

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

August 29, 2023

John Tandberg  
DizingX  
2440 Mares Rd. SW  
Albuquerque, NM 87105

**Re: Fuentes Auto Sales**  
**700 Gibson Blvd. SE**  
**Traffic Circulation Layout**  
Engineer's/Architect's Stamp XX-XX-XX (L14-D010)

Dear Mr. Tandberg,

Based upon the information provided in your submittal received 08-17-23, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. The traffic circulation layout must be stamped, signed, and dated by an engineer or architect licensed in the state of New Mexico.
2. 6 ft. wide sidewalk must be built along Gibson Blvd. from property line to property line. For sidewalk waiver, please contact Ernest Armijo [earmijo@cabq.gov](mailto:earmijo@cabq.gov)
3. Minimum distance from the commercial site access to the intersection is 75 ft. please show this dimension on the site plan.
4. Please provide ADA ramps at the proposed site access or reference COA std dwg.
5. ADA curb ramp at the corner of Gibson Blvd. and Edith St. must be updated to current standards and has truncated domes installed.
6. Identify all existing access easements and rights of way width dimensions.
7. Please list the width and length for all existing and proposed parking spaces. Some dimensions are not shown.
8. The minimum parking stall dimensions are:

Type of parking	Min. Width	Min. Length	Min. Overhang
Standard	8.5'	18'	2'
Compact	7.5'	15'	1.5'
Motorcycle	4'	8'	N/A
ADA	8.5'	18'	2'

9. The ADA accessible spaces must include an access aisle. Van accessible aisles should be 8ft wide; all others should be 5ft wide.

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Albuquerque

NM 87103

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10. Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
11. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
12. ADA accessible pedestrian pathway should not be placed behind parking space or adjacent to a vehicular way. Vehicle and pedestrian/wheel chair conflicts should be avoided as much as possible.
13. Please remove trash enclosure details from TCL-2.
14. Provide a copy of Fire Marshal and Solid Waste approval.
15. Work within the public right of way requires a work order with DRC approved plans.
16. Please add a note on the plan stating "All improvements located in the Right of Way must be included on the work order."
17. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (**Contact Matt Grush: [mgrush@cabq.gov](mailto:mgrush@cabq.gov)**).
18. Please provide a letter of response for all comments given.

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov).
4. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

*Marwa Al-najjar*

Marwa Al-najjar  
Associate Engineer, Planning Dept.  
Development Review Services

\ma via: email

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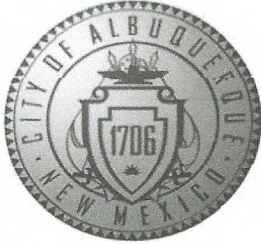
C: CO Clerk, File

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# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: Fuentes Auto Sales Building Permit # Pending Hydrology File # \_\_\_\_\_  
DRB# \_\_\_\_\_ EPC# \_\_\_\_\_

Legal Description: \_\_\_\_\_ City Address OR Parcel 700 Gibson Blvd. SE  
Albuquerque, NM 87102

Applicant/Agent: Xavier Nuño-Whelan Contact: Xavier Nuño-Whelan  
Address: 2440 Mares Rd SW Phone: 505-507-3408  
Email: DIZIGNX@gmail.com

Applicant/Owner: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_ Phone: \_\_\_\_\_  
Email: \_\_\_\_\_

TYPE OF DEVELOPMENT: PLAT (#of lots) RESIDENCE DRB SITE ADMIN SITE: \_\_\_\_\_  
RE-SUBMITTAL: YES ☒ NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE  
Check all that apply:

