

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

August 6, 2024

Roland Gatti rolandgatti.tech@gmail.com
Wooten Engineering
PO Box 15814
Rio Rancho, NM 87174

**Re: Dunkin Restaurant
310 Avenida Cesar Chavez SW
Traffic Circulation Layout
Engineer's/Architect's Stamp 5/6/2024 (L14D002)**

Dear Mr. Gatti,

The TCL submittal received 5-7-2024 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Sertil A. Kanbar

Sertil Kanbar, PhD, PE, CFM
Sr. Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: Dunkin Restaurant Hydrology File # _____
Legal Description: Tract G-1 Plat of South Barelmas Industrial Park, Unit #2
City Address, UPC, OR Parcel: 310 Avenida Cesar Chavez SW (UPC 101405610739920705)

Applicant/Agent: Wooten Engineering - Agent Contact: Jeffrey T. Wooten, P.E.
Address: PO Box 15814 , Rio Rancho, NM 87174 Phone: 505-980-3560
Email: jeffwooten.pe@gmail.com

Applicant/Owner: NMR-1600 RE, LLC Contact: Murad Fazal
Address: 1S376 Summit Ave, Oakbrook Terrace, IL Phone: 630-878-9965
Email: muradf@fdngroup.com

(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)

TYPE OF DEVELOPMENT: ☐ PLAT (#of lots) _____ ☐ RESIDENCE
☐ DFT SITE ☒ ADMIN SITE

RE-SUBMITTAL: ☒ YES ☐ NO

DEPARTMENT: ☒ TRANSPORTATION ☐ HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

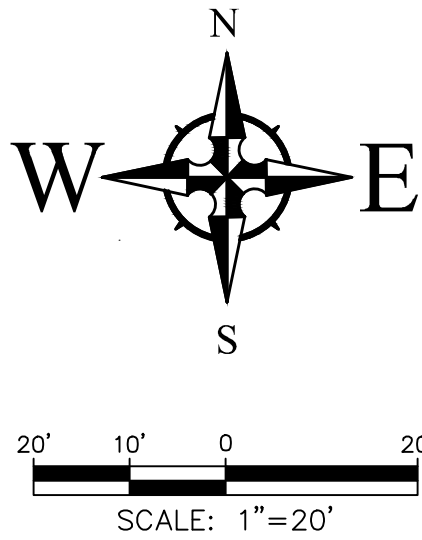
TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☐ GRADING & DRAINAGE PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL) ADMINISTRATIVE
- ☐ TRAFFIC CIRCULATION LAYOUT FOR DFT APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ CONCEPTUAL TCL DFT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT DFT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ OTHER (SPECIFY) _____

