACTING THE SITE AND CONTRIBUTING OFF-SITE DRAINAGE BASINS UNDER EXISTING AND DEVELOPED CONDITIONS. THE AHYMO METHOD OF ESTIMATING PEAK RUNOFF IS PRESENTED AS OUTLINED IN THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, SECTION 22.2, PART 'A', UPDATED JULY 1997. POND ROUTING CALCULATIONS ARE PROVIDED SEPARATELY.



PROPOSED ON-SITE DRAINAGE BASIN MAP NTS



FIRM PANEL 35001C0342E NTS



VICINITY MAP ZAP M-14-Z NTS

LEGEND

ITEM	EXISTING	PROPOSED
CURB AND GUTTER		
SPOT ELEV.	× 4916.70	◆ 16.70
EDGE OF ASPHALT ELEVATION	× EP = 4916.70	◆ EP = 4916.70
CONTOUR W/ ELEVATION	— 4989 —	— 92 —
ASPHALT PAVING		
DRAINAGE SWALE		
DIRECTION OF FLOW		
MOTORCYCLE PARKING		
CONCRETE		
POWER POLE WITH GUY WIRE		
OVERHEAD UTILITY WITH POWER POLE		
FENCE		
EASEMENT		
PROPERTY BOUNDARY		
BASIN DIVIDE		
TRAFFIC LIGHT CONTROL BOX		
VENT		
DROP INLET		
SANITARY SEWER MANHOLE		
STORM DRAIN MANHOLE		
GATE		
CULVERT		
GRAVEL DRIVE		

KEYED NOTES

- EXISTING EDGE OF ASPHALT PAVEMENT.
- EXISTING ASPHALT PAVEMENT.
- EXISTING SANITARY SEWER MANHOLE. RIM = 4940.19'.
- EXISTING STORM DRAIN MANHOLE. RIM = 4940.30'.
- EXISTING SANITARY SEWER MANHOLE. RIM = 4955.55'.
- EXISTING SANITARY SEWER MANHOLE. RIM = 4955.63'.
- EXISTING SANITARY SEWER MANHOLE. RIM = 4957.91'.
- EXISTING DROP INLET.
- EXISTING CONCRETE PAD.
- EXISTING CHAINLINK FENCE.
- NEW BICYCLE RACK.
- NEW 6" CONCRETE CURB.
- NEW HANDICAP PARKING.
- NEW HANDICAP SIGNAGE.
- NEW ASPHALT PAVEMENT.
- NEW MOTORCYCLE PARKING.
- NEW EDGE OF ASPHALT PAVEMENT.
- EXISTING CONCRETE WALL.
- NEW DETENTION POND.
- NEW DRAINAGE RUNDOWN PER (C-3).
- NEW 12" CIP WITH END SECTIONS.
- NEW 12" STORM DRAIN WITH END SECTION AT POND.
- CONNECT NEW 15" STORM DRAIN TO EXISTING INLET PER COA STD DWG 2237.
- NOT USED.
- NEW REFUSE ENCLOSURE.
- NEW CURB BLOCKOUT.
- NEW VALLEY GUTTER - NOT BUILT
- NEW PAD MOUNT COOLERS.
- NEW ROOF GUTTER.
- INSTALL 5' X 5' RIP RAP EROSION CONTROL PAD. SEE DETAIL (C-3).

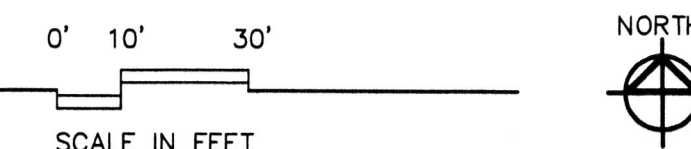
PROJECT HYDROLOGY									
AHYMO									
ZONE:	2	AGUAMATIC LANDSCAPING							
P ₂ HOUR	2.35"								
P ₁₀ DAY	3.95"								
UNDEVELOPED:									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)	VOL 10 DY (ac ft)
SITE	1.92	0.00	0.00	1.90	0.02	1.14	6.0	0.182	0.184
OS-1	0.63	0.00	0.00	0.63	0.00	1.13	2.0	0.059	0.059
OS-2	0.64	0.00	0.00	0.64	0.00	1.13	2.0	0.060	0.060
OS-3	0.13	0.00	0.00	0.13	0.00	1.13	0.4	0.012	0.012
DEVELOPED (PROPOSED):									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)	VOL 10 DY (ac ft)
1	0.50	0.00	0.00	0.01	0.49	2.10	2.3	0.088	0.153
2	1.24	0.00	0.00	1.23	0.01	1.13	3.9	0.116	0.117
3	0.18	0.00	0.00	0.18	0.00	1.13	0.6	0.017	0.017
SITE	1.92	0.00	0.00	1.42	0.50	1.38	6.8	0.221	0.287
OS- 1	0.63	0.00	0.00	0.12	0.51	1.93	2.8	0.101	0.169
OS- 2	0.63	0.00	0.00	0.62	0.01	1.14	2.0	0.060	0.061
OS- 3	0.14	0.00	0.00	0.13	0.01	1.20	0.5	0.014	0.015

GRADING AND DRAINAGE PLAN

SCALE: 1" = 30'-0"



OFFSITE DRAINAGE BASIN MAP NTS



REVISIONS

- ADDED AS-BUILT INVERT AT EXIST INLET DL 6-10-08
- 6-10 CERT 7-19-08

PROJECT DATA

PROPERTY ADDRESS
3024 BROADWAY BLVD. SE
LEGAL DESCRIPTION
TRACT N, SCHWARTZMAN INDUSTRIAL PARK, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM
PROPERTY ZONING
SU-2 HM

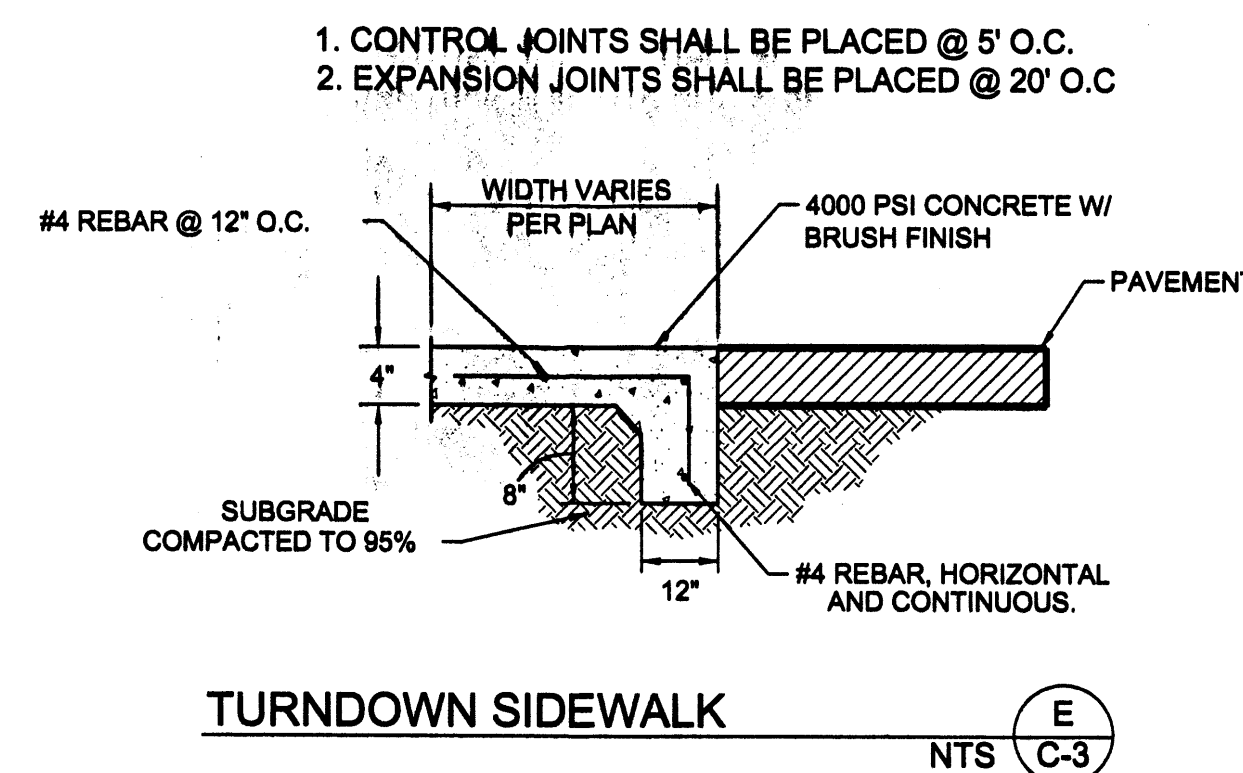
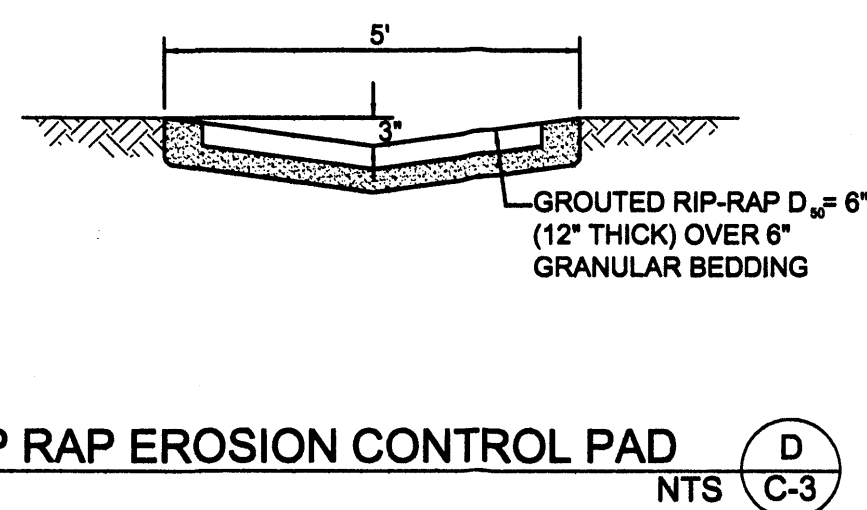
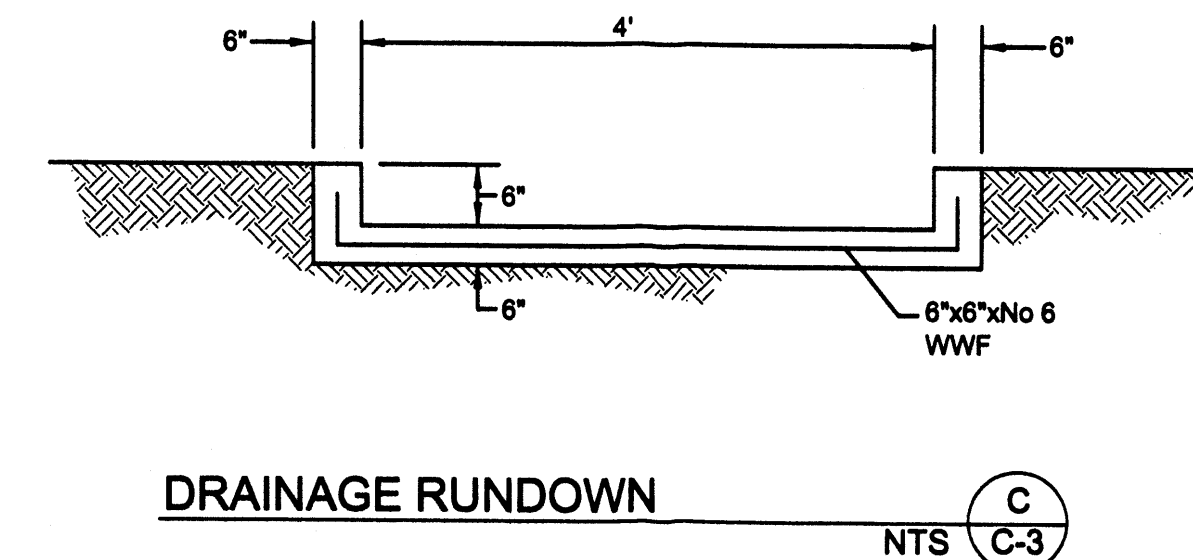
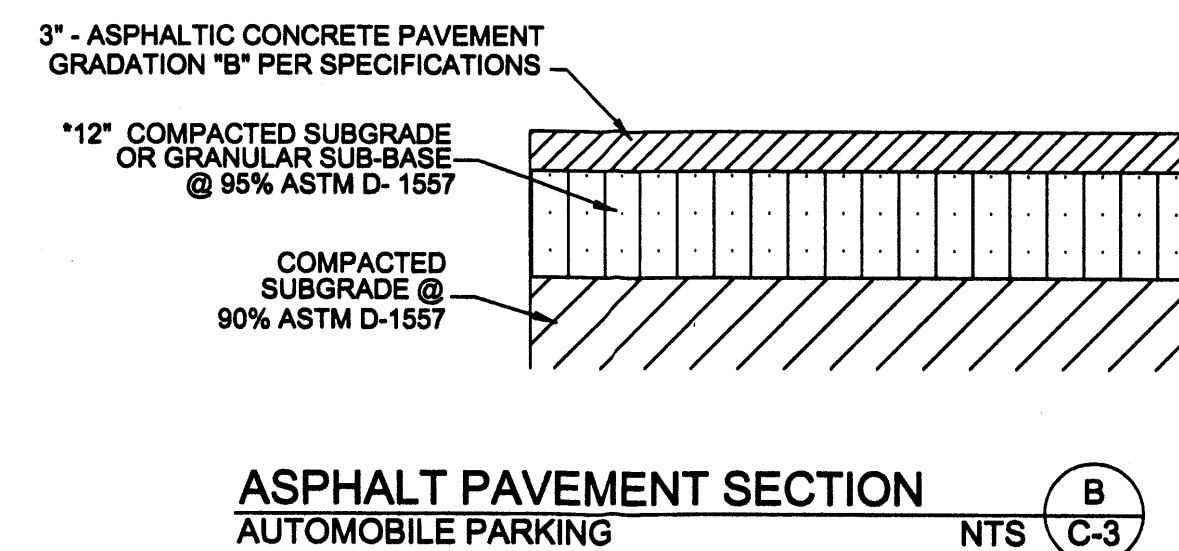
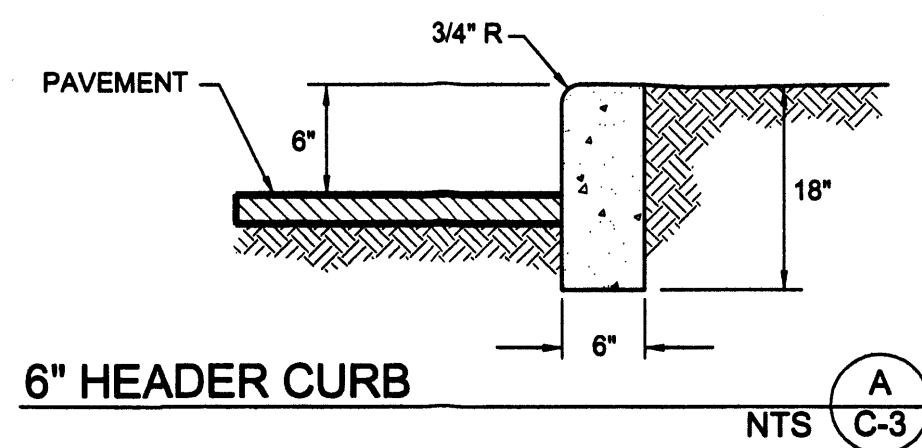
MAPPING
ALL PROJECT SURVEYING BY HARRIS SURVEYING INC, NOVEMBER 2007
PROJECT BENCHMARK
ACS STATION "5-M14" ELEV = 4940.240' NGVD 1988