### TYPE OF SUBMITTAL:

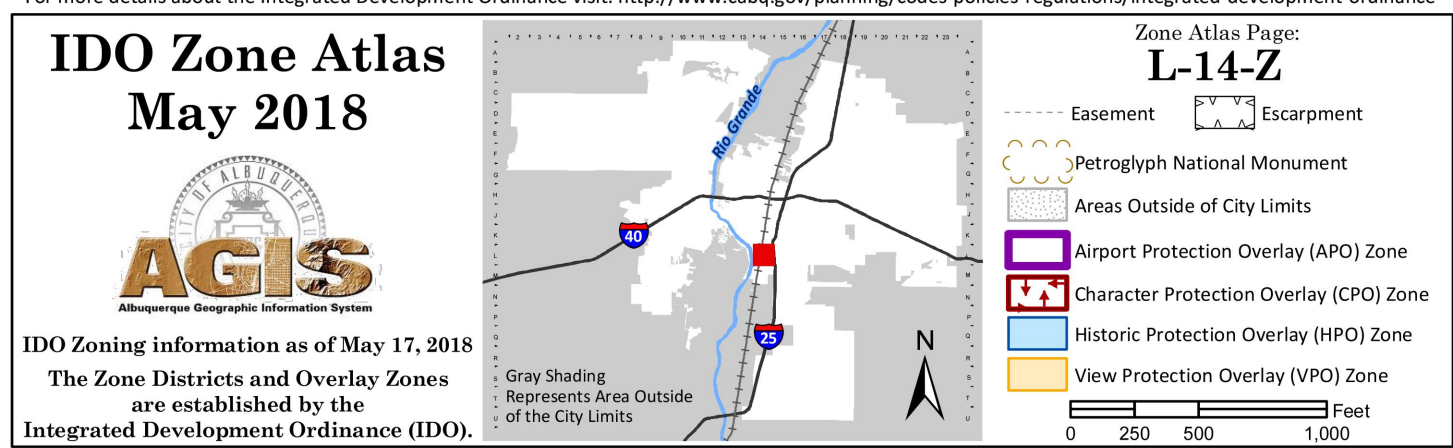
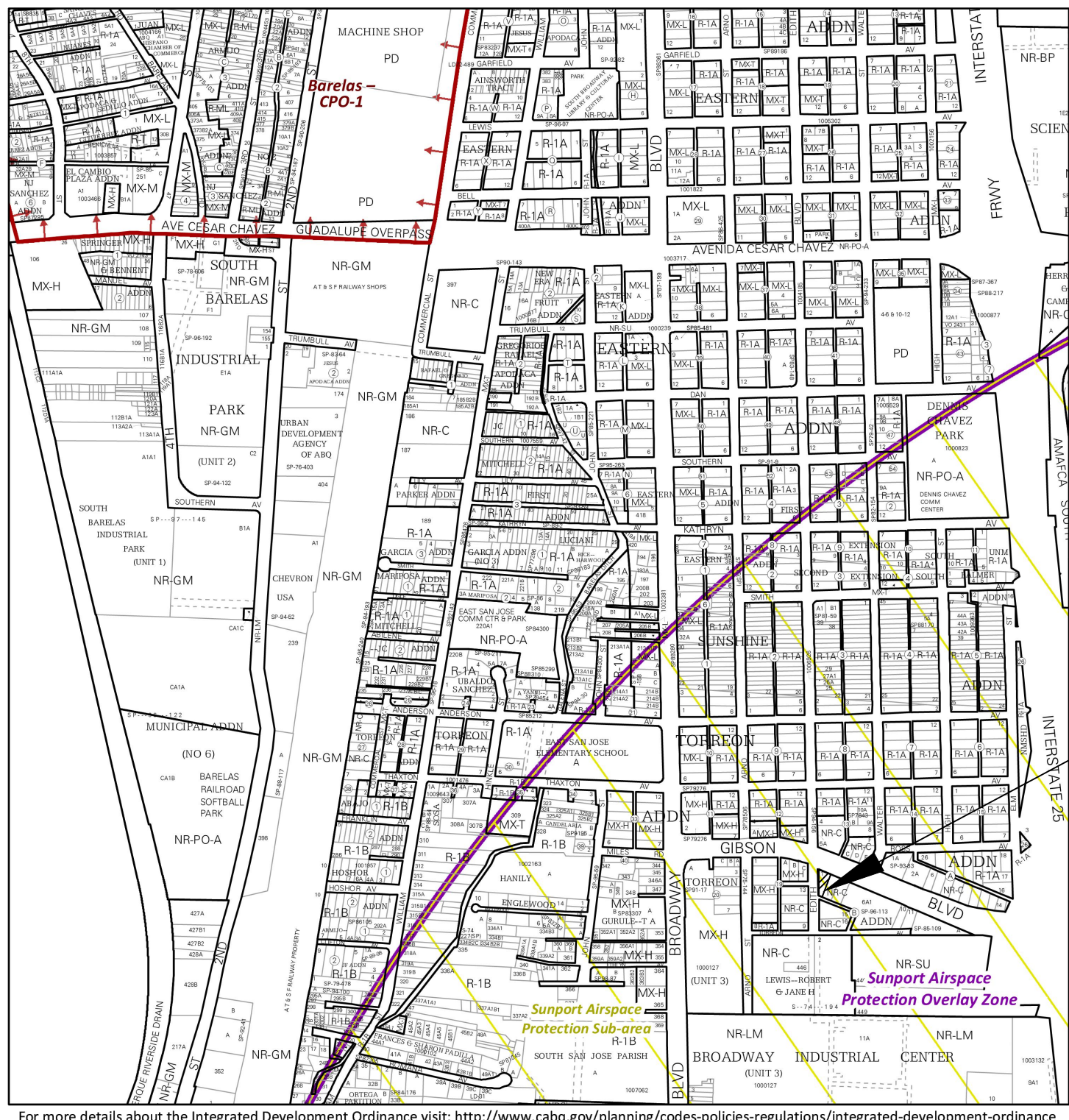
- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOOD PLAN DEVELOPMENT PERMIT APP.
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ADMINISTRATIVE
- ☐ TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY)
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ CONCEPTUAL TCL DRB APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOOD PLAN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

