

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 13, 2025

Robert Fierro, P.E.
Fierro & Company
6300 Montano Rd. NW
Albuquerque, NM 87120

**RE: Fuentes Auto Sales
700 Gibson Blvd. SE
Grading & Drainage Plan
Engineer's Stamp Date: 7/12/2024
Hydrology File: L14D010
Case # HYDR-2025-00127**

Dear Mr. Fierro:

PO Box 1293

Based upon the information provided in your submittal received 04/15/2025, the Grading Plan is approved for Building Permit. Please attach a copy of this approved plan in the construction sets for Grading Permit processing along with a copy of this letter.

Albuquerque

PRIOR TO CERTIFICATE OF OCCUPANCY:

NM 87103

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

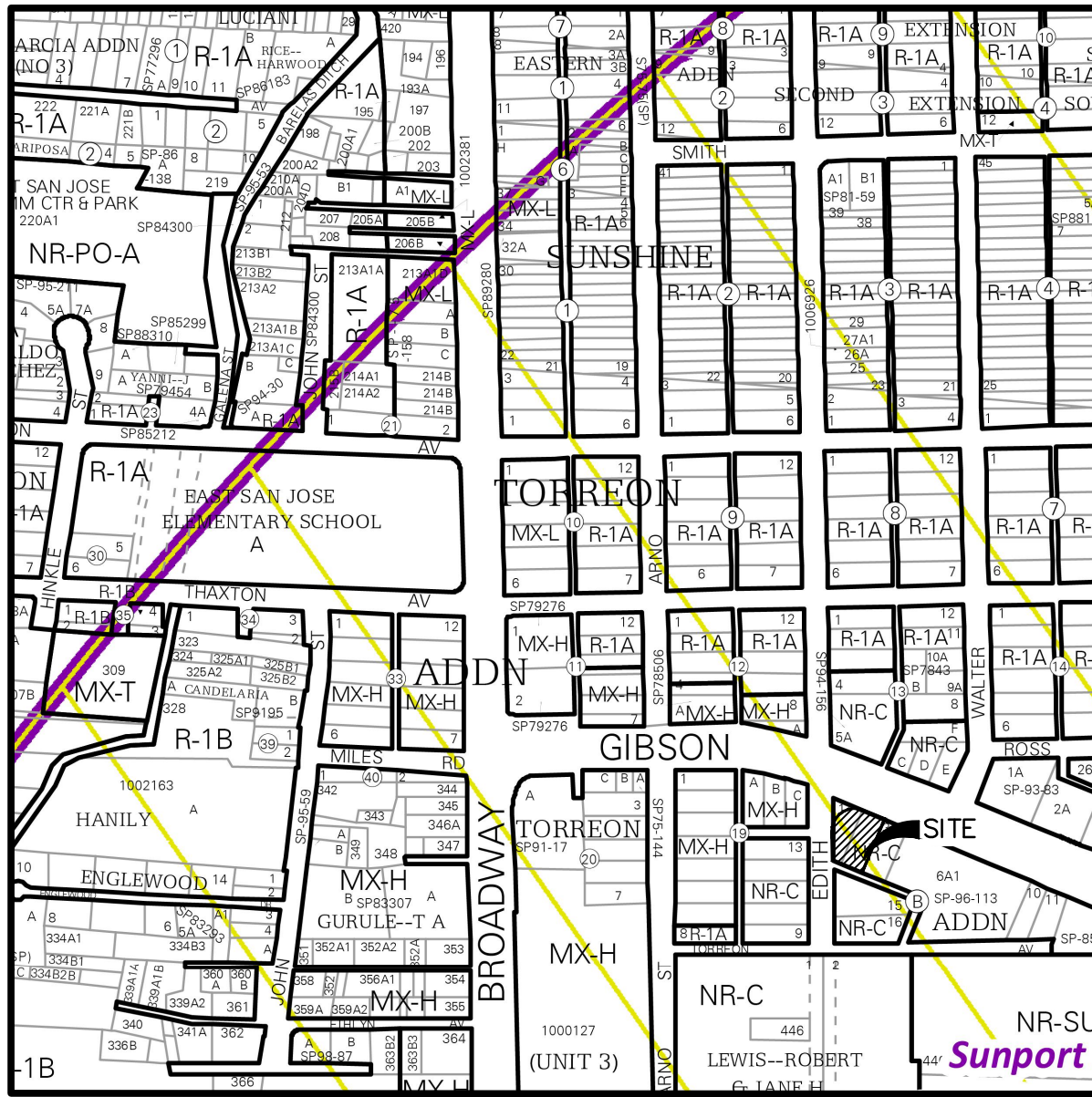
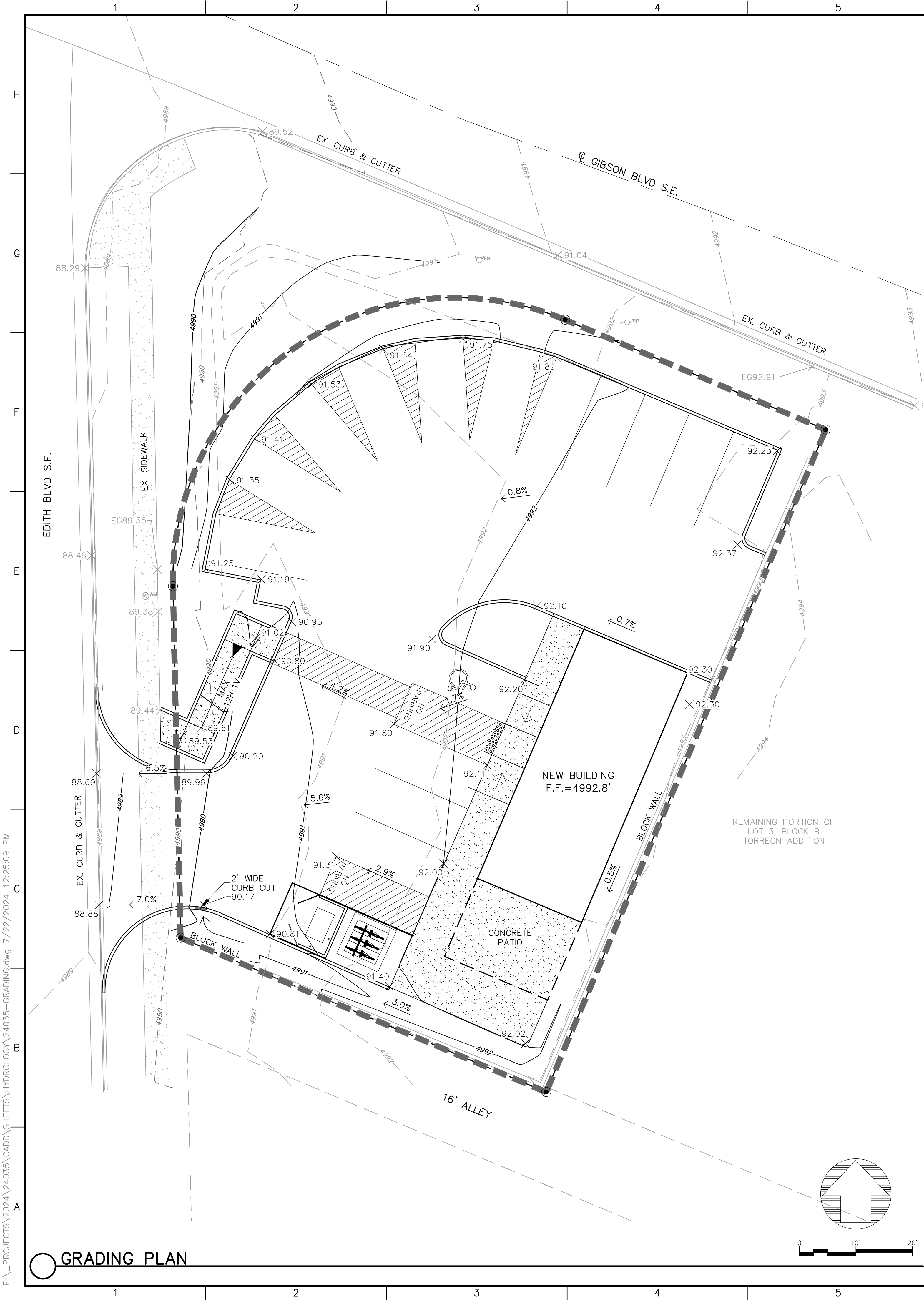
www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, jhughes@cabq.gov, 505-924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