HYDROLOGY SECTION

C-2

AGUAMATIC LANDSCAPING
OFFICE WAREHOUSE G&D
BROADWAY & WOODWARD S.E.
ALBUQUERQUE, NEW MEXICO
SANDERS & ASSOCIATES ARCHITECTS, P.C.

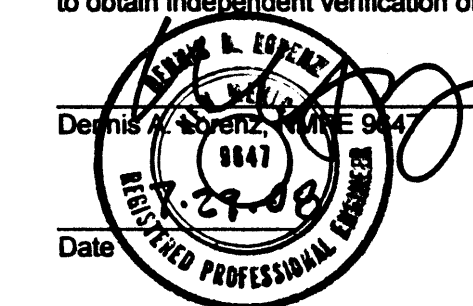
BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro NE Building 1 Suite 1300
Albuquerque, New Mexico 87110
Ph: 505-868-8068 Fax: 505-868-8168



HYDROLOGY CERTIFICATION FOR PERMANENT CERTIFICATE OF OCCUPANCY

I, Dennis A. Lorenz, NMPE 9647, of the firm Brasher and Lorenz, Inc., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 6-18-08. The record information edited onto the original design document has been obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy.

The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR

1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION", 1986 EDITION, AS AMENDED THROUGH UPDATE NO. 7.
3. THREE WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234 FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVALS

INSPECTOR

DATE

GRADING AND DRAINAGE DETAILS

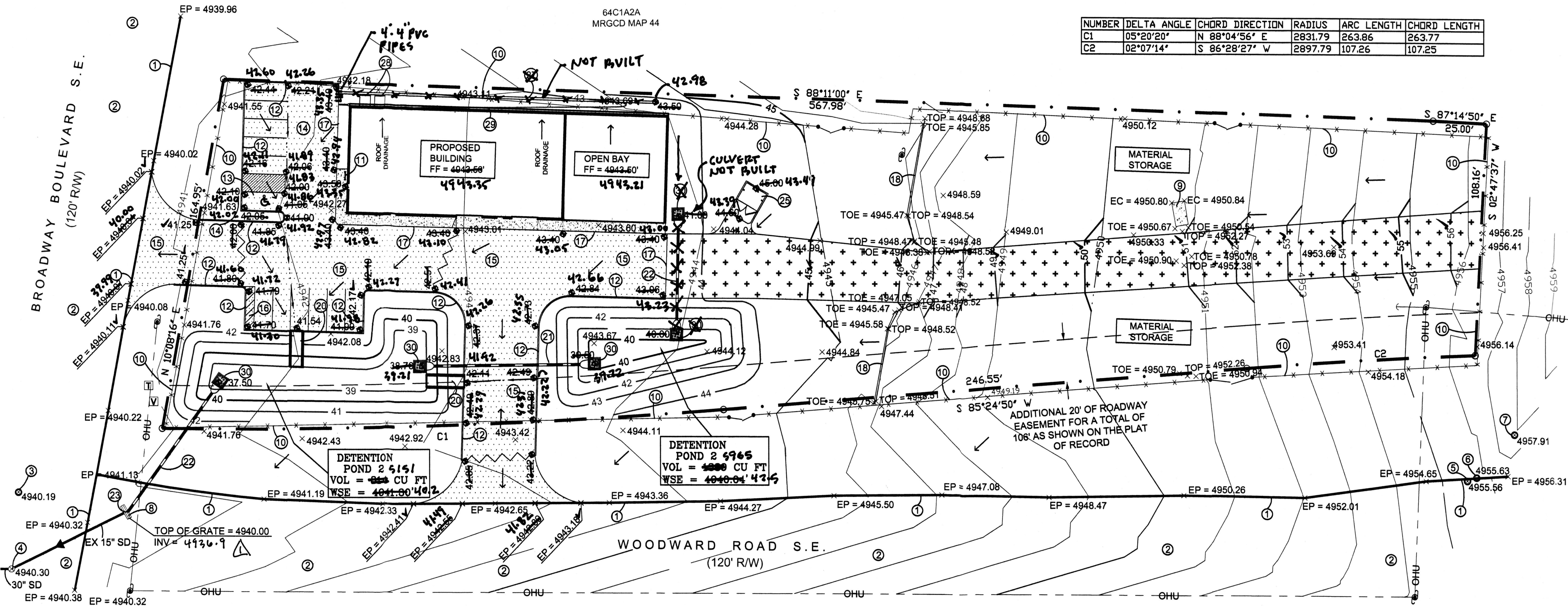
RECEIVED
JUL 29 2008
HYDROLOGY
SECTION

Project No. 07-552
Sheet
C-3

AGUAMATIC LANDSCAPING
OFFICE WAREHOUSE DETAILS
BROADWAY & WOODWARD S.E.
ALBUQUERQUE, NEW MEXICO
SANDERS & ASSOCIATES ARCHITECTS, P.C.

BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro NE Building 1 Suite 1300
Albuquerque, New Mexico 87110
Ph: 505-888-6088 Fax: 505-888-4188





NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	05°20'20"	N 88°04'56" E	2831.79	263.86	263.77
C2	02°07'14"	S 86°28'27" W	2897.79	107.26	107.25

GRADING & DRAINAGE PLAN

PURPOSE AND SCOPE

PURSUANT TO THE ESTABLISHED DRAINAGE ORDINANCE OF THE CITY OF ALBUQUERQUE AND THE DEVELOPMENT PROCESS MANUAL, THIS GRADING AND DRAINAGE PLAN OUTLINES THE DRAINAGE MANAGEMENT CRITERIA FOR CONTROLLING DEVELOPED RUNOFF FROM THE PROJECT SITE. THE PROJECT CONSISTS OF THE DEVELOPMENT OF THE EXISTING PROPERTY BY CONSTRUCTING A NEW COMMERCIAL BUILDING WITH RELATED SITE IMPROVEMENTS. PROPOSED SITE IMPROVEMENTS INCLUDE PAVING, UTILITY, LANDSCAPING, AND GRADING AND DRAINAGE IMPROVEMENTS. THIS GRADING PLAN AND DRAINAGE IS PREPARED TO SUPPORT A BUILDING PERMIT APPLICATION.

EXISTING CONDITIONS

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AS SHOWN BY THE FIRM PANEL FOR THIS AREA, THIS PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE.

PROPOSED CONDITIONS

AS SHOWN BY THE PLAN, THE PROPERTY IS TO BE DEVELOPED BY CONSTRUCTING A COMMERCIAL BUILDING AND ASSOCIATED SITE IMPROVEMENTS.

ALL DRAINAGE FLOWS WILL BE MANAGED BY ON-SITE SWALES, CONVEYING RUNOFF TO TWO DETENTION PONDS. THE PLAN SHOWS THE ELEVATIONS REQUIRED TO PROPERLY GRADE AND CONSTRUCT THE RECOMMENDED IMPROVEMENTS. FLOW ARROWS ARE GIVEN TO DEMONSTRATE THE DIRECTION OF DRAINAGE FLOWS, AND PROJECT HYDROLOGY IS GIVEN FOR BOTH EXISTING AND DEVELOPED CONDITIONS. ON-SITE PONDING IS REQUIRED.

TEMPORARY EROSION CONTROL

TEMPORARY EROSION CONTROL MEASURES WILL BE IMPLEMENTED DURING CONSTRUCTION TO LIMIT THE DISCHARGE OF SEDIMENT FROM THE SITE TO ADJACENT PROPERTIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ALL TEMPORARY EROSION CONTROL MEASURES UNTIL COMPLETION OF ALL SITE PAVING, GRADING, DRAINAGE AND LANDSCAPING IMPROVEMENTS. SINCE THE SITE CONTAINS MORE THAN 1.0 ACRES, A SWPPP IS REQUIRED. SWPPP IS TO BE PREPARED BY OTHERS.

CALCULATIONS

THE CALCULATIONS SHOWN HEREON DEFINE THE 100 YEAR/6 HOUR DESIGN STORM IMPACTING THE SITE AND CONTRIBUTING OFF-SITE DRAINAGE BASINS UNDER EXISTING AND DEVELOPED CONDITIONS. THE ANYMO METHOD OF ESTIMATING PEAK RUNOFF IS PRESENTED AS OUTLINED IN THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, SECTION 22.2, PART 'A', UPDATED JULY 1997. POND ROUTING CALCULATIONS ARE PROVIDED SEPARATELY.

