

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

January 16, 2026

Jeffrey Wooten, P.E.
Wooten Engineering
1005 21st St SE Suite 13
Rio Rancho, NM 87124

RE: Dunkin
310 Avenida Cesar Chavez
Permanent C.O. - Accepted
Engineer's Certification Date: 12/17/2025
Engineer's Stamp Date: 10/24/2024
Hydrology File: L14D002
Case # HYDR-2026-00002

PO Box 1293

Dear Mr. Wooten:

Albuquerque

Based on the Certification received 10/20/2025 and the site visit on 1/8/2026, this letter serves an approval of the Engineering Certification from the Hydrology Section for a **Permanent Certificate of Occupancy** to be issued by the Building and Safety Division.

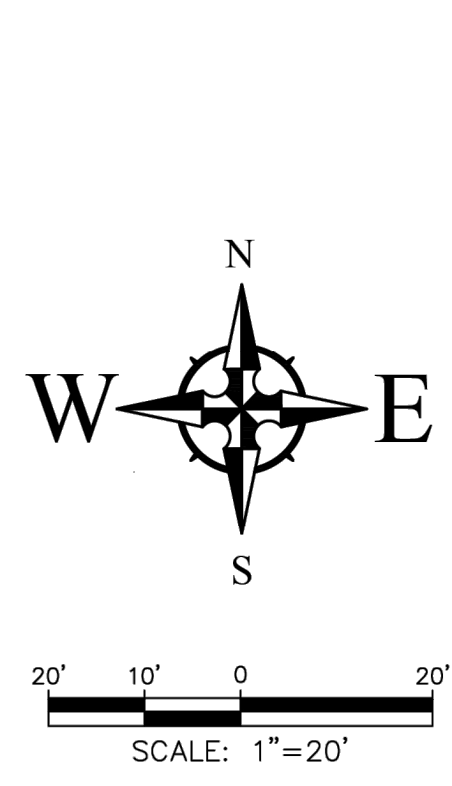
NM 87103

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

www.cabq.gov

Sincerely,

Anthony Montoya, Jr., P.E. CFM
Senior Engineer, Hydrology
Planning Department, Development Review Services



310 Avenida Cesar Chavez SW

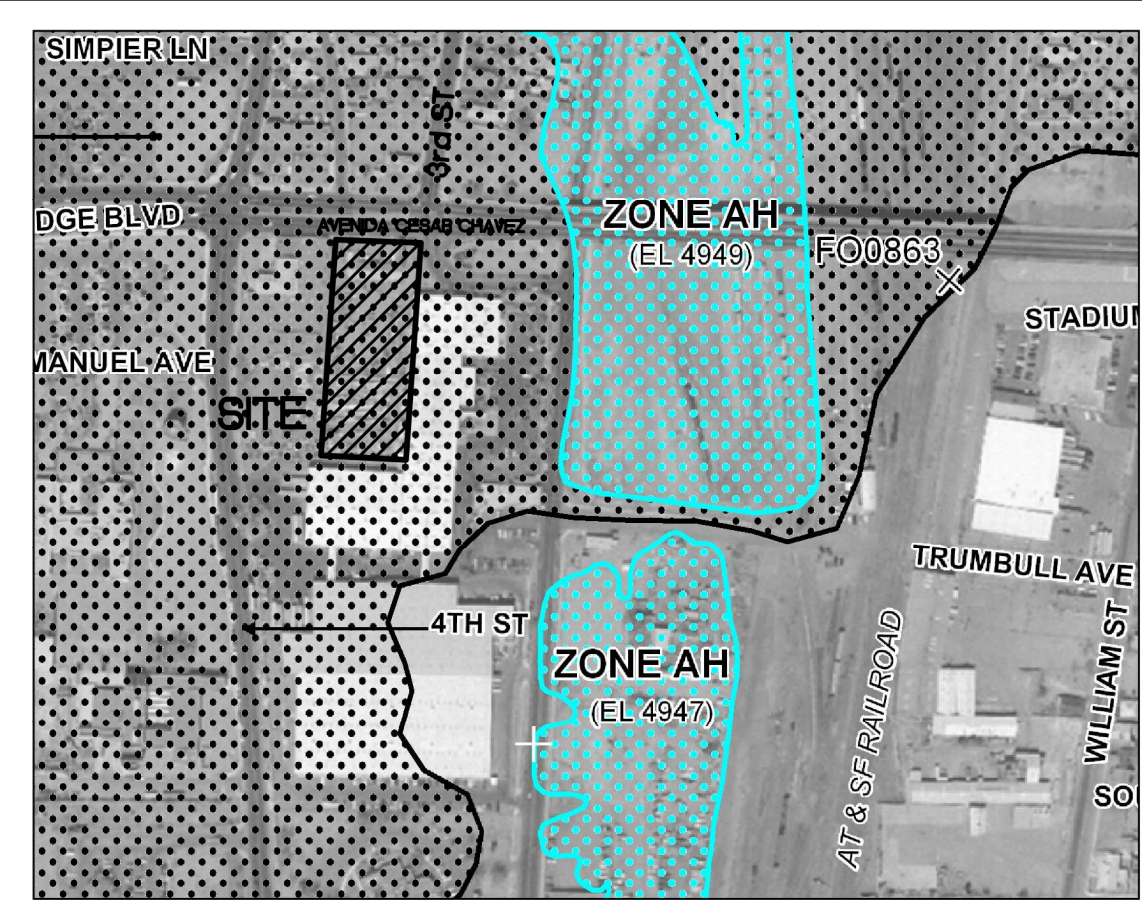
(100' R/W)