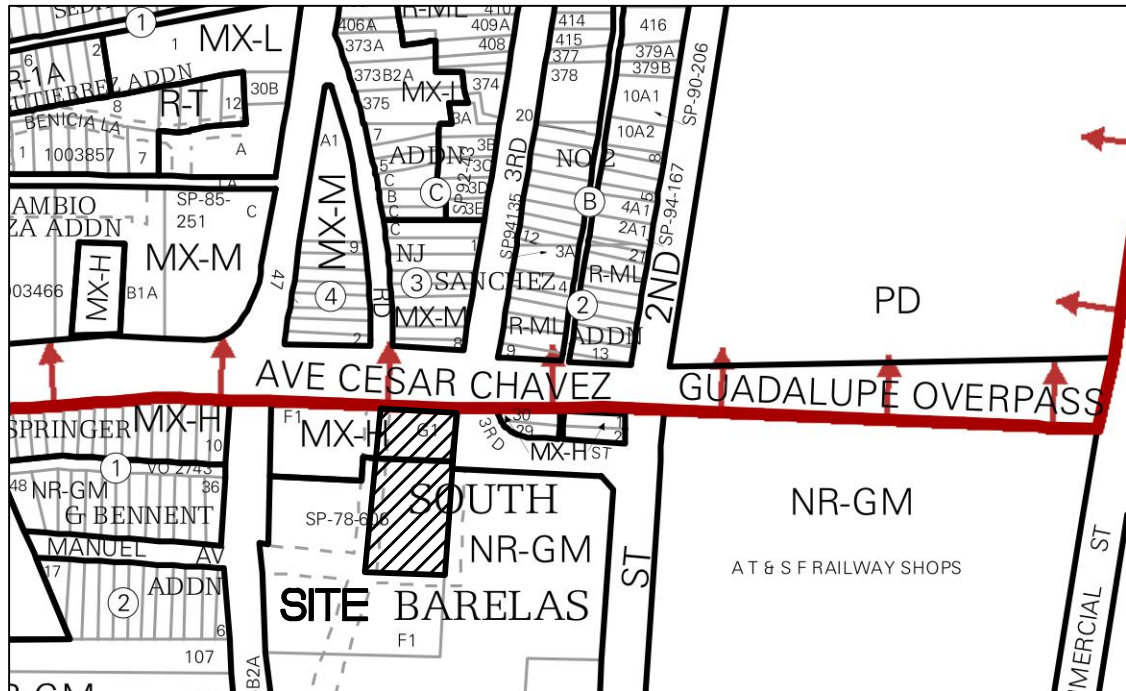
DATE SUBMITTED: August 6, 2024



CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

PARKING CALCULATIONS		
BUILDING AREA:	AREA (SQUARE FEET)	
RESTAURANT	+/- 2,087 SF	
OUTDOOR DINING	+/- 500 SF	
PARKING REQUIREMENTS:	REQUIRED	PROVIDED
RESTAURANT (5,6/1,000 SF)	10 spaces	
OUTDOOR DINING (3/1,000 SF)	2 spaces	
TOTAL (w/ 20% Reduction)	11 spaces	16 spaces
	REQUIRED	PROVIDED
HANDICAP PARKING	1 spaces	2 spaces