DRAINAGE PLAN NOTES

- BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
- This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
- Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
- This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
- Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
- BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
- The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
- All spot elevations are top of pavement unless noted otherwise.

ALL ACCESSIBLE IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT. FAILURE TO DO SO MAY RESULT IN REJECTION OF CERTIFICATE OF OCCUPANCY.

REVISIONS

- ADDED AS-BUILT INVERT AT EXIST INLET DL 6-10-08
- 4th CERT 9-15-08

PROJECT DATA

PROPERTY ADDRESS
3024 BROADWAY BLVD. SE
LEGAL DESCRIPTION
TRACT N, SCHWARTZMAN INDUSTRIAL PARK, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM
PROPERTY ZONING
SU-2 HM

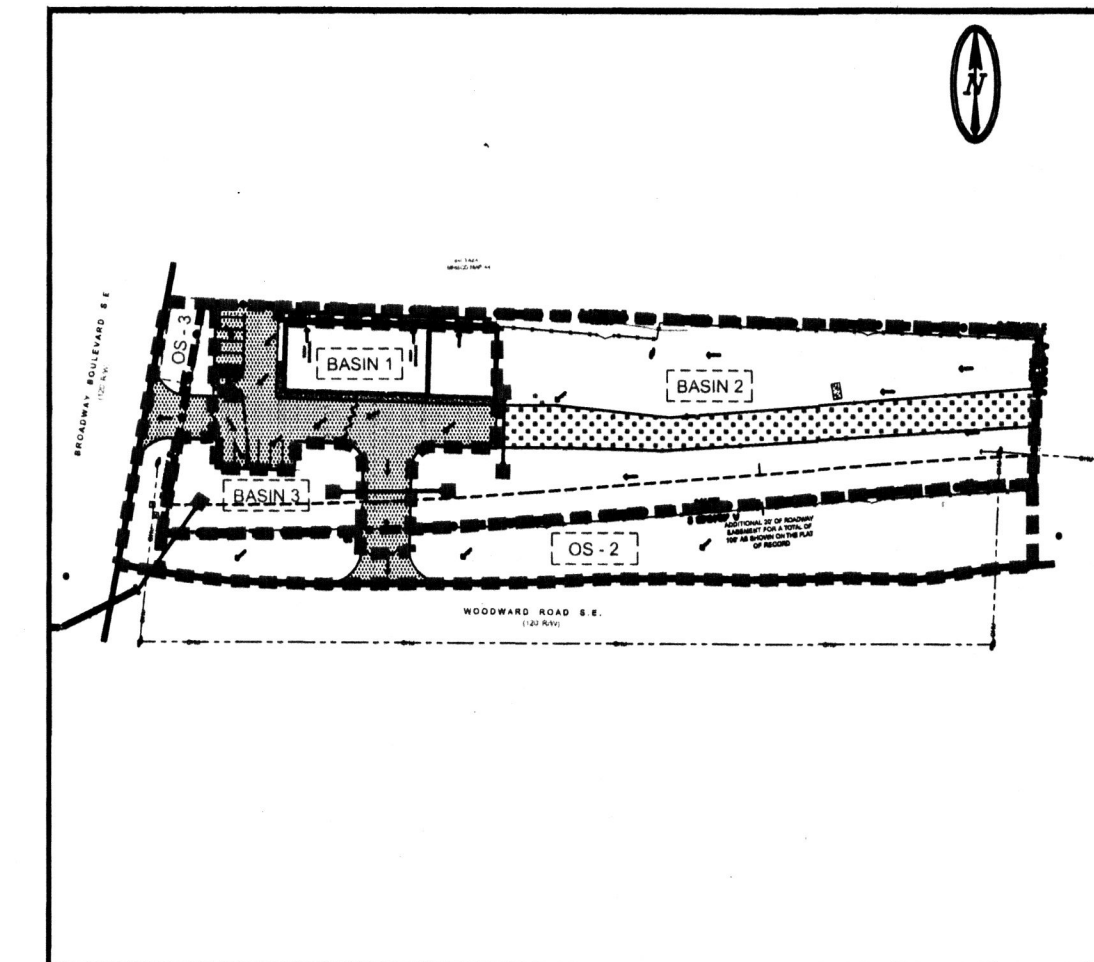
MAPPING
ALL PROJECT SURVEYING BY HARRIS SURVEYING INC. NOVEMBER 2007
PROJECT BENCHMARK
ACS STATION "S-M14" ELV = 4840.240' NGVD 1988

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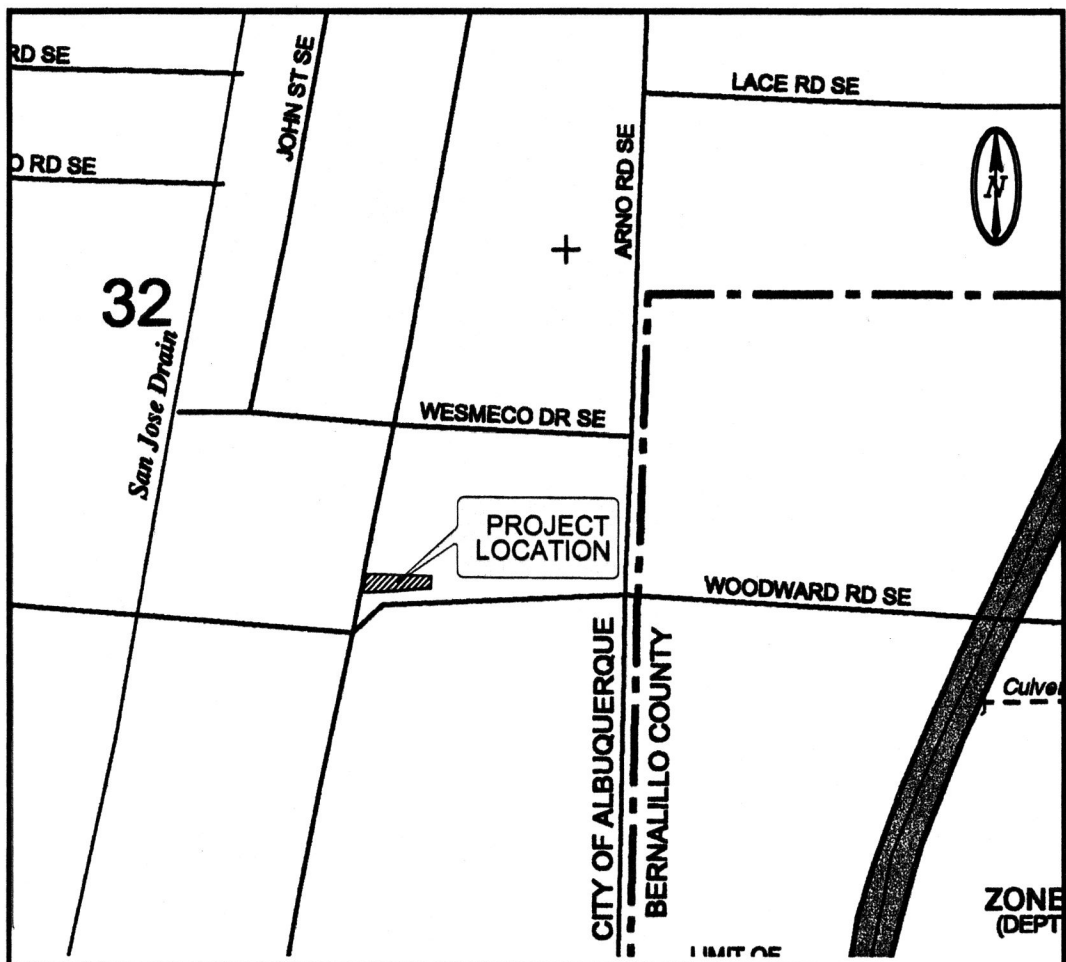
HYDROLOGY SECTION

AGUAMATIC LANDSCAPING
OFFICE WAREHOUSE G&D
BROADWAY & WOODWARD S.E.
ALBUQUERQUE, NEW MEXICO

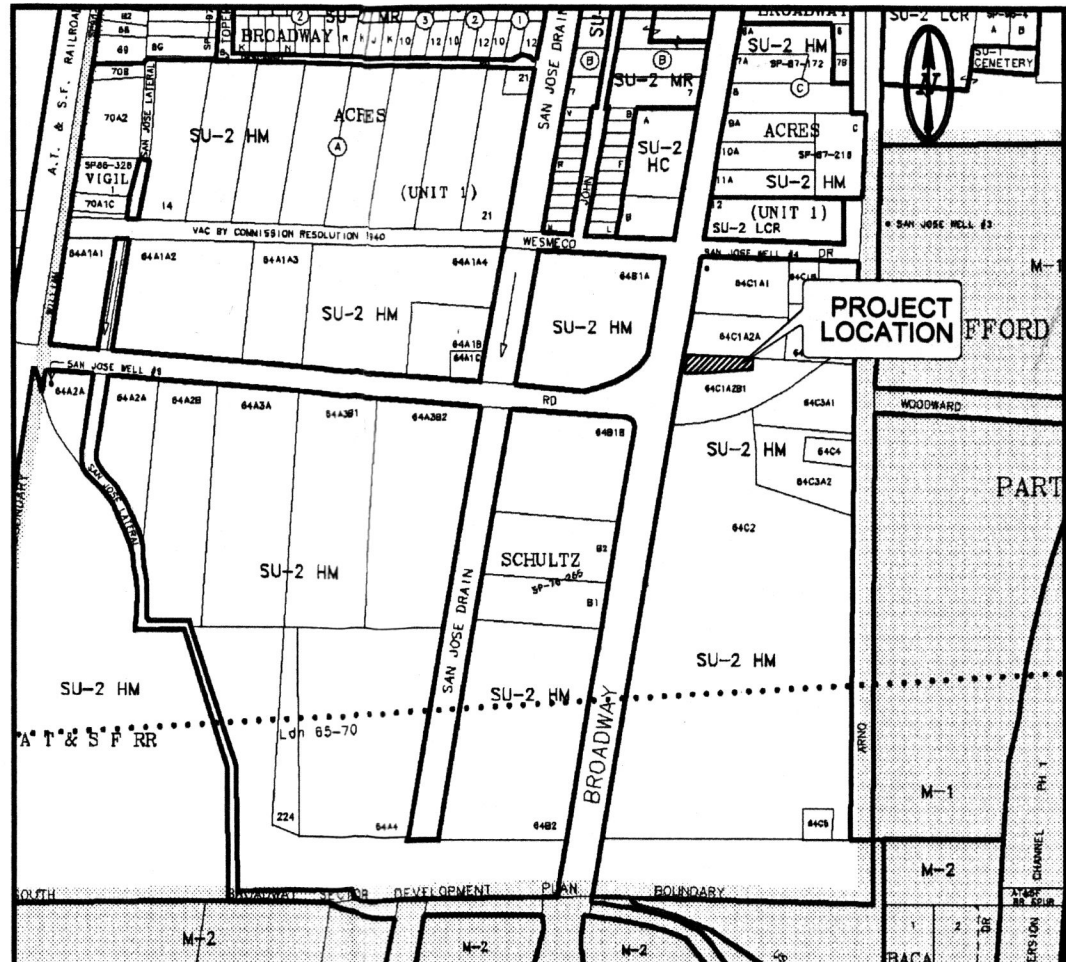
SANDERS & ASSOCIATES ARCHITECTS, P.C.