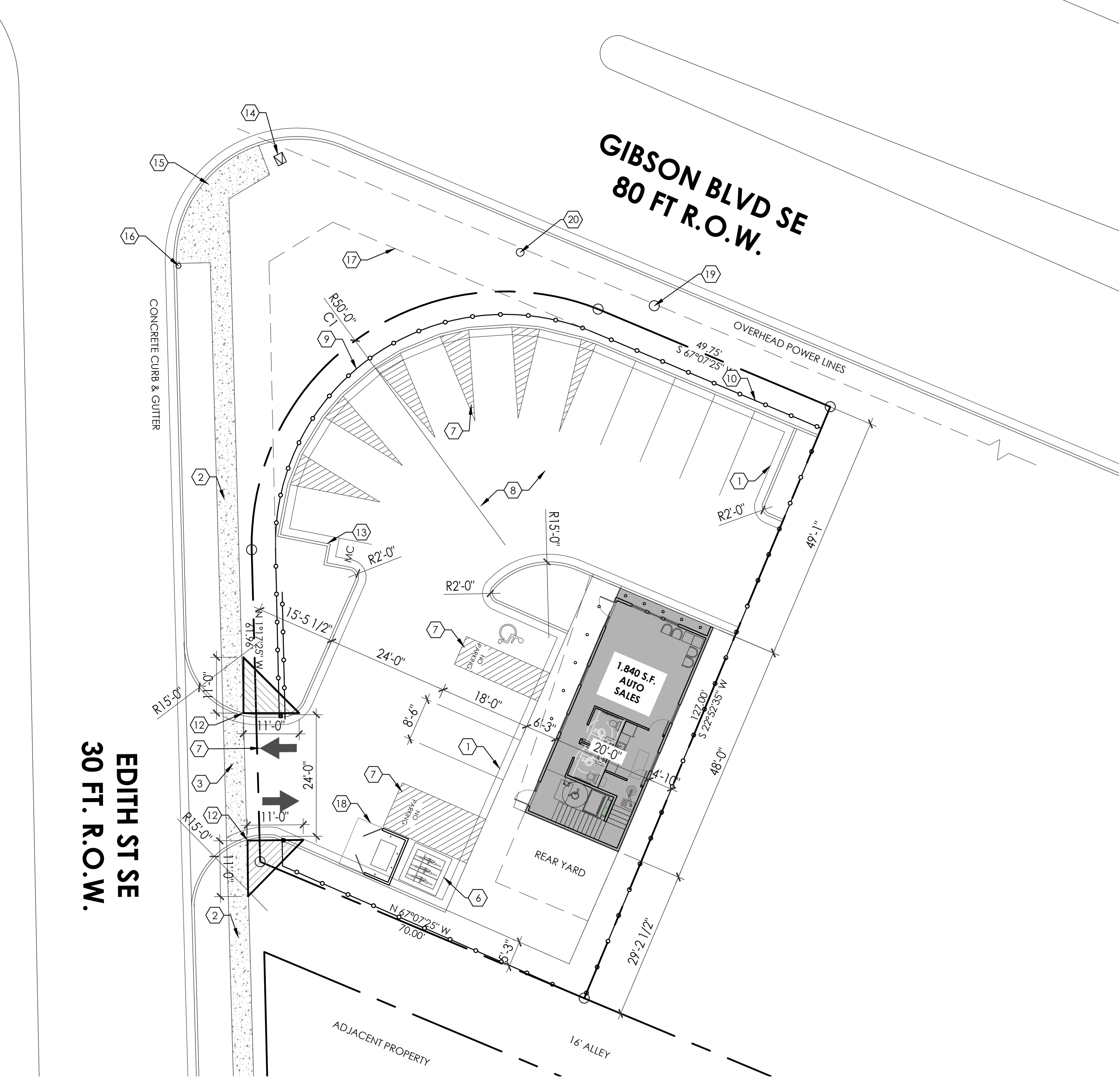
DATE SUBMITTED: 8/16/2023





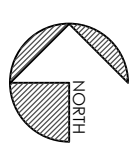
SITE LOCATION

KEYED NOTES	
1.	INSTALL NEW CONCRETE CURB & GUTTER, AS SHOWN, PER DPM STANDARDS.
2.	EXISTING CONCRETE SIDEWALK
3.	INSTALL NEW CONCRETE DRIVEWAY, PER DPM STANDARDS.
4.	HANDICAPPED ACCESSIBLE AISLE STRIPING PER LOCAL CITY CODE & STANDARDS WITH THE WORD "NO-PARKING" MIN. 12" HIGH 2" STROKE, BLUE COLOR. 4" WIDE WHITE STRIPING @ 1'-6" O.C. AT 45° ANGLE, TYPICAL, INTERNATIONAL SYMBOL OF ACCESSIBILITY, CENTER IN PARKING SPACE. SYMBOL SHALL BE COLOR WHITE ON BLUE BACKGROUND
5.	INSTALL ACCESSIBLE PARKING SIGNAGE, POLE- MOUNTED, AT THE SPACE AS SHOWN, SEE DETAIL 3, AS-2/TCL-2
6.	INSTALL BIKE RACK PER DPM STANDARDS, SEE DETAIL A, SHEET AS-2 (TCL-2)