MOTORCYCLE PARKING	1 spaces	2 spaces
BICYCLE PARKING	3 spaces	4 spaces
DRIVE-THRU QUEUEING	12 spaces	16 spaces



VICINITY MAP - Zone Atlas L-14-Z

LEGAL DESCRIPTION: TR G-1 PLAT OF SOUTH BARELAS INDUSTRIAL PARK UNIT #2 CONT 0.8424 AC

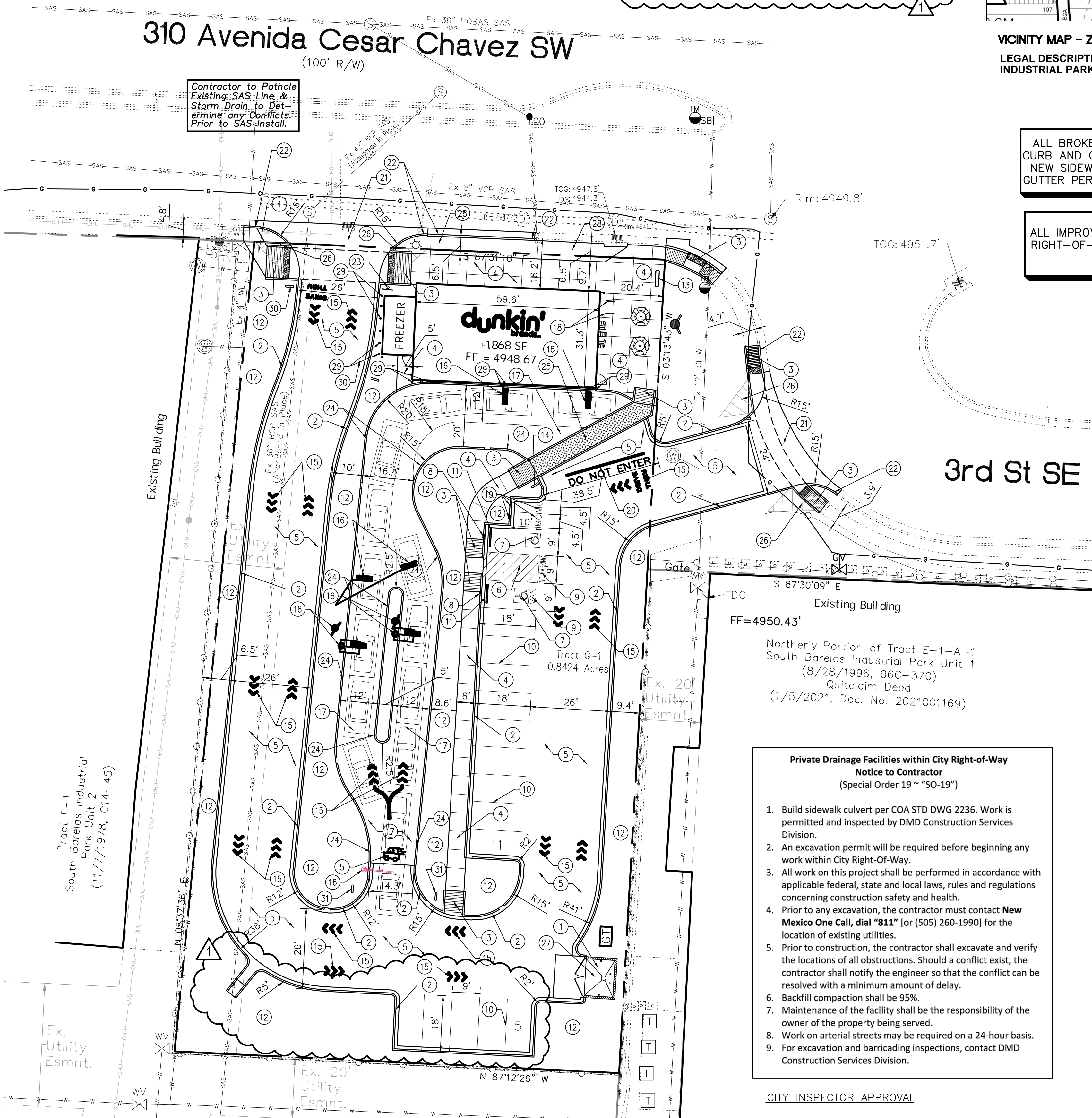
ALL BROKEN OR CRACKED SIDEWALK AND CURB AND GUTTER MUST BE REPLACED WITH NEW SIDEWALK AND STANDARD CURB AND GUTTER PER COA STD DWGS 2415A & 2430.