PROPOSED ON-SITE DRAINAGE BASIN MAP NTS



FIRM PANEL 35001C0342E NTS



VICINITY MAP ZAP M-14-Z NTS



OFFSITE DRAINAGE BASIN MAP NTS

KEYED NOTES

- EXISTING EDGE OF ASPHALT PAVEMENT.
- EXISTING ASPHALT PAVEMENT.
- EXISTING SANITARY SEWER MANHOLE. RIM = 4940.19'
- EXISTING STORM DRAIN MANHOLE. RIM = 4940.30'
- EXISTING SANITARY SEWER MANHOLE. RIM = 4955.56'
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- EXISTING DROP INLET.
- EXISTING CONCRETE PAD.
- EXISTING CHAINLINK FENCE.
- NEW BICYCLE RACK.
- NEW 6" CONCRETE CURB.
- NEW HANDICAP PARKING.
- NEW HANDICAP SIGNAGE.
- NEW ASPHALT PAVEMENT.
- NEW MOTORCYCLE PARKING.
- NEW EDGE OF ASPHALT PAVEMENT.
- EXISTING CONCRETE WALL.
- NEW DETENTION POND.
- NEW DRAINAGE RUNDOWN PER (C-C-3).
- NEW 12" CMP WITH END SECTIONS.
- NEW 12" STORM DRAIN WITH END SECTION AT POND.
- CONNECT NEW 15" STORM DRAIN TO EXISTING INLET PER COA STD DWG 2237.
- NOT USED.
- NEW REFUSE ENCLOSURE.
- NEW CURB BLOCKOUT.
- NEW VALLEY GUTTER - NOT BUILT
- NEW PAD MOUNT COOLERS.
- NEW ROOF GUTTER.
- INSTALL 5' X 5' RIP RAP EROSION CONTROL PAD. SEE DETAIL (C-C-3).

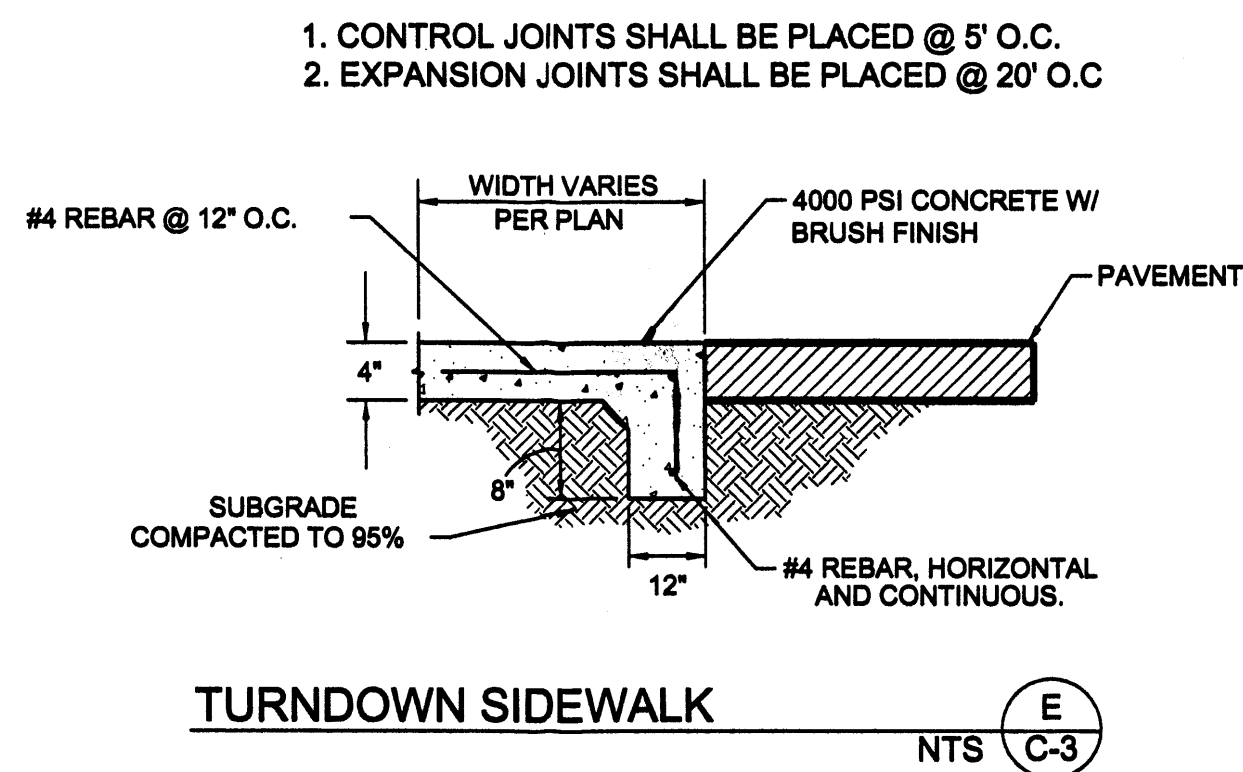
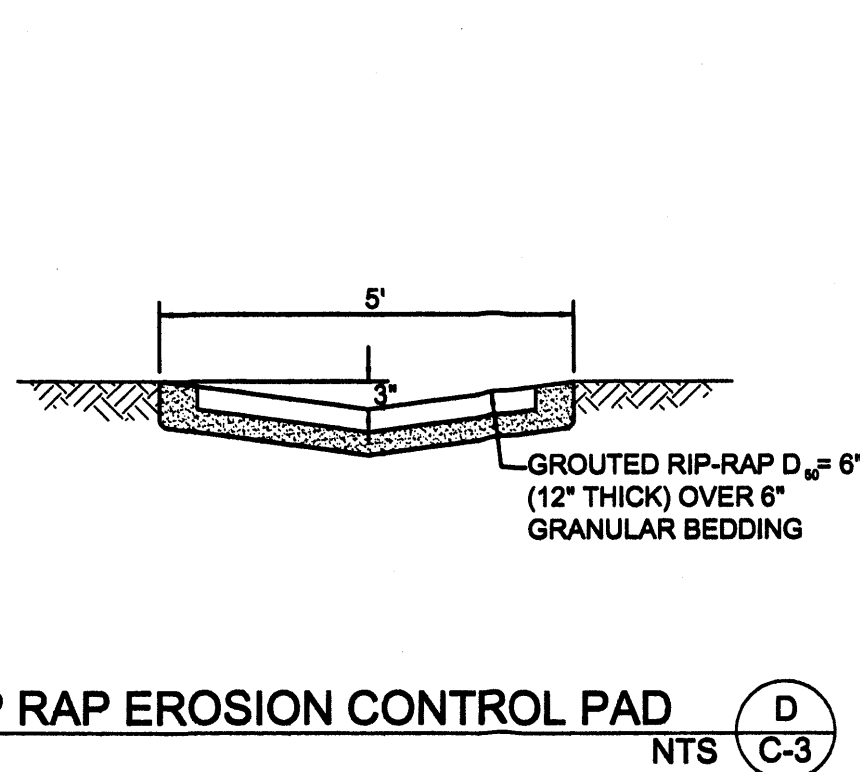
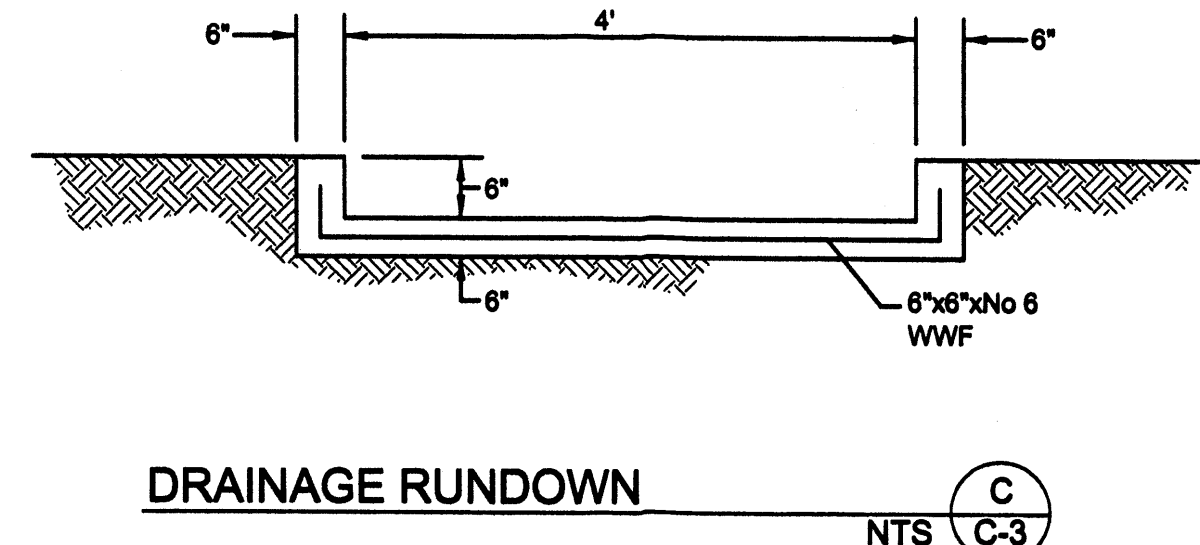
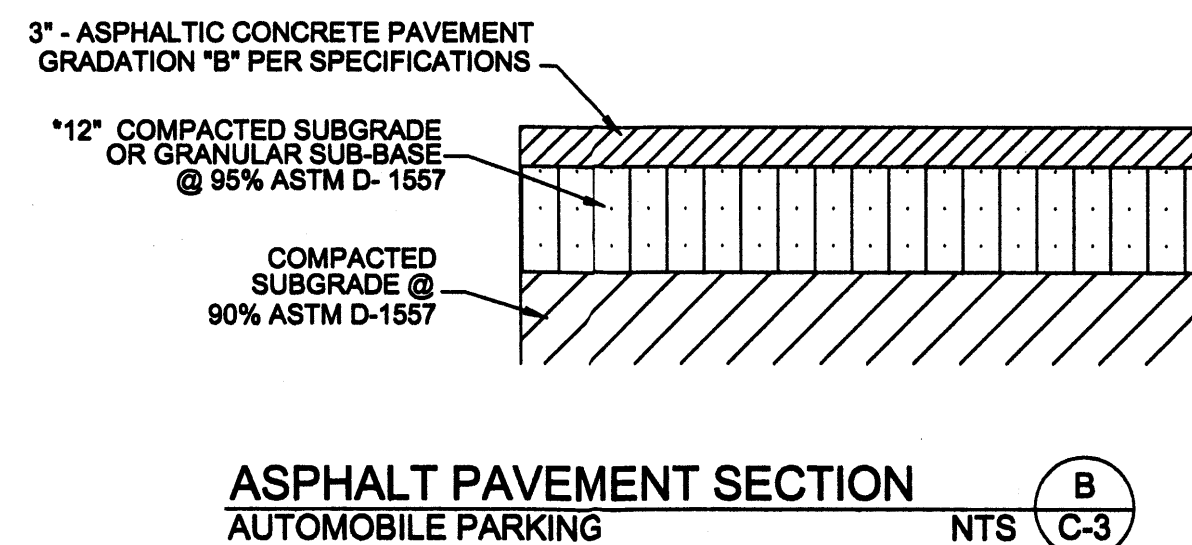
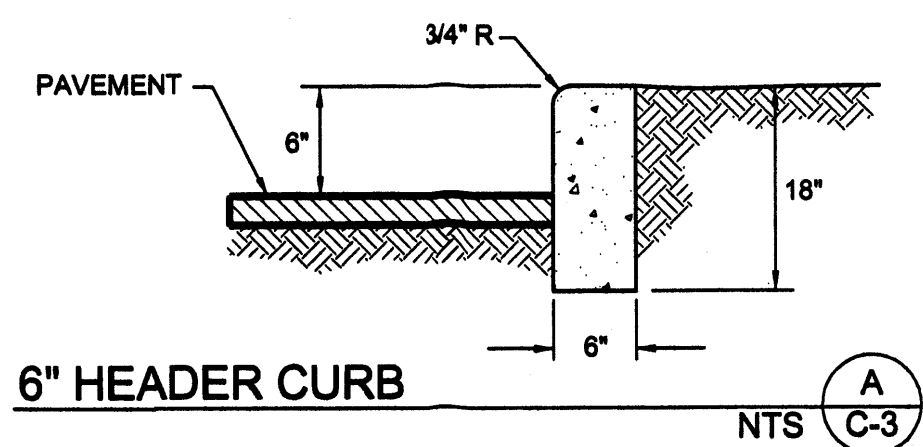
PROJECT HYDROLOGY									
AHYMO									
ZONE:	2								
P ₂ HOUR	2.35"								
P ₁₀ DAY	3.95"								
UNDEVELOPED:									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)	VOL 10 DY (ac ft)
SITE	1.92	0.00	0.00	1.90	0.02	1.14	6.0	0.182	0.184
OS-1	0.63	0.00	0.00	0.63	0.00	1.13	2.0	0.059	0.059
OS-2	0.64	0.00	0.00	0.64	0.00	1.13	2.0	0.060	0.060
OS-3	0.13	0.00	0.00	0.13	0.00	1.13	0.4	0.012	0.012
DEVELOPED (PROPOSED):									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)	VOL 10 DY (ac ft)
1	0.50	0.00	0.00	0.01	0.49	2.10	2.3	0.088	0.153
2	1.24	0.00	0.00	1.23	0.01	1.13	3.9	0.116	0.117
3	0.18	0.00	0.00	0.18	0.00	1.13	0.6	0.017	0.017
SITE	1.92	0.00	0.00	1.42	0.50	1.38	6.8	0.221	0.287
OS-1	0.63	0.00	0.00	0.12	0.51	1.93	2.8	0.101	0.169
OS-2	0.63	0.00	0.00	0.62	0.01	1.14	2.0	0.060	0.061
OS-3	0.14	0.00	0.00	0.13	0.01	1.20	0.5	0.014	0.015

GRADING AND DRAINAGE PLAN

SCALE: 1" = 30'-0"

0' 10' 30'
SCALE IN FEET





HYDROLOGY CERTIFICATION FOR PERMANENT CERTIFICATE OF OCCUPANCY

I, Dennis A. Lorenz, NMPE 9647, of the firm Brasher and Lorenz, Inc., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 6-16-08. The record information edited onto the original design document has been obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy.

