

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

July 22, 2024

Robert Fierro, P.E.
Fierro & Company
6300 Montano Rd. NW
Albuquerque, NM 87120

**RE: Fuentes Auto Sales
700 Gibson Blvd. SE
Grading & Drainage Plan
Engineer's Stamp Date: 7/12/2024
Hydrology File: L14D010**

Dear Mr. Fierro:

PO Box 1293

Based upon the information provided in your submittal received 07/12/2024, the Grading Plan is approved for Grading Permit. Please attach a copy of this approved plan in the construction sets for Grading Permit processing along with a copy of this letter.

Albuquerque

PRIOR TO CERTIFICATE OF OCCUPANCY:

NM 87103

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please pay the Payment-in-Lieu of \$ **1,552.00** by emailing the attached approved Waiver Application from Stormwater Quality Volume Management On-site to PLNDRS@cabq.gov. Once this is received, a receipt will then be produced and email back. Follow the instructions on the bottom of the form and pay it at the Treasury in Plaza de Sol. Once paid, please provide me proof of payment.

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

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If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

A handwritten signature in black ink, appearing to read 'Anthony Montoya, Jr.', is placed above the printed name.

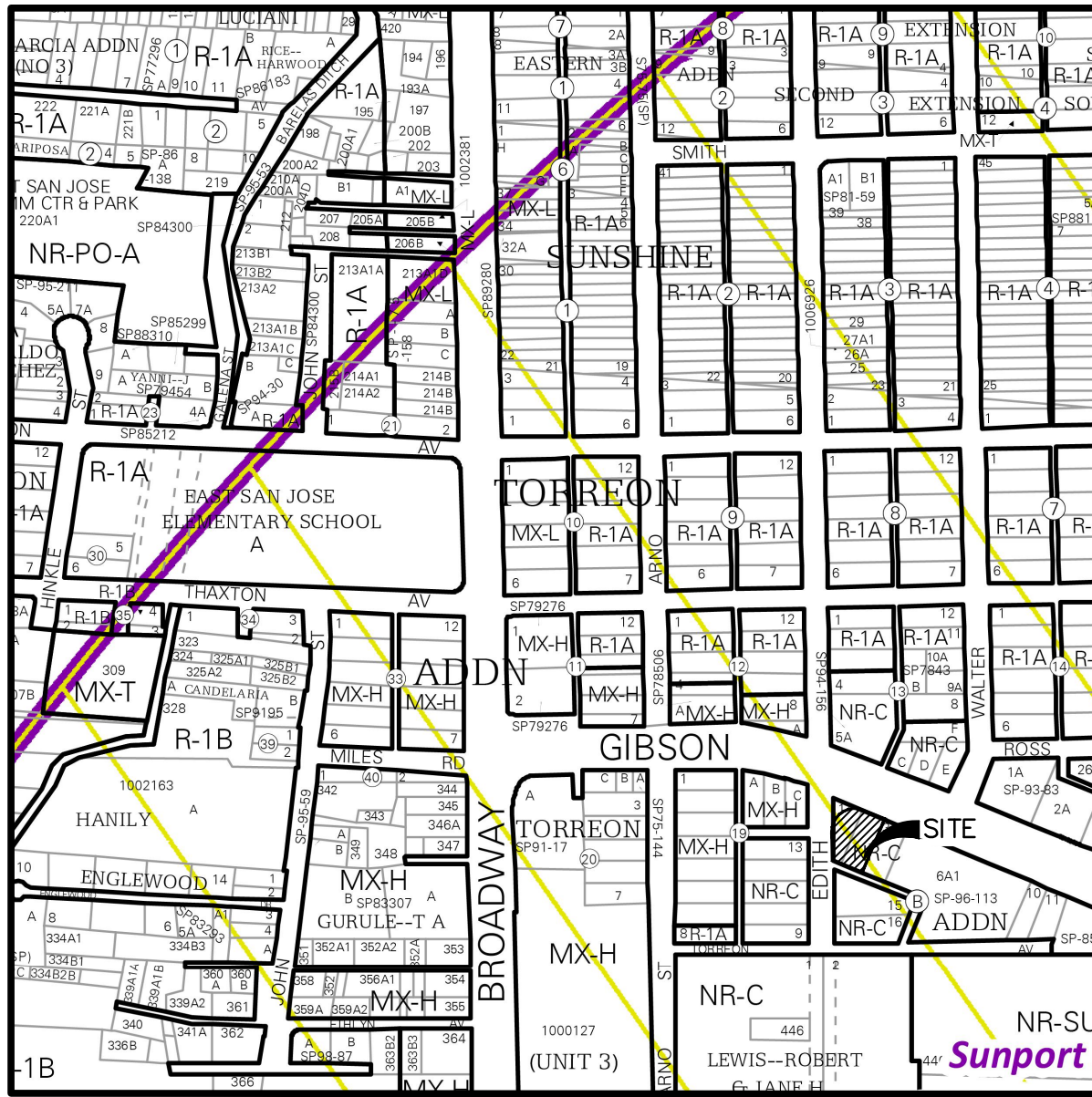
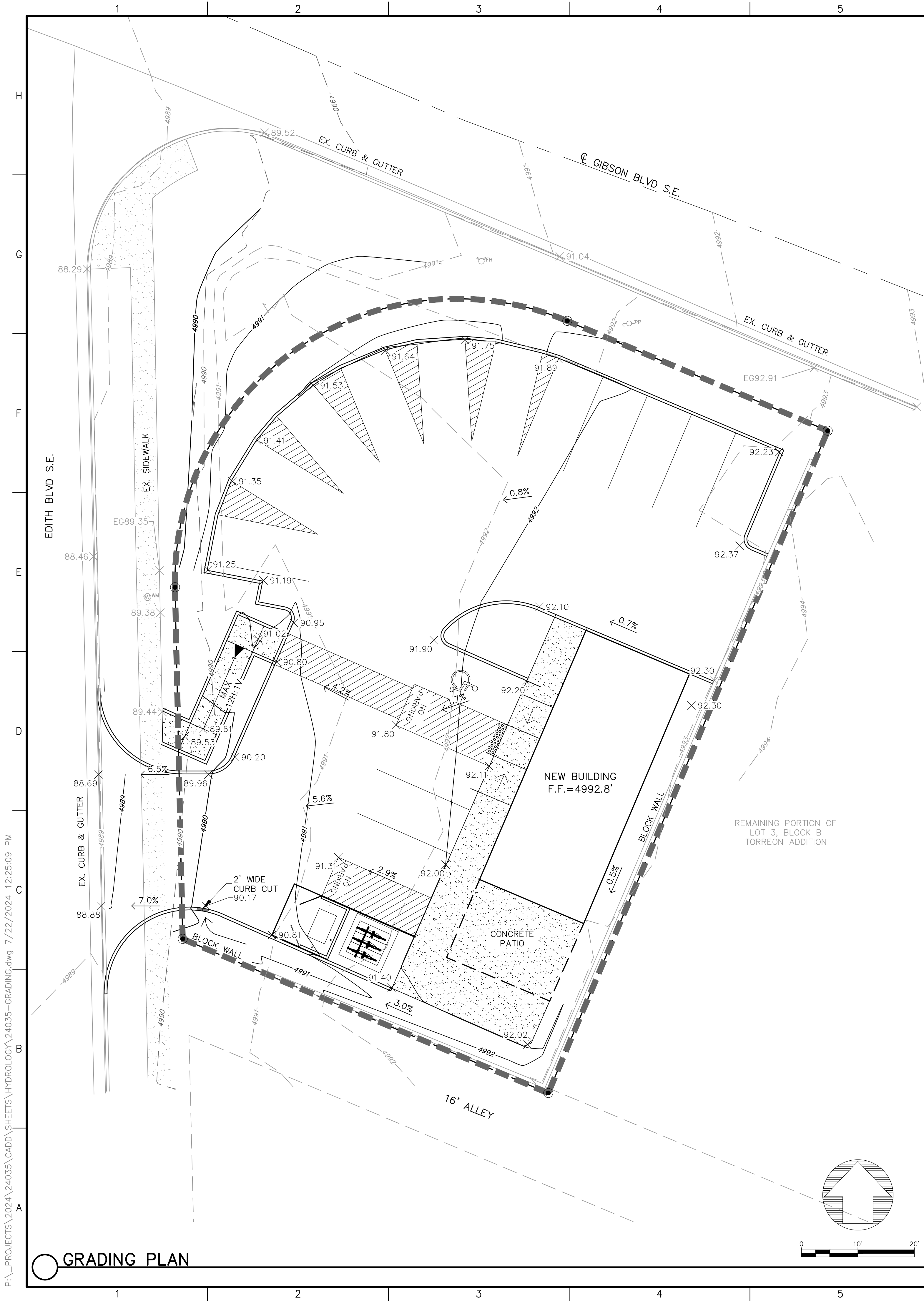
Anthony Montoya, Jr., P.E.
Senior Engineer, Hydrology
Planning Department, Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



Introduction

The site is located at 700 Gibson Blvd. SE, and is 0.25 acres. The purpose of this Grading & Drainage Plan is to 1) provide hydrologic and hydraulic analysis of the historic and proposed condition, 2) satisfy allowable stormwater discharge rates, and 4) seek approval for building permit.

Methodology

Hydrologic procedures presented in the Hydrology Section of the DMP, Article 6-2(a), approved June 8, 2020 were followed. Precipitation Zone 2 data was used in the hydrologic computations.