ALL IMPROVEMENTS LOCATED IN THE PUBLIC RIGHT-OF-WAY MUST BE INCLUDED ON THE WORK ORDER.

TRAFFIC CIRCULATION LAYOUT APPROVED
Sertil A. Kanbar 9/5/24

KEYED NOTES

- PROPOSED TRASH ENCLOSURE TO COMPLY WITH MINIMUM COA SOLID WASTE STANDARDS. CONTRACTOR SHALL COORDINATE WITH THE SOLID WASTE DEPARTMENT FOR THE REQUIRED INSPECTIONS DURING CONSTRUCTION. THE APPROACH TO THE FACE OF THE TRASH ENCLOSURE MEASURING 37' SHALL NOT EXCEED 1/8 INCH PER FOOT. A SMOOTH SURFACE WILL BE REQUIRED FOR CASTER SERVICE.
- INSTALL MEDIAN CURB/GUTTER (6" HIGH) PER COA STD DWG 2415A. GUTTER PAN SHALL BE SLOPED TO MATCH THE ADJACENT PAVEMENT. SECTION ON SHEET C1.2.
- INSTALL PERPENDICULAR OR PARALLEL CURB RAMP PER PLAN USING COA STD DWGS 2440-2446.
- INSTALL CONCRETE SIDEWALK PER COA STD DWG 2430. SIDEWALK CROSS SLOPE SHALL BE 2% MAX AND SLOPE AWAY FROM CURB.
- INSTALL ASPHALT PAVEMENT PER GEOTECHNICAL REPORT. HEAVY DUTY PAVEMENT SHALL BE PLACED IN MAIN DRIVEWAYS. LIGHT DUTY PAVEMENT MAY BE USED IN PARKING SPACE AREAS ONLY.
- INSTALL 4" WIDE PAINT STRIPES AT 45° ANGLE TO PARKING STRIPES, SPACED AT 1'-6" (WHITE PAINT IN PARKING LOT, BLUE PAINT IN ACCESSIBLE PARKING AREAS). MIN. TWO COATS.
- PAINTED INTERNATIONAL WHEELCHAIR SYMBOL (BLUE) PER ADA STANDARDS. MIN. TWO COATS. INDICATE VAN ONLY SPACE AS SHOWN ON PLAN.
- INSTALL H/C SIGNAGE PER DETAIL, SHEET C102. ADD VAN ACCESSIBLE SIGNAGE WHERE NOTED. SIGNAGE SHALL BE MOUNTED TO BUILDING. H/C SIGN MUST INCLUDE LANGUAGE PER 66-7-352.4C NMSA 1978 "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING." REF DETAIL ON SHEET C1.2.
- PAINT WORDS 'NO PARKING' &/OR 'VAN' WITH LETTERS AT LEAST ONE FOOT HIGH AND 2 INCHES WIDE. MIN. TWO COATS.
- INSTALL 4" WIDE PAINT STRIPES (WHITE) FOR ALL PARKING SPACES. MIN. TWO COATS.
- INSTALL PRE-CAST WHEEL STOP PER DETAIL, SHEET C1.2.
- LANDSCAPED AREA. REF. LANDSCAPE PLAN.
- APPROX. LOCATION OF DUNKIN' PYLON SIGNAGE. REF. ARCHITECTURAL PLANS FOR DETAILS. SIGN BY SEPARATE PERMIT.
- INSTALL DUNKIN' BRAND 'DO NOT ENTER / SEE YOU SOON' SIGNAGE. REF. ARCHITECTURAL PLANS FOR DETAILS.
- PAINT DUNKIN' DIRECTIONAL ARROWS AND SYMBOLS PER DUNKIN STANDARDS.
- INSTALL DUNKIN' BRAND DRIVE THRU EQUIPMENT. REF. ARCHITECTURAL PLANS FOR DETAILS.
- INSTALL 6" HEAVY DUTY CONCRETE PER THE GEOTECHNICAL REPORT. SECTION ON SHEET C1.2.
- INSTALL BICYCLE RACKS (2) FOR A TOTAL OF FOUR SPACES PER DETAIL, SHEET C1.2.
- MOTORCYCLE PARKING; 2 SPACES. ADD PAINT LABEL 'MOTORCYCLE ONLY' (2 COATS) AND SIGNAGE. REF. SHEET C1.2 FOR DETAIL.
- INSTALL PRIVATE ENTRANCE PER PLAN AND PER COA STD DWG 2426.
- INSTALL CURB/GUTTER TO MATCH EXISTING PER COA STD DWG 2415A
- INSTALL STOP SIGN (R-1-1-30). SIGN POST DETAIL ON SHEET C1.2.
- INSTALL MONOLITHIC CURB ONTO CONCRETE PAVEMENT TO MATCH THE MEDIAN CURB/GUTTER (6" HIGH) PER COA STD DWG 2415A. GUTTER PAN SHALL BE SLOPED TO MATCH THE ADJACENT PAVEMENT.
- INSTALL STAMPED CONCRETE CROSSWALK PER DETAIL, SHEET C1.2.
- 11'x11' MINI CLEAR SIGHT TRIANGLE. LANDSCAPING, FENCING, AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- A DRAIN SHALL BE INSTALLED IN THE DUMPSTER ENCLOSURE AREA THAT CONNECTS TO THE SANITARY SEWER. REF. UTILITY PLAN, SHEET C3.1.
- INSTALL LANDSCAPE BUFFER SWALE PER COA STD DWG 2414.
- INSTALL CONCRETE BOLLARD. REF ARCHITECTURAL PLANS FOR DETAIL.
- INSTALL DUNKIN' BRAND 'WELCOME BACK / SEE YOU SOON' SIGNAGE. REF. ARCHITECTURAL PLANS FOR DETAILS.
- INSTALL DUNKIN' BRAND 'DRIVE-THRU / DRIVE-THRU' SIGNAGE. REF. ARCHITECTURAL PLANS FOR DETAILS.



Private Drainage Facilities within City Right-of-Way
Notice to Contractor
(Special Order 19 ~ "SO-19")

- Build sidewalk culvert per COA STD DWG 2236. Work is permitted and inspected by DMD Construction Services Division.
- An excavation permit will be required before beginning any work within City Right-Of-Way.
- All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
- Prior to any excavation, the contractor must contact **New Mexico One Call**, dial "811" [or (505) 260-1990] for the location of existing utilities.
- Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
- Backfill compaction shall be 95%.
- Maintenance of the facility shall be the responsibility of the owner of the property being served.
- Work on arterial streets may be required on a 24-hour basis.
- For excavation and barricading inspections, contact DMD Construction Services Division.