INSTALL LANDSCAPE BUFFER SWALE PER COA STD DWG 2414.

REMOVE EXISTING TYPE 'A' INLET AND REPLACE WITH A DOUBLE TYPE 'D' INLET PER COA STD DWG 2206. TOP OF GRATE = 4946.50

LEGEND

- ← FLOW ARROW
- 27.8 — PROPOSED TOP OF GRADE/PVMT ELEVATIONS
- FL27.8 — PROPOSED FLOW LINE/GUTTER ELEVATIONS
- TC27.8 — PROPOSED TOP OF CURB ELEVATIONS
- TG27.8 — PROPOSED TOP OF GRATE ELEVATION
- - - 515 - - - EXISTING CONTOUR
- 515 — PROPOSED CONTOUR
- EXISTING STORM DRAIN
- FLOW LINE
- RIDGE LINE



VICINITY MAP - Zone Atlas L-14-Z

LEGAL DESCRIPTION: TR G-1 PLAT OF SOUTH BARELAS INDUSTRIAL PARK UNIT #2 CONT 0.8424 AC

FIRM MAP 35001C0334G

Per Firm Map 35001C0334G, dated September 26, 2008, the site is located in the 'Zone X Floodplain' and determined to be within the 0.2% chance Annual Floodplain area with depths of less than 1 foot.

GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT (FIRST PRIORITY) SPECIFICATIONS, AND FOR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL, SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR PAVEMENT, MEDIANS, AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION (IF APPLICABLE) PRIOR TO BEGINNING CONSTRUCTION.
11. THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.

CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

- Private Drainage Facilities within City Right-of-Way**
Notice to Contractor
(Special Order 19 ~ "50-19")
1. Build sidewalk culvert per COA STD DWG 2236. Work is permitted and inspected by DMD Construction Services Division.
 2. An excavation permit will be required before beginning any work within City Right-Of-Way.
 3. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
 4. Prior to any excavation, the contractor must contact **New Mexico One Call**, dial "811" or (505) 260-1990 for the location of existing utilities.
 5. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
 6. Backfill compaction shall be 95%.
 7. Maintenance of the facility shall be the responsibility of the owner of the property being served.
 8. Work on arterial streets may be required on a 24-hour basis.
 9. For excavation and barricading inspections, contact DMD Construction Services Division.