The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Dennis A. Lorenz, NMPE 9647
 Date: 9/15/08
 Professional Engineer
 State of New Mexico

DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR

1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION", 1986 EDITION, AS AMENDED THROUGH UPDATE NO. 7.
3. THREE WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234 FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVALS

INSPECTOR

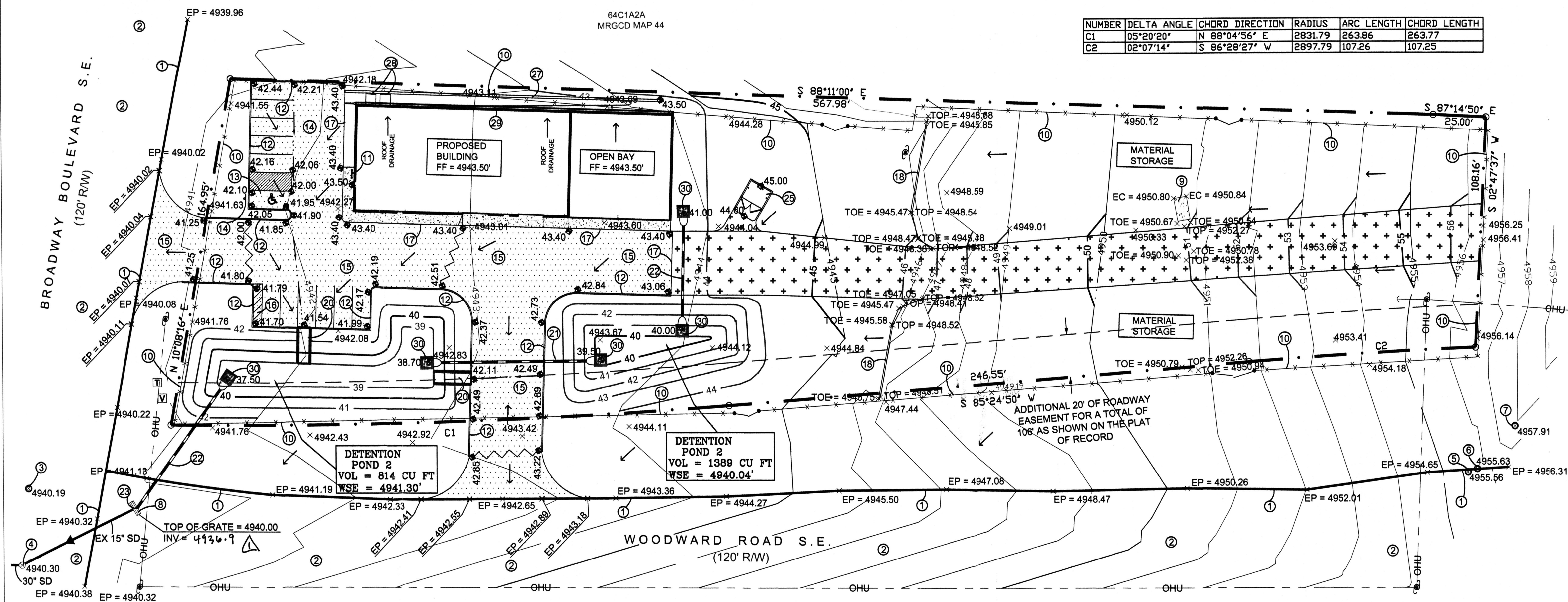
DATE

GRADING AND DRAINAGE DETAILS

RECEIVED
 SEP 15 2008
 HYDROLOGY
 SECTION

AGUAMATIC LANDSCAPING
 OFFICE WAREHOUSE DETAILS
 BROADWAY & WOODWARD S.E.
 ALBUQUERQUE, NEW MEXICO
 SANDERS & ASSOCIATES ARCHITECTS, P.C.

Project no. 01-01
 sheet
 C-3
 2 of 2
 12-15-08



GRADING & DRAINAGE PLAN

PURPOSE AND SCOPE

PURSUANT TO THE ESTABLISHED DRAINAGE ORDINANCE OF THE CITY OF ALBUQUERQUE AND THE DEVELOPMENT PROCESS MANUAL, THIS GRADING AND DRAINAGE PLAN OUTLINES THE DRAINAGE MANAGEMENT CRITERIA FOR CONTROLLING DEVELOPED RUNOFF FROM THE PROJECT SITE. THE PROJECT CONSISTS OF THE DEVELOPMENT OF THE EXISTING PROPERTY BY CONSTRUCTING A NEW COMMERCIAL BUILDING WITH RELATED SITE IMPROVEMENTS. PROPOSED SITE IMPROVEMENTS INCLUDE PAVING, UTILITY, LANDSCAPING, AND GRADING AND DRAINAGE IMPROVEMENTS. THIS GRADING PLAN AND DRAINAGE IS PREPARED TO SUPPORT A BUILDING PERMIT APPLICATION.

EXISTING CONDITIONS

THE PROJECT SITE CONTAINS APPROXIMATELY 1.92 ACRES AND IS LOCATED AT 3024 BROADWAY BOULEVARD SE. THE SITE IS PRESENTLY UNDEVELOPED. IT IS BOUNDED TO THE NORTH BY LOT 64C1A2A, MRGD MAP 44, TO THE SOUTH BY WOODWARD ROAD SE, TO THE WEST BY BROADWAY BOULEVARD SE, AND TO THE EAST BY A DEVELOPING LOT. CURRENTLY, ON-SITE RUNOFF DRAINS ONTO BROADWAY AND WOODWARD. OFFSITE, BASIN OS-1, FLOW IMPACTS THE SITE.

AS SHOWN BY THE FIRM PANEL FOR THIS AREA, THIS PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FLOOD HAZARD ZONE.

PROPOSED CONDITIONS

AS SHOWN BY THE PLAN, THE PROPERTY IS TO BE DEVELOPED BY CONSTRUCTING A COMMERCIAL BUILDING AND ASSOCIATED SITE IMPROVEMENTS.

ALL DRAINAGE FLOWS WILL BE MANAGED BY ON-SITE SWALES, CONVEYING RUNOFF TO TWO DETENTION PONDS. THE PLAN SHOWS THE ELEVATIONS REQUIRED TO PROPERLY GRADE AND CONSTRUCT THE RECOMMENDED IMPROVEMENTS. FLOW ARROWS ARE GIVEN TO DEMONSTRATE THE DIRECTION OF DRAINAGE FLOWS, AND PROJECT HYDROLOGY IS GIVEN FOR BOTH EXISTING AND DEVELOPED CONDITIONS. ON-SITE PONDING IS REQUIRED.

TEMPORARY EROSION CONTROL

TEMPORARY EROSION CONTROL MEASURES WILL BE IMPLEMENTED DURING CONSTRUCTION TO LIMIT THE DISCHARGE OF SEDIMENT FROM THE SITE TO ADJACENT PROPERTIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ALL TEMPORARY EROSION CONTROL MEASURES UNTIL COMPLETION OF ALL SITE PAVING, GRADING, DRAINAGE AND LANDSCAPING IMPROVEMENTS. SINCE THE SITE CONTAINS MORE THAN 1.0 ACRES, A SWPPP IS REQUIRED. SWPPP IS TO BE PREPARED BY OTHERS.

CALCULATIONS

THE CALCULATIONS SHOWN HEREON DEFINE THE 100 YEAR/6 HOUR DESIGN STORM IMPACTING THE SITE AND CONTRIBUTING OFF-SITE DRAINAGE BASINS UNDER EXISTING AND DEVELOPED CONDITIONS. THE AHYMO METHOD OF ESTIMATING PEAK RUNOFF IS PRESENTED AS OUTLINED IN THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, SECTION 22.2, PART 'A', UPDATED JULY 1997. POND ROUTING CALCULATIONS ARE PROVIDED SEPARATELY.

DRAINAGE PLAN NOTES

- BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
- This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
- Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
- This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
- Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
- BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
- The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
- All spot elevations are top of pavement unless noted otherwise.

ALL ACCESSIBLE IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT. FAILURE TO DO SO MAY RESULT IN REJECTION OF CERTIFICATE OF OCCUPANCY.

REVISIONS

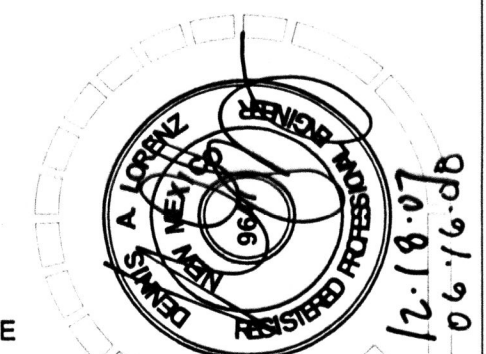
ADDED AS-BUILT INVERT AT GUT INLET BL 6-16-08

PROJECT DATA

PROPERTY ADDRESS
3024 BROADWAY BLVD. SE
LEGAL DESCRIPTION
TRACT N, SCHWARTZMAN INDUSTRIAL PARK, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM
PROPERTY ZONING
SU-2 HM