CITY INSPECTOR APPROVAL

Signature

Date



Wooten Engineering
1005 21st St SE, Suite 13
Rio Rancho, N.M. 87124
Phone: (505) 980-3560

dunkin'

ARCHIS ARCHITECTS
4700 LINCOLN RD NE, SUITE 102 D
ALBUQUERQUE, NEW MEXICO 87109
(505) 998-7717
www.archisarchitects.com



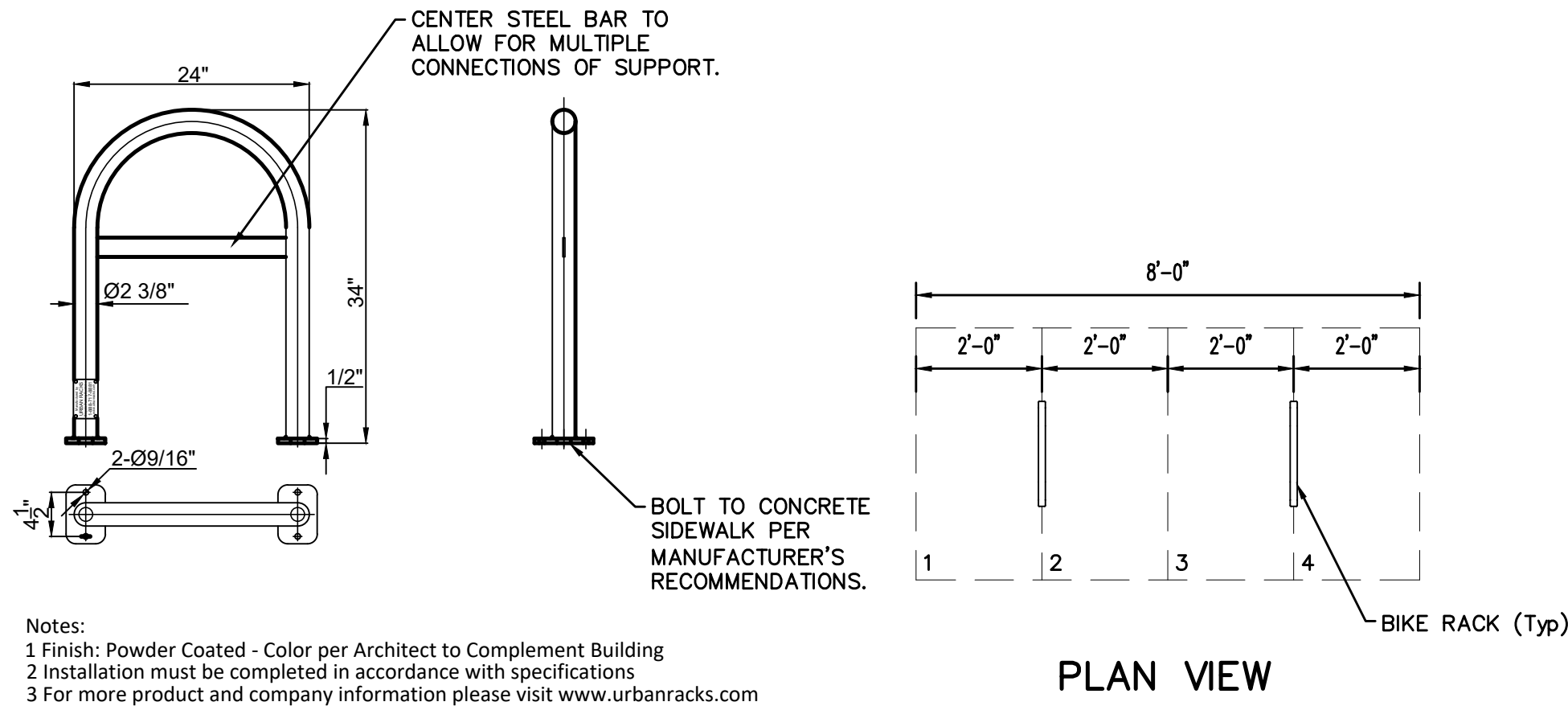
THESE PLANS ARE CONFIDENTIAL PROPERTY OF INSPIRE BRANDS. UNDER RESTRICTED ACCESS.