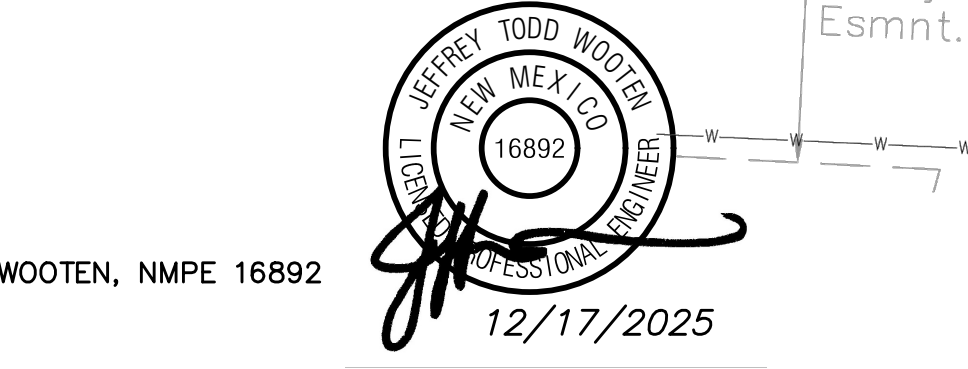
CITY INSPECTOR APPROVAL

Signature _____ Date _____

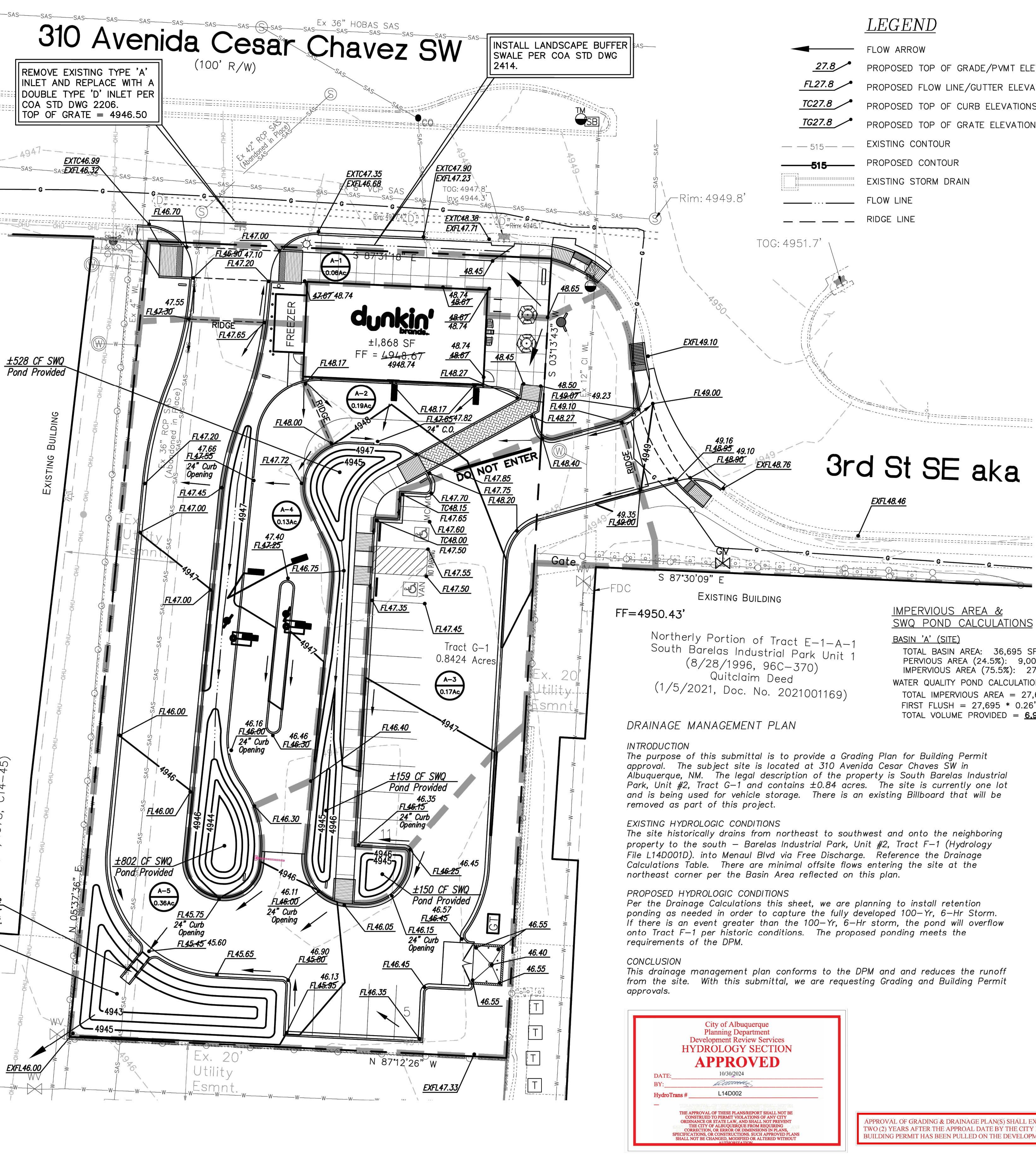
CERTIFICATION

T. WOOTEN, NMPE 16892, OF THE FIRM WOOTEN ENGINEERING, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN REVIEWED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH THE CITY OF ALBUQUERQUE ORDINANCES AND THE INTENT OF THE PLAN DATED 10/24/2024. THE RECORD DRAWING IS EDITED ONTO THE ORIGINAL DESIGN DOCUMENT OBTAINED BY BRIAN J. MARTINEZ, NMPS 18374, FROM CARTESIAN SURVEYS INC. I FURTHER CERTIFY THAT I PERSONALLY VISITED THE PROJECT SITE ON 12/17/2025 AND HAVE DETERMINED BY VISUAL INSPECTION SURVEY DATA PROVIDED IS REPRESENTATIVE OF THE ACTUAL CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS IN SUPPORT OF A REQUEST FOR PERMANENT OCCUPANCY (PERMANENT C.O.).