MAPPING

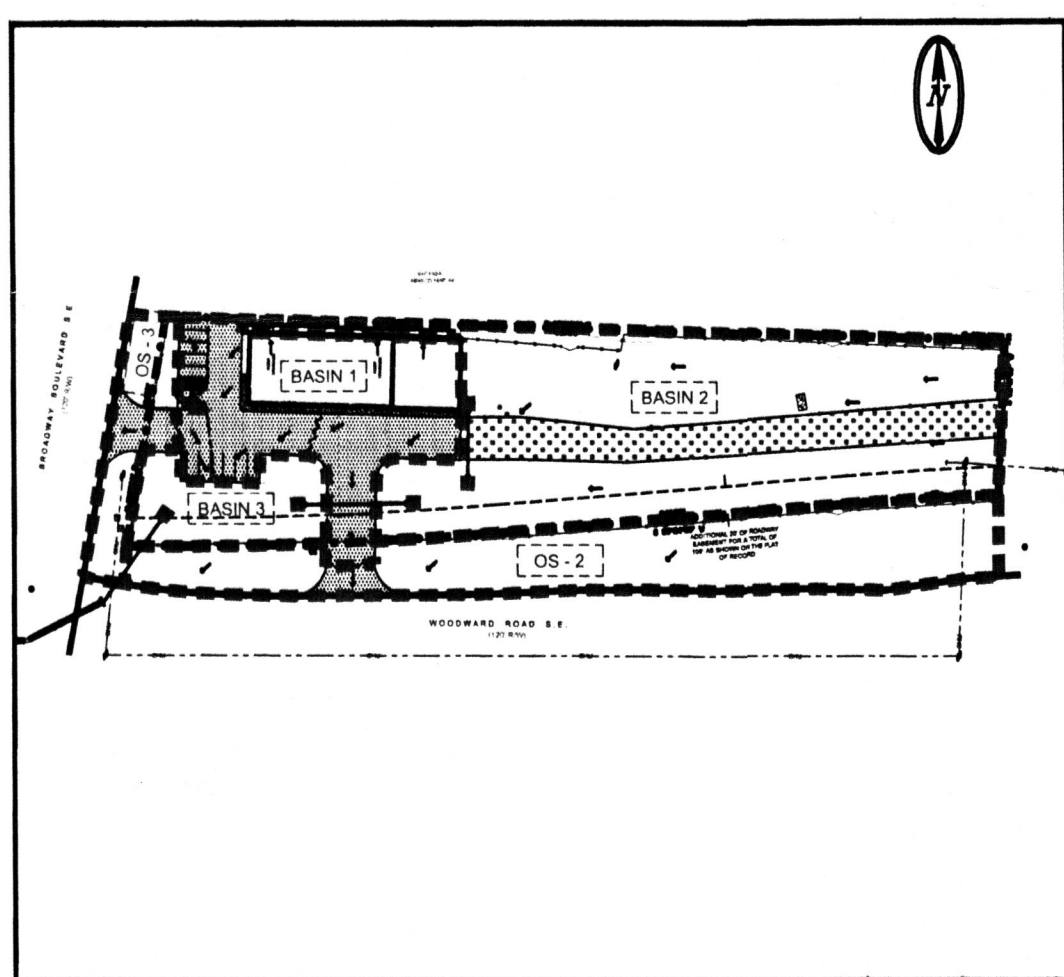
ALL PROJECT SURVEYING BY HARRIS SURVEYING INC., NOVEMBER 2007
PROJECT BENCHMARK
ACS STATION "5-M14" ELEV = 4940.240' NGVD 1988



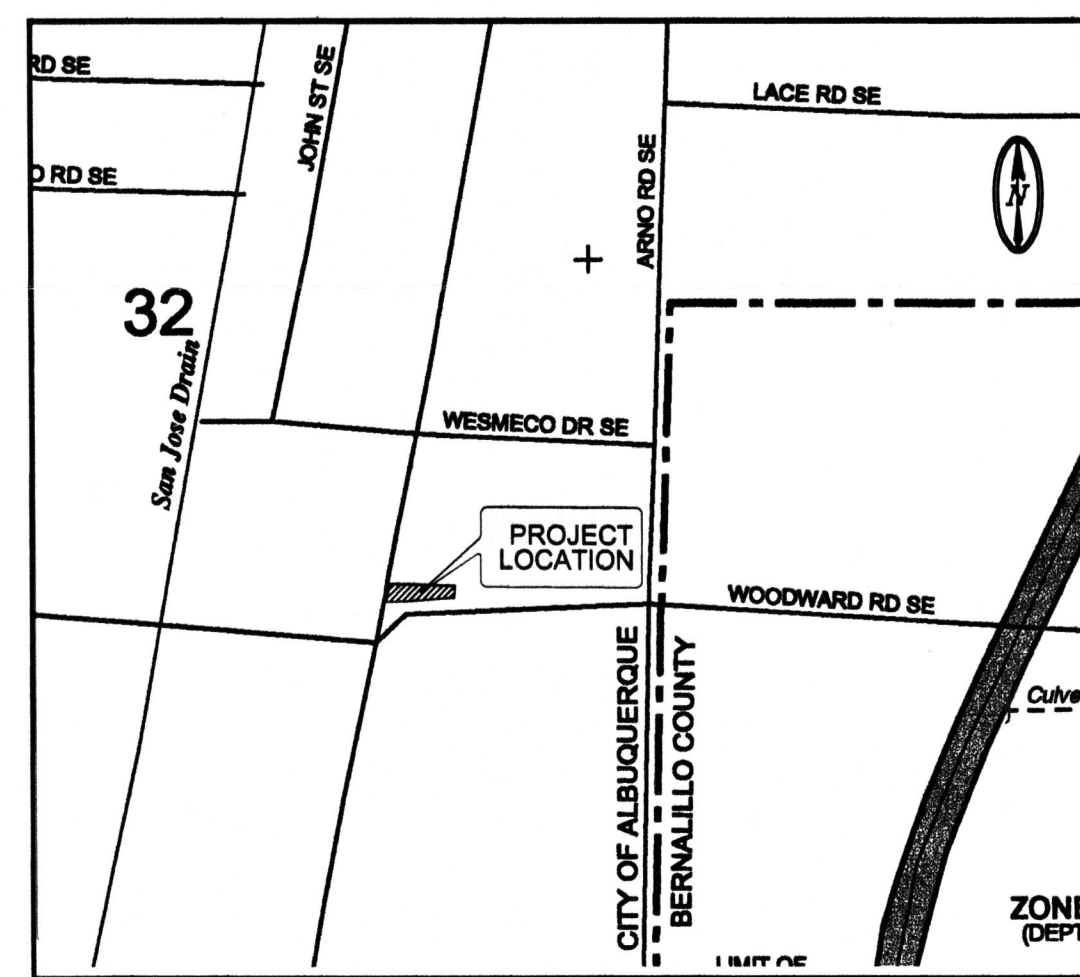
BRASHER & LORENZ
CONSULTING ENGINEERS
2207 San Pedro NE Building 1 Suite 1300
Albuquerque, New Mexico 87110
Ph: 505-468-0008 Fax: 505-468-0188

SANDERS & ASSOCIATES ARCHITECTS, P.C.

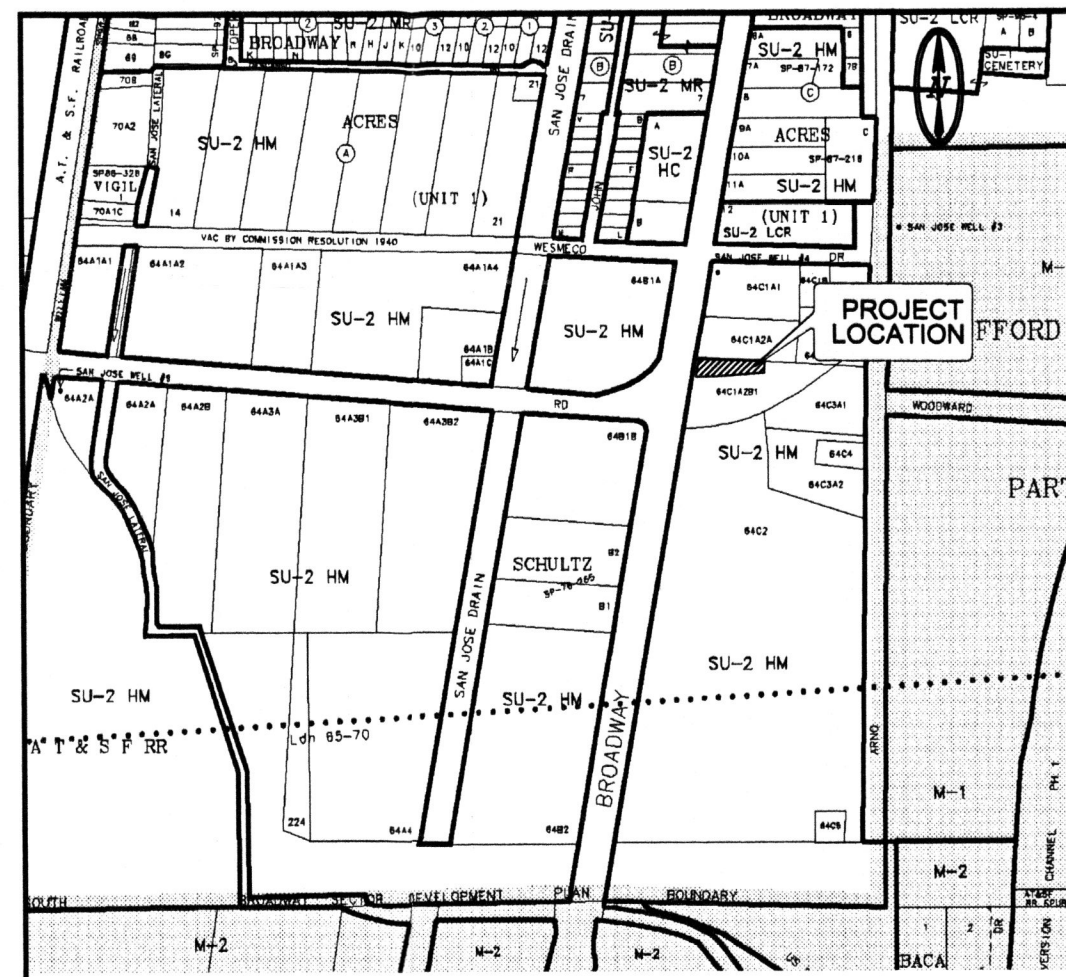
AGUAMATIC LANDSCAPING
OFFICE WAREHOUSE G&D
BROADWAY & WOODWARD S.E.
ALBUQUERQUE, NEW MEXICO