SET REVISIONS		DATE	SCALE	DRAWN	CKD	APPD
NO	DESCRIPTION	DATE	SCALE	DRAWN	CKD	APPD
1	REMOVED PARKING SPACES FOR PONDING	9/5/2024				
2						
3						
4						
5						
6						
7						
8						
9						

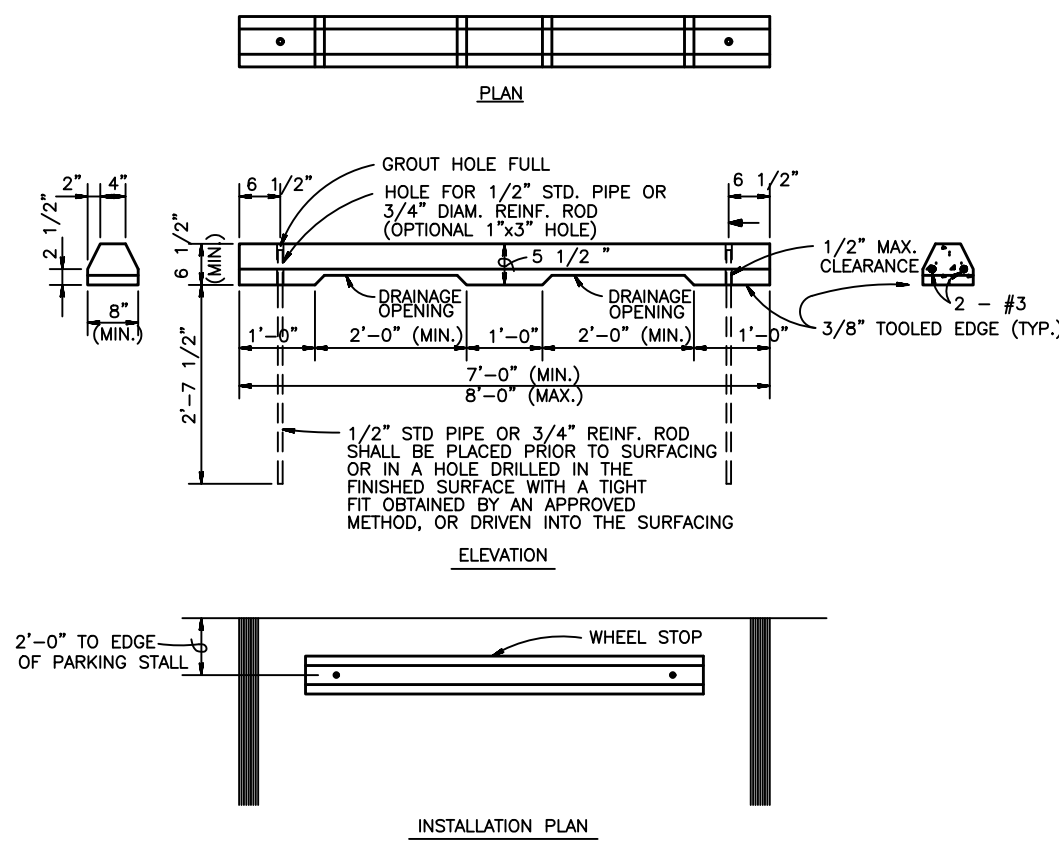
DUNKIN' RESTAURANT
310 AVENIDA CESAR CHAVEZ SW
ALBUQUERQUE NM. 87102