ADDITIONAL INFORMATION (CLOUDED) PRESENTED HEREON IS FOR INFORMATION ONLY AND IS NOT INTENDED TO BE A BASIS FOR COMPLIANCE WITH THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS DOCUMENT ARE ADVISED TO OBTAIN VERIFICATION OF ITS ACCURACY BEFORE USING FOR ANY OTHER PURPOSE.



WOOTEN, NMPE 16892
12/17/2025



IMPERVIOUS AREA & SWQ POND CALCULATIONS

BASIN 'A' (SITE)

TOTAL BASIN AREA: 36,695 SF
IMPERVIOUS AREA (24.5%): 9,000 SF
PERVIOUS AREA (75.5%): 27,695 SF

WATER QUALITY POND CALCULATION

TOTAL IMPERVIOUS AREA = 27,695 SF
FIRST FLUSH = 27,695 * 0.26" / 12" = 600 CF
TOTAL VOLUME PROVIDED = 6,919 CF

DRAINAGE MANAGEMENT PLAN

INTRODUCTION

The purpose of this submittal is to provide a Grading Plan for Building Permit approval. The subject site is located at 310 Avenida Cesar Chavez SW in Albuquerque, NM. The legal description of the property is South Barelas Industrial Park, Unit #2, Tract G-1 and contains ±0.84 acres. The site is currently one lot and is being used for vehicle storage. There is an existing Billboard that will be removed as part of this project.