7.	INSTALL PARKING STRIPING AND DIRECTIONAL ARROWS AS SHOWN, PER DPM STANDARDS.
8.	INSTALL NEW ASPHALT PAVING, FOR ENTIRE PARKING LOT, TYP.
9.	RELOCATE FENCE ALONG CURVE C-1, SET BACK 5'-0" FROM PROPERTY LINE
10.	EXISTING 6'-0" HIGH METAL FENCE TO REMAIN.
12.	11'-0"x11'-0" CLEAR SIGHT TRIANGLE. SEE TCL NOTES, THIS SHEET.
13.	MOTORCYCLE PARKING SPACE WITH POLE MOUNTED SIGN, SEE DETAIL 1, SHT. AS-1/TCL-2
14.	VAULT
15.	EXISTING RAMP
16.	EXISTING GAS VALVE
17.	LINE OF EXISTING METAL FENCE TO BE REMOVED AND RELOCATED. SEE KEYNOTE 9.
18.	INSTALL NEW DUMSPETER ENCLOSURE, SEE DETAIL E, SHT. AS-2 (TCL-2)
19.	POWER POLE
20.	EXISTING FIRE HYDRANT

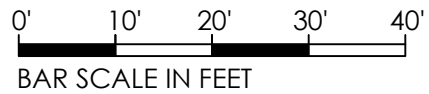


EDITH ST SE  
30 FT. R.O.W.