PROPOSED ON-SITE DRAINAGE BASIN MAP NTS



FIRM PANEL 35001C0342E NTS



VICINITY MAP ZAP M-14-Z NTS



OFFSITE DRAINAGE BASIN MAP NTS

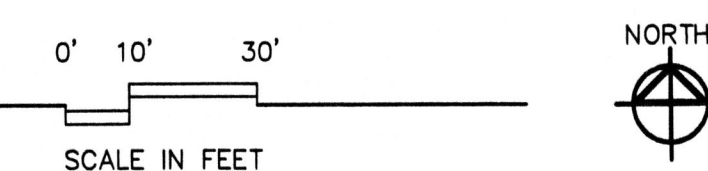
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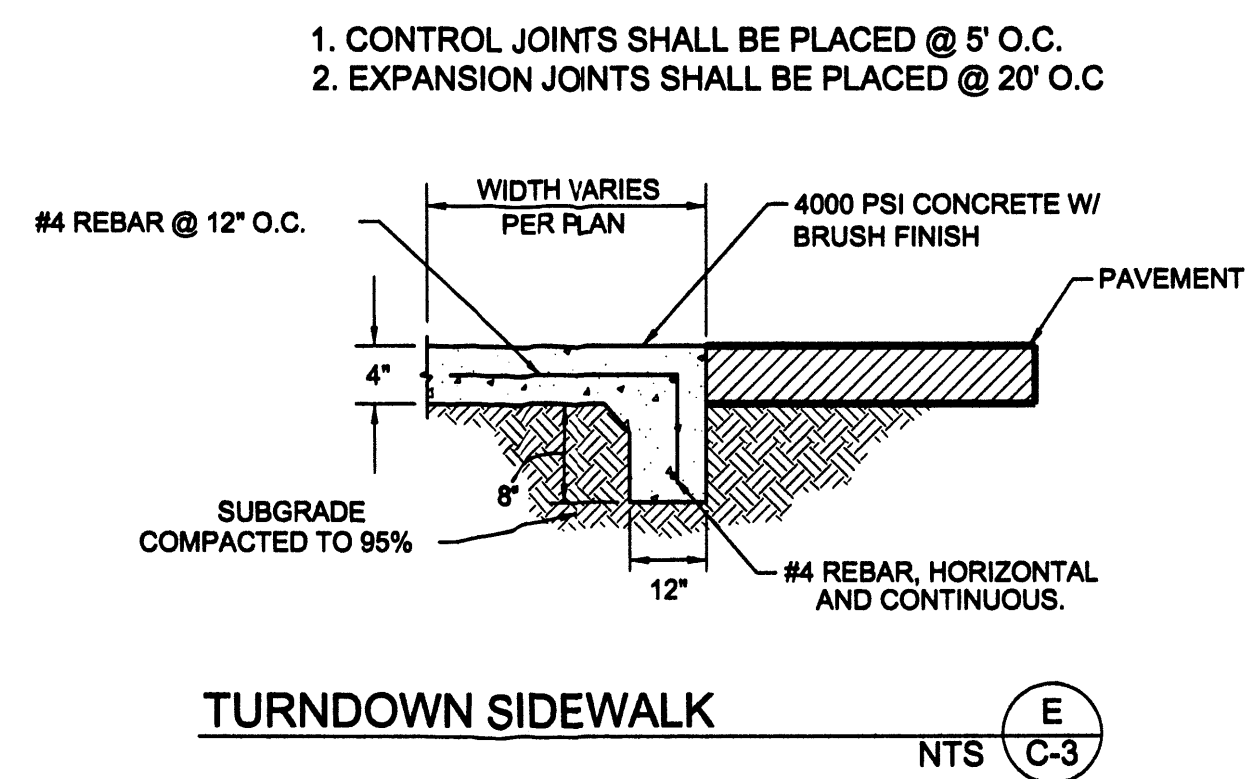
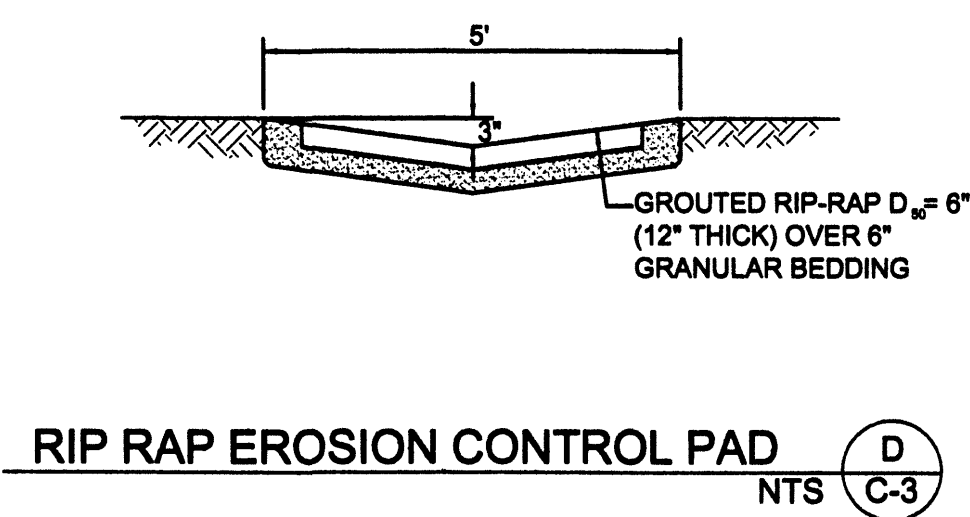
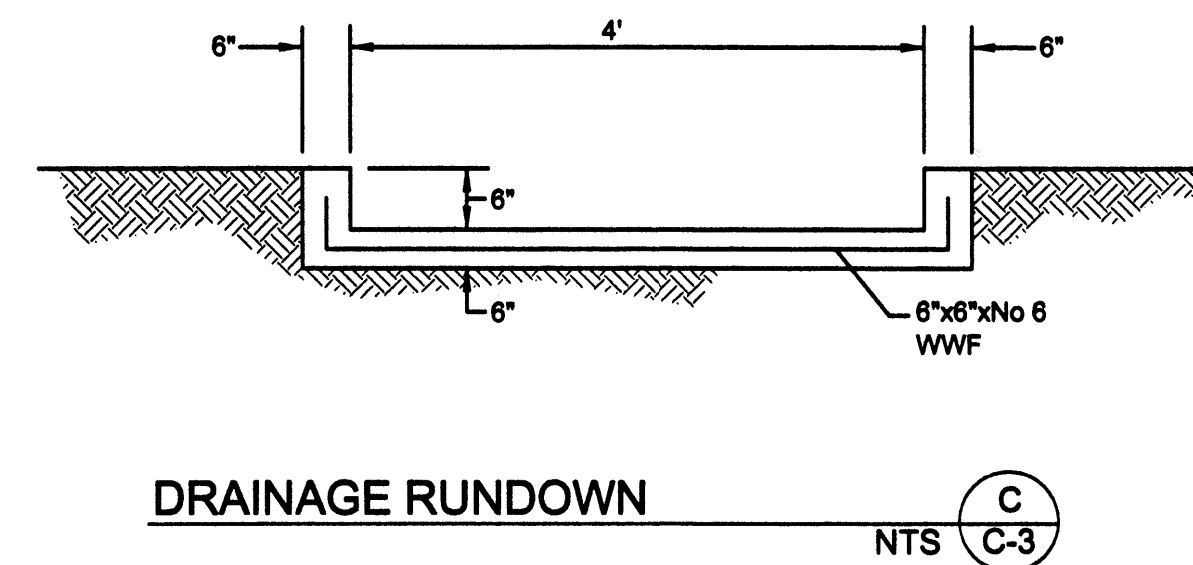
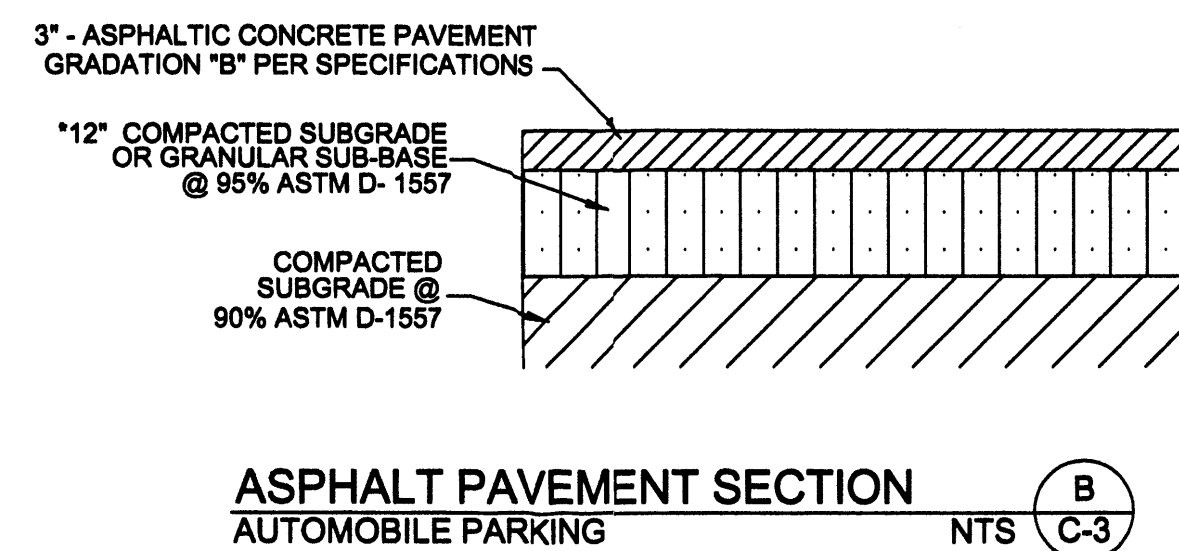
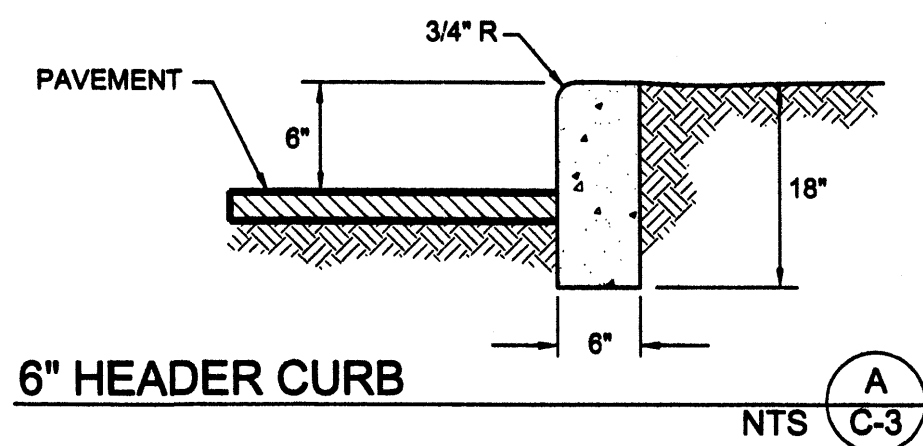
- EXISTING EDGE OF ASPHALT PAVEMENT.
- EXISTING ASPHALT PAVEMENT.
- EXISTING SANITARY SEWER MANHOLE. RIM = 4940.19'
- EXISTING STORM DRAIN MANHOLE. RIM = 4940.30'
- EXISTING SANITARY SEWER MANHOLE. RIM = 4955.58'
- EXISTING SANITARY SEWER MANHOLE. RIM = 4955.63'
- EXISTING SANITARY SEWER MANHOLE. RIM = 4957.91'
- EXISTING DROP INLET.
- EXISTING CONCRETE PAD.
- EXISTING CHAINLINK FENCE.
- NEW BICYCLE RACK.
- NEW 6" CONCRETE CURB.
- NEW HANDICAP PARKING.
- NEW HANDICAP SIGNAGE.
- NEW ASPHALT PAVEMENT.
- NEW MOTORCYCLE PARKING.
- NEW EDGE OF ASPHALT PAVEMENT.
- EXISTING CONCRETE WALL.
- NEW DETENTION POND.
- NEW DRAINAGE RUNDOWN PER (C-C-3).
- NEW 12" CMP WITH END SECTIONS.
- NEW 12" STORM DRAIN WITH END SECTION AT POND.
- CONNECT NEW 15" STORM DRAIN TO EXISTING INLET PER COA STD DWG 2237.
- NOT USED.
- NEW REFUSE ENCLOSURE.
- NEW CURB BLOCKOUT.
- NEW VALLEY GUTTER.
- NEW PAD MOUNT COOLERS.
- NEW ROOF GUTTER.
- INSTALL 5' X 5' RIP RAP EROSION CONTROL PAD. SEE DETAIL (D-C-3).

PROJECT HYDROLOGY										
AHYMO										
ZONE:	2									
P ₅ HOUR	2.35"									
P ₁₀ DAY	3.95"									
UNDEVELOPED:										
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)	VOL 10 DY (ac ft)	
SITE	1.92	0.00	0.00	1.90	0.02	1.14	6.0	0.182	0.184	
OS-1	0.63	0.00	0.00	0.63	0.00	1.13	2.0	0.059	0.059	
OS-2	0.64	0.00	0.00	0.64	0.00	1.13	2.0	0.060	0.060	
OS-3	0.13	0.00	0.00	0.13	0.00	1.13	0.4	0.012	0.012	
DEVELOPED (PROPOSED):										
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)	VOL 10 DY (ac ft)	
1	0.50	0.00	0.00	0.01	0.49	2.10	2.3	0.088	0.153	
2	1.24	0.00	0.00	1.23	0.01	1.13	3.9	0.116	0.117	
3	0.18	0.00	0.00	0.18	0.00	1.13	0.6	0.017	0.017	
SITE	1.92	0.00	0.00	1.42	0.50	1.38	6.8	0.221	0.287	
OS - 1	0.63	0.00	0.00	0.12	0.51	1.93	2.8	0.101	0.169	
OS - 2	0.63	0.00	0.00	0.62	0.01	1.14	2.0	0.060	0.061	
OS - 3	0.14	0.00	0.00	0.13	0.01	1.20	0.5	0.014	0.015	

GRADING AND DRAINAGE PLAN

SCALE: 1" = 30'-0"





DRAINAGE FACILITIES WITHIN CITY RIGHT-OF WAY
NOTICE TO CONTRACTOR

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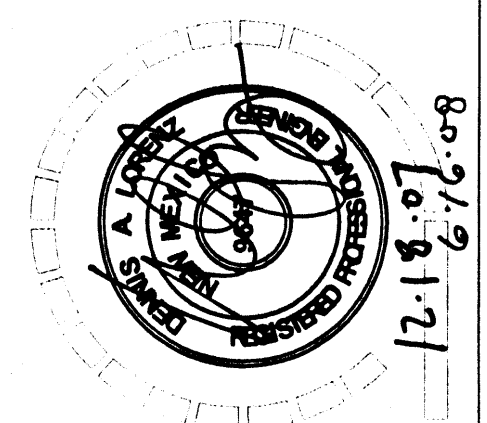
APPROVALS