SITE PLAN

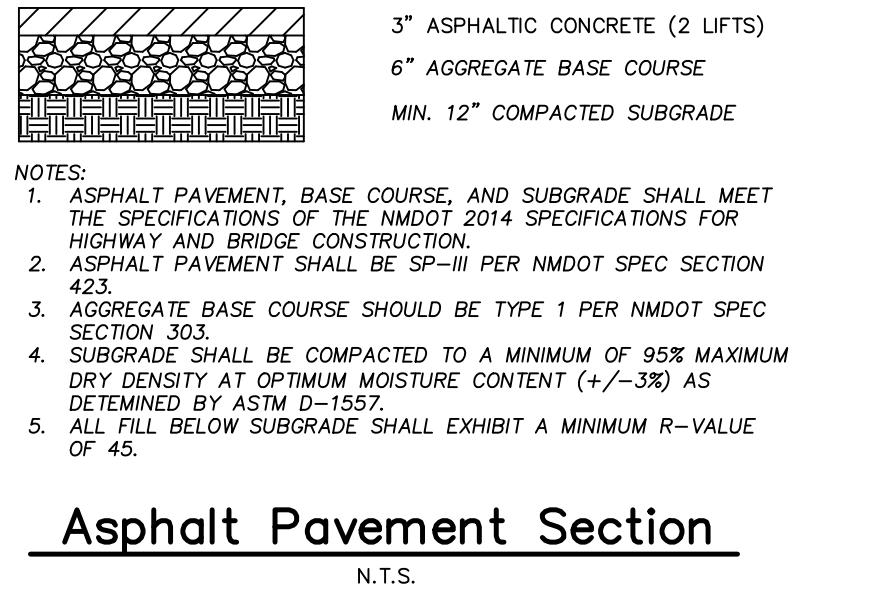
C1.1



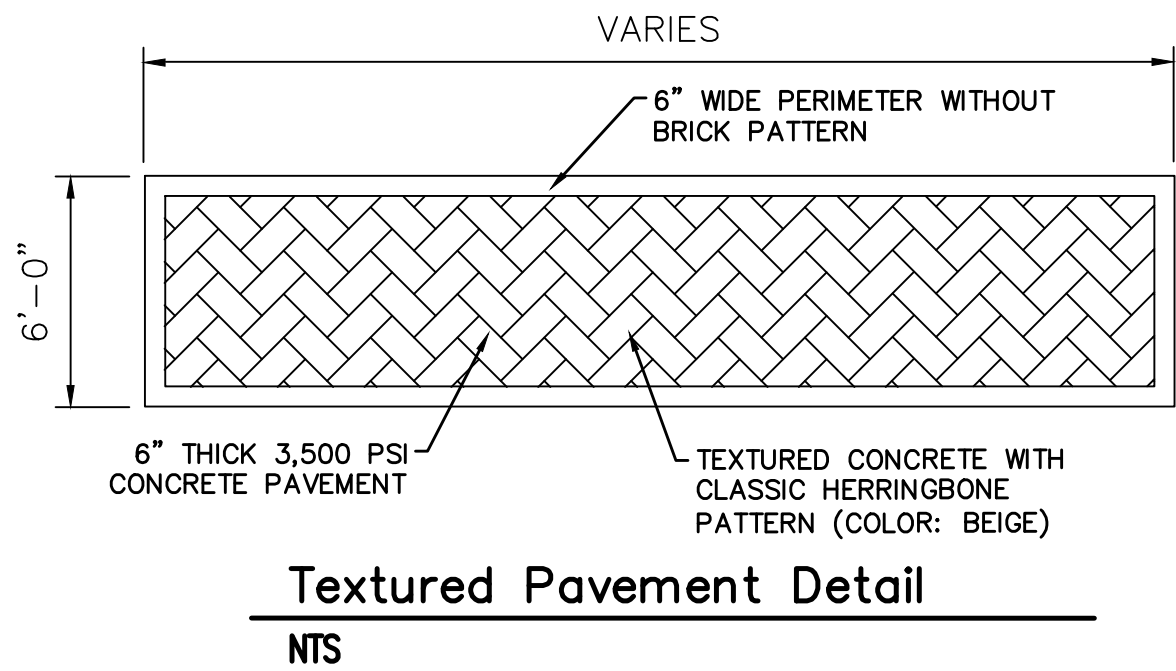
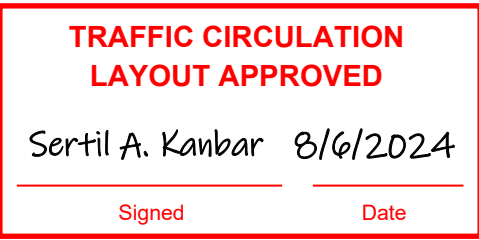
Urban Rack (UB-1000-STD)
NTS