Existing Condition

The site slopes from East to West at approximately 4%. Runoff from the site sheet flows to Edith Blvd. Looking through old aerials, the site once had a couple of small buildings. There is also currently a meter pole on the site, which confirms that the site was developed in the past. There is not any off-site runoff entering the site. A block wall is located on the east and south property lines. The adjoining roads are full constructed with curb & gutter and sidewalk.

Proposed Condition

A 950 sq.ft. office building is proposed, which will be used as an auto sales office. Runoff from the site will outlet via the driveway located on Edith Blvd. The site is small and has steep slopes from Edith Blvd. to the buildings, which makes it difficult to direct runoff to a storm water quality pond. Therefore, a payment-in-lieu is being requested. The required S.W.Q.V. is 194 cu.ft. and at \$8/cu.ft. the amount of payment-in-lieu is \$1,552.00. The \$8/cu.ft. is the amount for a re-developed site. The site was previously developed as stated under the existing conditions.

DRAINAGE NARRATIVE

HYDROLOGY SUMMARY										
BASIN	Total Area (sq.ft.)	Total Area (acres)	Land Treatment (%)				Q ₁₀₀ (cfs)	V _{100yr-24hr} (ac-ft)	V _{100yr-24hr} (cf)	V _{SWQ} (cu-ft)
			A	B	C	D				
100(EXISTING)	11193	0.2570	0.0	50.0	50.0	0.0	0.7	0.020	853	N/A
100(PROPOSED)	11193	0.2570	0.0	20.0	0.0	80.0	1.0	0.048	2112	194

HYDROLOGY SUMMARY

STORMWATER QUALITY VOLUME (WAIVER):

GIVEN:

Area_D=8,955 sq.ft.

Site is a redevelopment as stated in the existing conditions.

SOLUTION:

$$SWQV = \frac{1}{2}(R_D * Area_D) = \frac{1}{2}[0.26" * 8,955 \text{ sq.ft.}] = 194 \text{ cu.ft.}$$

CONCLUSION: A waiver application is being submitted to allow runoff generated from 8,955 sq.ft of impervious area to discharge to Edith Boulevard S.E. without first draining to a Best Management Practice (BMP).

STORMWATER QUALITY VOLUME CALCULATIONS

GENERAL GRADING NOTES:

- THE CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES SHOWN AND COORDINATE WITH ALL UTILITY OWNERS PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR SHALL LIMIT DISTURBANCE OF NATIVE VEGETATION TO A MINIMUM.
- THIS PLAN RECOMMENDS POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES TO PROHIBIT PONDING OF RUNOFF WHICH MAY CAUSE STRUCTURAL SETTLEMENT. FUTURE ALTERATION OF GRADES ADJACENT TO THE PROPOSED STRUCTURES IS NOT RECOMMENDED.
- PERFORM GRADING AND EXCAVATION WORK IN COMPLIANCE WITH APPLICABLE SPECIFICATIONS, REQUIREMENTS, CODES AND ORDINANCES OF CITY OF ALBUQUERQUE, NEW MEXICO.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF OR OBTAINING EXCESS CUT OR FILL MATERIAL REQUIRED FOR FINAL GRADE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND COORDINATING WITH NEW MEXICO ONE CALL PRIOR EXCAVATION.
- CLEAR AND GRUBBING PER NM APWA SECTION 201 SPECIFICATION.
- SPOT ELEVATIONS ARE TO FINISH GRADE UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL CONFINE THEIR WORK TO WITHIN THE CONSTRUCTION LIMITS AND/OR PUBLIC RIGHT-OF-WAY TO PRESERVE EXISTING VEGETATION, LANDSCAPING, AND PRIVATE PROPERTY. APPROVAL OF THESE PLANS DOES NOT GIVE OR IMPLY ANY PERMISSION TO TRESPASS OR WORK ON PRIVATE PROPERTY. PERMISSION MUST BE GRANTED IN WRITING BY THE OWNER OF THAT PROPERTY.
- CONTRACTOR TO CLEAN UP SEDIMENT AND DEBRIS ON THE STREET, WHICH IS CAUSED BY CONSTRUCTION, AT THE END OF EACH WORK DAY. TEMPORARY DIRT RAMPS ARE NOT TO BE LEFT IN STREETS OR NEAR CURB.