INSPECTOR _____ DATE _____

GRADING AND DRAINAGE DETAILS

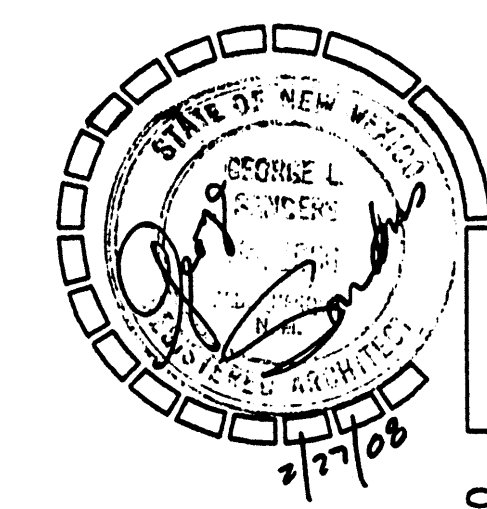
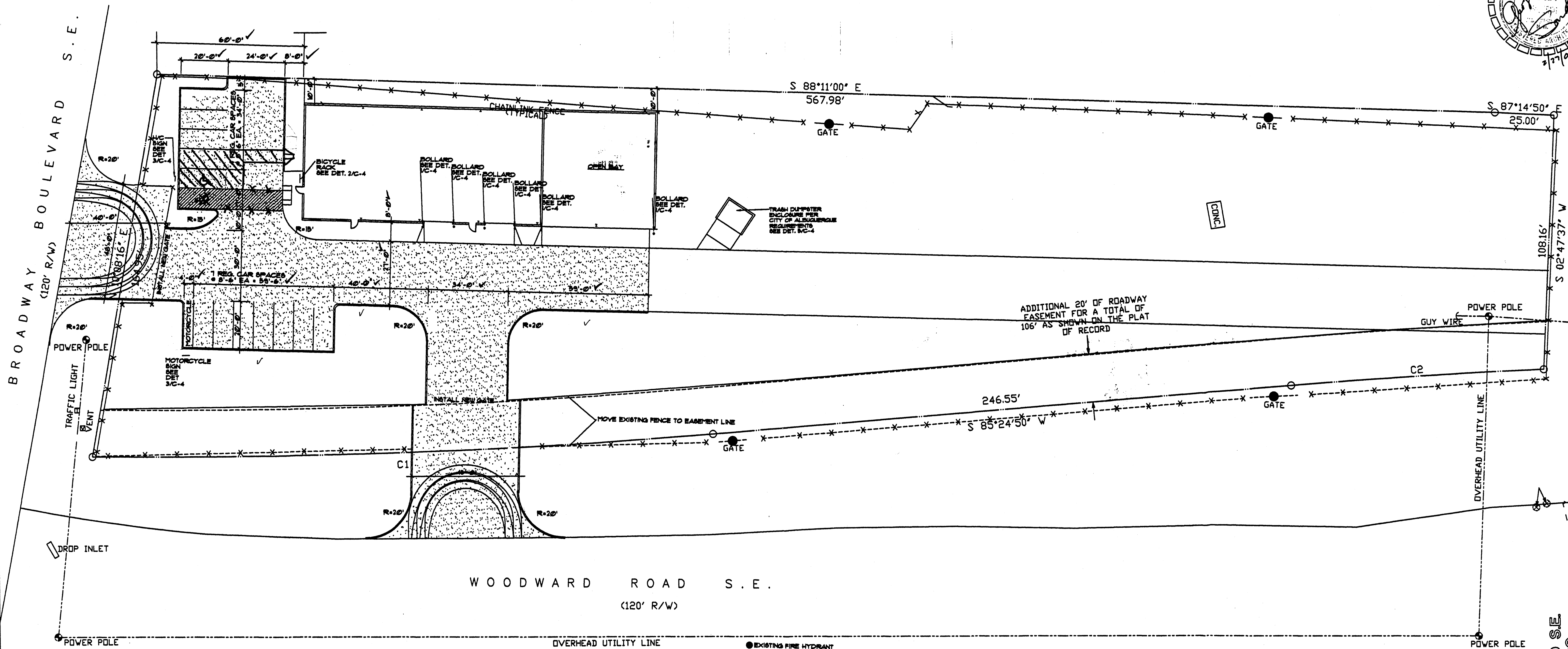
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JUN 17 2008
HYDROLOGY
SECTION

Project No. 08-01-01
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C-3
2 of 2
date

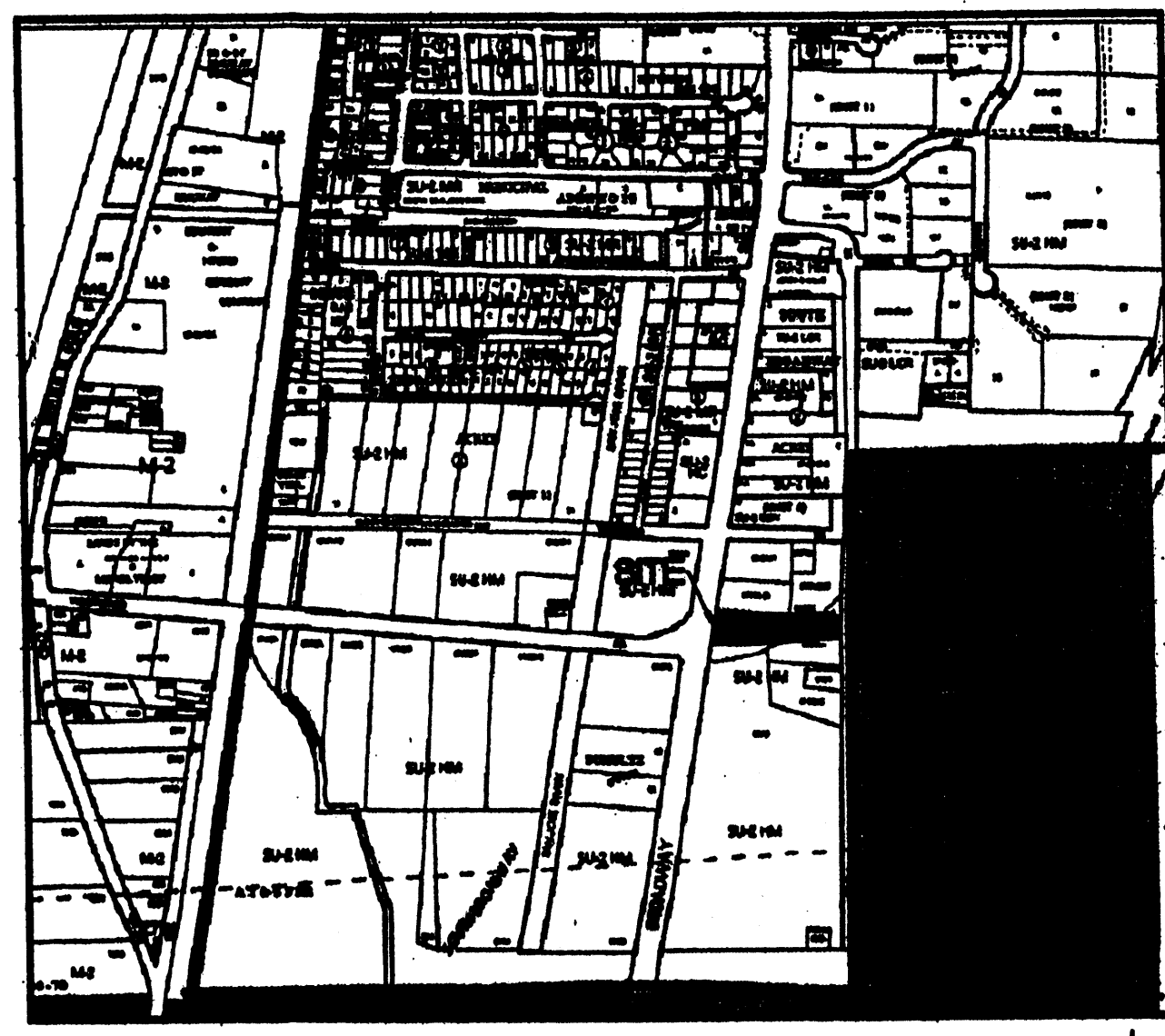


BRASHER & LORENZ
CONSULTING ENGINEERS
2001 Santa Fe Avenue, Suite 1300
Albuquerque, New Mexico 87111
PH: 505-588-4088 FAX: 505-588-4188

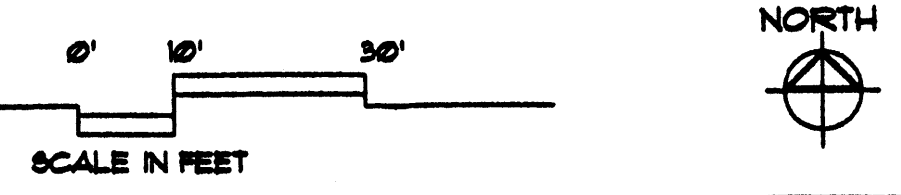
AGUAMATIC LANDSCAPING
OFFICE WAREHOUSE DETAILS
BROADWAY & WOODWARD S.E.
ALBUQUERQUE, NEW MEXICO
SANDERS & ASSOCIATES ARCHITECTS, P.C.



SITE PLAN
SCALE: 1" = 20'-0"



Vicinity Map Zone Atlas M-14-Z n.t.s.



ENGINEERS CERTIFICATION (TRAFFIC CIRCULATION LAYOUT) FOR PERMANENT CERTIFICATE OF OCCUPANCY

I, Dennis A. Lorenz, NMPE 9647, of the firm Brasher and Lorenz, Inc., hereby certify that this project has been constructed in substantial compliance with and in accordance with the design intent of the approved Traffic Circulation Layout prepared by Sanders and Associates Architects, P.C. dated 2-27-08.

The record information edited onto the original design document has been obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy.

The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance with the traffic aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Dennis A. Lorenz, NMPE 9647
Date

LEGAL DESCRIPTION:

TRACT N, SCHWARTZMAN INDUSTRIAL PARK
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM

PROPERTY ZONING:

BU-2 HM

PROPERTY ADDRESS:

3024 BROADWAY BLVD. SE

PARKING REQUIREMENTS

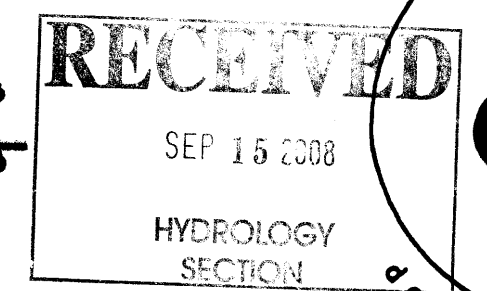
OFFICE - 2,000 S.F. 1 PARKING SPACE PER 200 S.F. = 10 SPACES
WAREHOUSE - 3,000 S.F. 1 PARKING SPACE PER 200 S.F. = 15 SPACES
TOTAL REQUIRED 25 SPACES

TOTAL PROVIDED 25 SPACES
REG CAR HANDICAP 1 SPACE

BICYCLE: 1 SPACE PER 20 CARS TOTAL: 1 REQ. 1 PROVIDED
MOTORCYCLE: 1 SPACE PER 25 CARS TOTAL: 1 REQ. 1 PROVIDED

10 SPACES
15 SPACES
25 SPACES

11 SPACES
1 SPACE
12 SPACES



TRAFFIC CIRCULATION

AGUAMATIC LANDSCAPING
 OFFICE WAREHOUSE
 BROADWAY & WOODWARD S.E.
 ALBUQUERQUE, NEW MEXICO
 SANDERS & ASSOCIATES ARCHITECTS, P.C. 5921 LOMAS BLVD. N.E. SUITE B ALBUQUERQUE N.M. 87110 (505) 255-5040 FAX (505) 255-5040