Anthony Montoya, Jr., P.E., CFM
Senior Engineer, Hydrology
Planning Department, Development Review Services



Introduction

The site is located at 700 Gibson Blvd. SE, and is 0.25 acres. The purpose of this Grading & Drainage Plan is to 1) provide hydrologic and hydraulic analysis of the historic and proposed condition, 2) satisfy allowable stormwater discharge rates, and 4) seek approval for building permit.

Methodology

Hydrologic procedures presented in the Hydrology Section of the DMP, Article 6-2(a), approved June 8, 2020 were followed. Precipitation Zone 2 data was used in the hydrologic computations.

Existing Condition

The site slopes from East to West at approximately 4%. Runoff from the site sheet flows to Edith Blvd. Looking through old aerials, the site once had a couple of small buildings. There is also currently a meter pole on the site, which confirms that the site was developed in the past. There is not any off-site runoff entering the site. A block wall is located on the east and south property lines. The adjoining roads are full constructed with curb & gutter and sidewalk.

Proposed Condition

A 950 sq.ft. office building is proposed, which will be used as an auto sales office. Runoff from the site will outlet via the driveway located on Edith Blvd. The site is small and has steep slopes from Edith Blvd. to the buildings, which makes it difficult to direct runoff to a storm water quality pond. Therefore, a payment-in-lieu is being requested. The required S.W.Q.V. is 194 cu.ft. and at \$8/cu.ft. the amount of payment-in-lieu is \$1,552.00. The \$8/cu.ft. is the amount for a re-developed site. The site was previously developed as stated under the existing conditions.

DRAINAGE NARRATIVE

HYDROLOGY SUMMARY										
BASIN	Total Area (sq.ft.)	Total Area (acres)	Land Treatment (%)				Q ₁₀₀ (cfs)	V _{100yr-24hr} (ac-ft)	V _{100yr-24hr} (cf)	V _{SWQ} (cu-ft)
			A	B	C	D				
100(EXISTING)	11193	0.2570	0.0	50.0	50.0	0.0	0.7	0.020	853	N/A
100(PROPOSED)	11193	0.2570	0.0	20.0	0.0	80.0	1.0	0.048	2112	194

HYDROLOGY SUMMARY

STORMWATER QUALITY VOLUME (WAIVER):

GIVEN:

Area₀=8,955 sq.ft.

Site is a redevelopment as stated in the existing conditions.

SOLUTION:

$$SWQV = \frac{1}{2}(R_0 * Area_0) = \frac{1}{2}[0.26 * 8,955 \text{ sq.ft.}] = 194 \text{ cu.ft.}$$

CONCLUSION: A waiver application is being submitted to allow runoff generated from 8,955 sq.ft of impervious area to discharge to Edith Boulevard S.E. without first draining to a Best Management Practice (BMP).