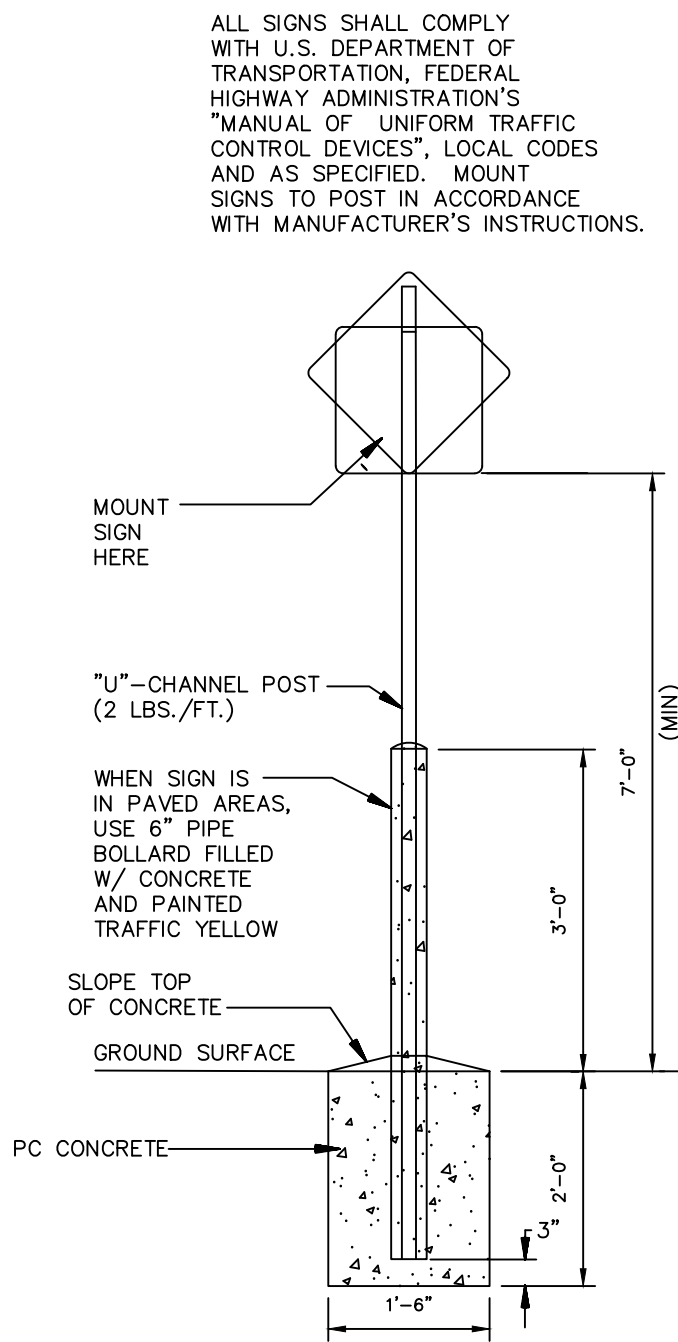
Precast Concrete Wheel Stop
NTS



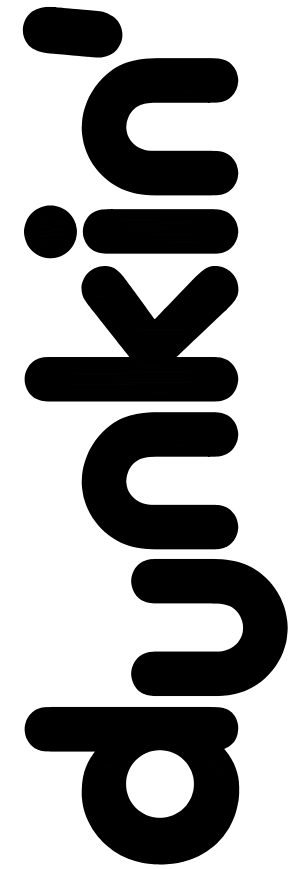
Concrete Pavement Section
N.T.S.



H/C Sign Detail
NTS



Standard Sign Base
NTS



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4700 LINCOLN RD NE, SUITE 102 D
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DATE	SCALE	DRAWN	CKD	APPD
1	2	3	4	5
6	7	8	9	

DUNKIN RESTAURANT 310 AVENIDA CESAR CHAVEZ SW ALBUQUERQUE NM. 87102	SITE DETAILS	
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C1.2