EXISTING HYDROLOGIC CONDITIONS

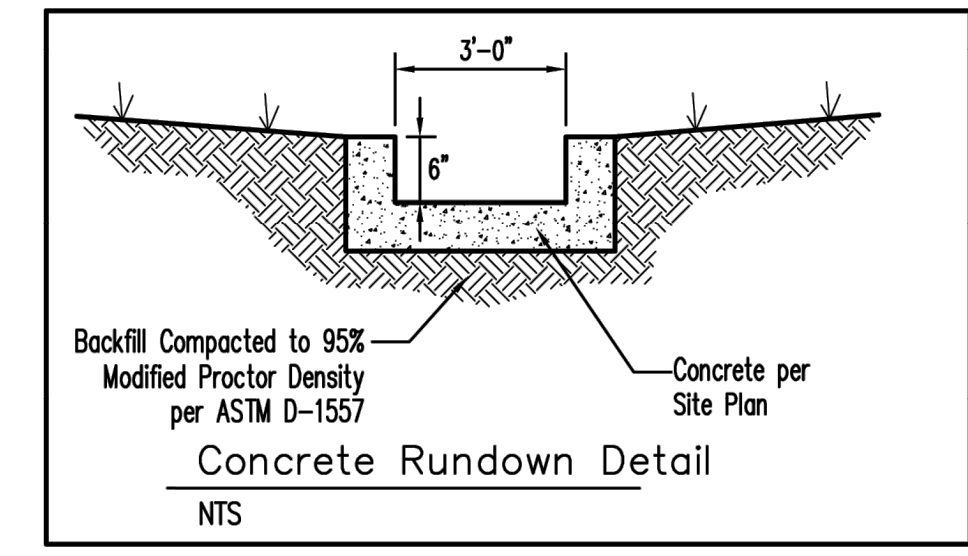
The site historically drains from northeast to southwest and onto the neighboring property to the south - Barelas Industrial Park, Unit #2, Tract F-1 (Hydrology File L14D001D), into Manual Blvd via Free Discharge. Reference the Drainage Calculations Table. There are minimal offsite flows entering the site at the northeast corner per the Basin Area reflected on this plan.

PROPOSED HYDROLOGIC CONDITIONS

Per the Drainage Calculations this sheet, we are planning to install retention ponding as needed in order to capture the fully developed 100-Yr, 6-Hr Storm. If there is an event greater than the 100-Yr, 6-Hr storm, the pond will overflow onto Tract F-1 per historic conditions. The proposed ponding meets the requirements of the DPM.

CONCLUSION

This drainage management plan conforms to the DPM and reduces the runoff from the site. With this submittal, we are requesting Grading and Building Permit approvals.

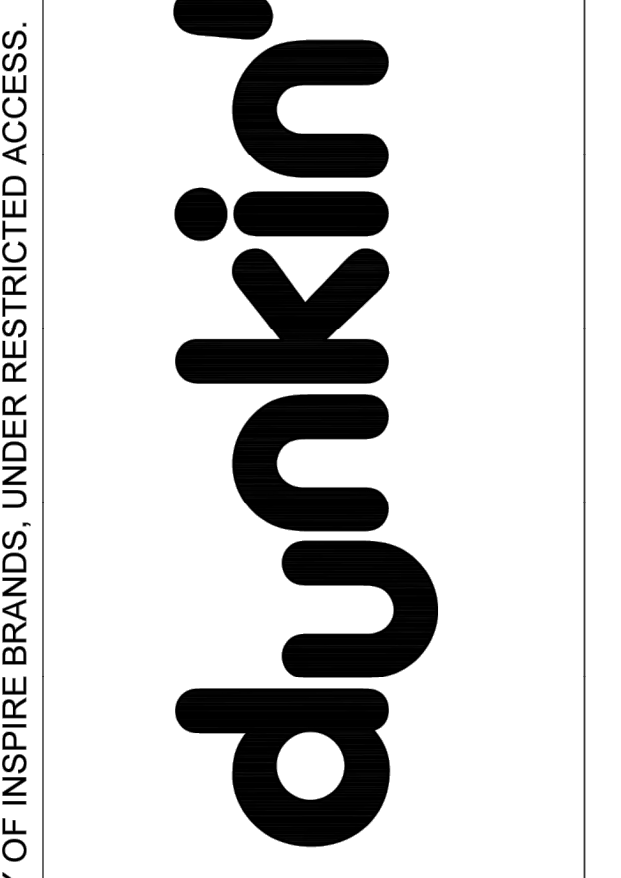


Wooten Engineering
1005 21st St SE, Suite 13
Rio Rancho, N.M. 87124
Phone: (505) 980-3560