STORMWATER QUALITY VOLUME CALCULATIONS

GENERAL GRADING NOTES:

- THE CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES SHOWN AND COORDINATE WITH ALL UTILITY OWNERS PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR SHALL LIMIT DISTURBANCE OF NATIVE VEGETATION TO A MINIMUM.
- THIS PLAN RECOMMENDS POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES TO PROHIBIT PONDING OF RUNOFF WHICH MAY CAUSE STRUCTURAL SETTLEMENT. FUTURE ALTERATION OF GRADES ADJACENT TO THE PROPOSED STRUCTURES IS NOT RECOMMENDED.
- PERFORM GRADING AND EXCAVATION WORK IN COMPLIANCE WITH APPLICABLE SPECIFICATIONS, REQUIREMENTS, CODES AND ORDINANCES OF CITY OF ALBUQUERQUE, NEW MEXICO.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF OR OBTAINING EXCESS CUT OR FILL MATERIAL REQUIRED FOR FINAL GRADE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND COORDINATING WITH NEW MEXICO ONE CALL PRIOR EXCAVATION.
- CLEAR AND GRUBBING PER NM APWA SECTION 201 SPECIFICATION.
- SPOT ELEVATIONS ARE TO FINISH GRADE UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL CONFINE THEIR WORK TO WITHIN THE CONSTRUCTION LIMITS AND/OR PUBLIC RIGHT-OF-WAY TO PRESERVE EXISTING VEGETATION, LANDSCAPING, AND PRIVATE PROPERTY. APPROVAL OF THESE PLANS DOES NOT GIVE OR IMPLY ANY PERMISSION TO TRESPASS OR WORK ON PRIVATE PROPERTY. PERMISSION MUST BE GRANTED IN WRITING BY THE OWNER OF THAT PROPERTY.
- CONTRACTOR TO CLEAN UP SEDIMENT AND DEBRIS ON THE STREET, WHICH IS CAUSED BY CONSTRUCTION, AT THE END OF EACH WORK DAY. TEMPORARY DIRT RAMPS ARE NOT TO BE LEFT IN STREETS OR NEAR CURB.

PROJECT INFORMATION

BENCHMARK

CITY OF ALBUQUERQUE SURVEY MONUMENT: ACS BM, 13-114
NORTHING: 1477685.829 (NM SPC, CENTRAL ZONE, NAD 1983)
EASTING: 1522174.051 (NM SPC, CENTRAL ZONE, NAD 1983)
ELEVATION: 4970.90' (NAVD 1988, U.S. SURVEY FOOT)

DESCRIPTION

A CERTAIN PARCEL OF LAND BEING IDENTIFIED AS A PORTION OF LOTS ONE (1) AND TWO (2) IN BLOCK LETTERED "B" OF ANDERSON & THAXTON'S REPLAT OF A PORTION OF THE TORREON ADDITION, TO THE CITY OF ALBUQUERQUE, WITHIN THE TOWN OF ALBUQUERQUE GRANT, BERNALILLO COUNTY, NEW MEXICO, AS FILED MARCH 24, 1943

FLOOD NOTE:

THIS PROPERTY LIES WITHIN FLOOD ZONE X WHICH IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD, AS DETERMINED BY F.E.M.A. AND SHOWN ON THE FLOOD INSURANCE RATE MAP DATED SEPTEMBER 26, 2008, MAP NO. 35001C0342G.

SURVEYOR INFORMATION

TOPOGRAPHIC SURVEY PERFORMED JUNE 2024.

LEGEND

---	APPARENT PROPERTY BOUNDARY
---	APPARENT ADJOINING PROPERTY LINE
---	EXISTING FENCE
●	PROPERTY CORNER
○	APPARENT PROPERTY CORNER
▲	ROOF FLOW DIRECTION
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	POND CONTOUR
✓	FINISHED GRADE
✓	FLOW LINE
BLDG.	BUILDING
NEW CONCRETE	NEW CONCRETE
---	BASIN

Fierro & Company
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PH (505) 352-8930
www.fierrocompany.com

ROBERT J. FIERRO
NEW MEXICO
20585
7-12-2024
PROFESSIONAL ENGINEER

FUENTES AUTO SALES
700 GIBSON BLVD. S.E.
ALBUQUERQUE, NM

PROJECT NAME

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 24035
DESIGNED BY: RJF
DRAWN BY: JB
CHECKED BY: RJF
DATE: JULY 2024
SHEET TITLE
GRADING PLAN
SHEET NO: **C-1**