PROJECT INFORMATION

BENCHMARK

CITY OF ALBUQUERQUE SURVEY MONUMENT: ACS BM, 13-L14
NORTHING: 1477685.829 (NM SPC, CENTRAL ZONE, NAD 1983)
EASTING: 1522174.051 (NM SPC, CENTRAL ZONE, NAD 1983)
ELEVATION: 4970.90' (NAVD 1988, U.S. SURVEY FOOT)

DESCRIPTION

A CERTAIN PARCEL OF LAND BEING IDENTIFIED AS A PORTION OF LOTS ONE (1) AND TWO (2) IN BLOCK LETTERED "B" OF ANDERSON & THAXTON'S REPLAT OF A PORTION OF THE TORREON ADDITION, TO THE CITY OF ALBUQUERQUE, WITHIN THE TOWN OF ALBUQUERQUE GRANT, BERNALILLO COUNTY, NEW MEXICO, AS FILED MARCH 24, 1943

FLOOD NOTE:

THIS PROPERTY LIES WITHIN FLOOD ZONE X WHICH IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD, AS DETERMINED BY F.E.M.A. AND SHOWN ON THE FLOOD INSURANCE RATE MAP DATED SEPTEMBER 26, 2008, MAP NO. 35001C0342G.

SURVEYOR INFORMATION

TOPOGRAPHIC SURVEY PERFORMED JUNE 2024.

LEGEND

- APPARENT PROPERTY BOUNDARY
- APPARENT ADJOINING PROPERTY LINE
- EXISTING FENCE
- PROPERTY CORNER
- APPARENT PROPERTY CORNER
- ROOF FLOW DIRECTION
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- POND CONTOUR
- FINISHED GRADE
- FLOW LINE
- BLDG.
- BUILDING
- NEW CONCRETE
- BASIN

Fierro & Company
ENGINEERING | SURVEYING
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ALBUQUERQUE, NEW MEXICO 87107
PH (505) 352-8930
www.fierrocompany.com

ROBERT J. FIERRO
NEW MEXICO
20585
7-12-2024
PROFESSIONAL ENGINEER

FUENTES AUTO SALES
700 GIBSON BLVD. S.E.
ALBUQUERQUE, NM

PROJECT NAME

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 24035
DESIGNED BY: RJF
DRAWN BY: JB
CHECKED BY: RJF
DATE: JULY 2024
SHEET TITLE
GRADING PLAN
SHEET NO: **C-1**

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
HYDROLOGY DEVELOPMENT SECTION

**WAIVER APPLICATION FROM STORMWATER
QUALITY VOLUME MANAGEMENT ON-SITE**

GENERAL INFORMATION

APPLICANT: _____ DATE: _____

DEVELOPMENT: _____

LOCATION: _____

STORMWATER QUALITY POND VOLUME

Per the DPM Article 6-12 - Stormwater Quality and Low-Impact Development, the calculated sizing for required Stormwater Quality Pond volume is equal to the impervious area draining to the BMP multiplied by 0.42 inches for new development sites and by 0.26 inches for redevelopment sites.

The required volume is _____ cubic feet

The provided volume is _____ cubic feet

The deficient volume is _____ cubic feet

WAIVER JUSTIFICATION

Per the DPM Article 6-12(C), private off-site mitigation and payment-in-lieu may only be considered if management on-site is waived in accordance with the following criteria and procedures.

1. Management on-site shall be waived by the City Engineer if the following conditions are met:

- a. Stormwater quality can be effectively controlled through private off-site mitigation or through an arrangement (approved by the City) to use a cooperator's existing regional stormwater management infrastructure or facilities that are available to control stormwater quality.
 - b. Any of the following conditions apply:
 - i. The lot is too small to accommodate management on site while also accommodating the full plan of development.
 - ii. The soil is not stable as demonstrated by a geotechnical report certified by a professional engineer licensed in the State of New Mexico.
 - iii. The site use is inconsistent with the capture and reuse of stormwater.
 - iv. Other physical conditions exist where compliance with on-site stormwater quality control leaves insufficient area.
 - v. Public or private off-site facilities provide an opportunity to effectively accomplish the mitigation requirements of the Drainage Ordinance (Part 14-5-2 ROA 1994) as demonstrated on as-built construction drawings and an approved drainage report.
 - vi. The developer constructs a project to replenish regional groundwater supplies at an off-site location.
 - vii. A waiver to State water law or acquisition of water rights would be required in order to implement management on site.
2. The basis for requesting payment-in-lieu or private off-site mitigation is to be clearly demonstrated on the drainage plan.

This project's justification: _____

Professional Engineer or Architect

PAYMENT-IN-LIEU

Per the DPM Article 6-12(C)(1), the amount of payment-in-lieu is deficient volume (cubic feet) times \$6 per cubic feet for detached single-family residential projects or \$8 per cubic feet for all other projects.

AMOUNT OF PAYMENT-IN-LIEU = \$ _____

THIS SECTION IS FOR CITY USE ONLY

☒ Waiver is approved. The amount of payment-in-lieu from above must be paid prior to Certificate of Occupancy.

☐ Waiver is DENIED.



City of Albuquerque
Hydrology Section