This table is based on the COA DPM Chapter 6.2(A), Zone:2														
BASIN	Area (AC.)	Land Treatment Percentages (%)				Weighted C	Tc (min)	I (100) (in/hr)	Q(100) (cfs/ac.)	Q(100) (CFS)	WTE (inches)	V(100)360 (CF)	V(100)1day (CF)	Comments
A-1	0.06	0.0	0.0	100.0	0.0	0.63	12.00	3.05	1.92	0.12	1.03	224	224	To Avenida Cesar Chaves
A-2	0.19	0.0	0.0	100.0	0.0	0.63	12.00	3.05	1.92	0.37	1.03	710	710	To Adjacent Property - Southwest Corner
A-3	0.17	0.0	0.0	100.0	0.0	0.63	12.00	3.05	1.92	0.33	1.03	636	636	To Adjacent Property - Southwest Corner
A-4	0.13	0.0	0.0	100.0	0.0	0.63	12.00	3.05	1.92	0.25	1.03	486	486	To Adjacent Property - Southwest Corner
A-5	0.36	0.0	0.0	100.0	0.0	0.63	12.00	3.05	1.92	0.69	1.03	1346	1346	To Adjacent Property - Southwest Corner
TOTAL	0.91								1.75			3402	3402	

Ultimate Development Conditions Basin Data Table														
This table is based on the COA DPM Chapter 6.2(A), Zone:2														
BASIN	Area (AC.)	Land Treatment Percentages (%)				Weighted C	Tc (min)	I (100) (in/hr)	Q(100) (cfs/ac.)	Q(100) (CFS)	WTE (inches)	V(100)360 (CF)	V(100)1day (CF)	Comments
A-1	0.06	0.0	0.0	10.0	90.0	0.87	12.00	4.21	3.68	0.22	2.20	479	793	To Avenida Cesar Chaves
A-2	0.19	0.0	0.0	40.0	60.0	0.79	12.00	3.82	3.03	0.58	1.81	1248	1910	687 CF SWQ Ponding Provided
A-3	0.17	0.0	0.0	25.0	75.0	0.83	12.00	4.02	3.34	0.57	2.01	1237	1978	150 CF SWQ Ponding Provided
A-4	0.13	0.0	0.0	40.0	60.0	0.79	12.00	3.82	3.03	0.39	1.81	854	1307	802 CF SWQ Ponding Provided
A-5	0.36	0.0	0.0	30.0	70.0	0.82	12.00	3.95	3.24	1.17	1.94	2535	3999	5280 CF SWQ Ponding Provided
TOTAL	0.91								2.92			6354	9987	Total 6919 CF SWQ Ponding Provided

NOTE: DRAWINGS ARE NOT TO SCALE IF SHEET IS PLOTTED ON 11" x 17"



ARCHIS ARCHITECTS
4700 LINCOLN RD NE, SUITE 102 D
ALBUQUERQUE, NEW MEXICO 87109
(505) 998-7717
www.archisarchitects.com

JEFFREY TODD WOOTEN
ENGINEER
NEW MEXICO
16892
10/24/2024

NO	DESCRIPTION	DATE		SCALE	DRAWN	CKD	APPD
		NO	DESCRIPTION				
1							
2							
3							
4							
5							
6							
7							
8							
9							

DUNKIN' RESTAURANT
310 AVENIDA CESAR CHAVEZ SW
ALBUQUERQUE NM, 87102

GRADING PLAN

PROJECT NO. 23-008

C2.1

8/20/2024