GIBSON BLVD SE  
80 FT R.O.W.

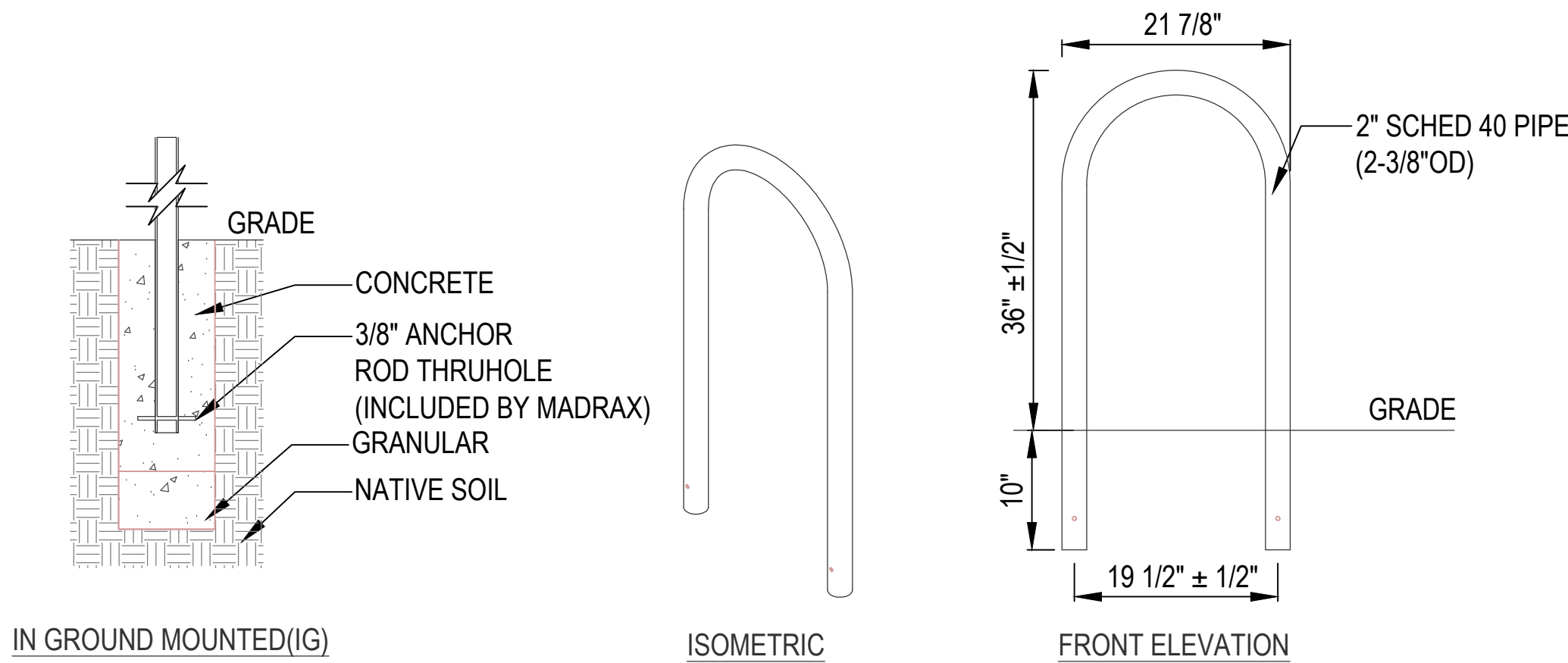


PROPOSED SITE PLAN  
SCALE: 1"=20'

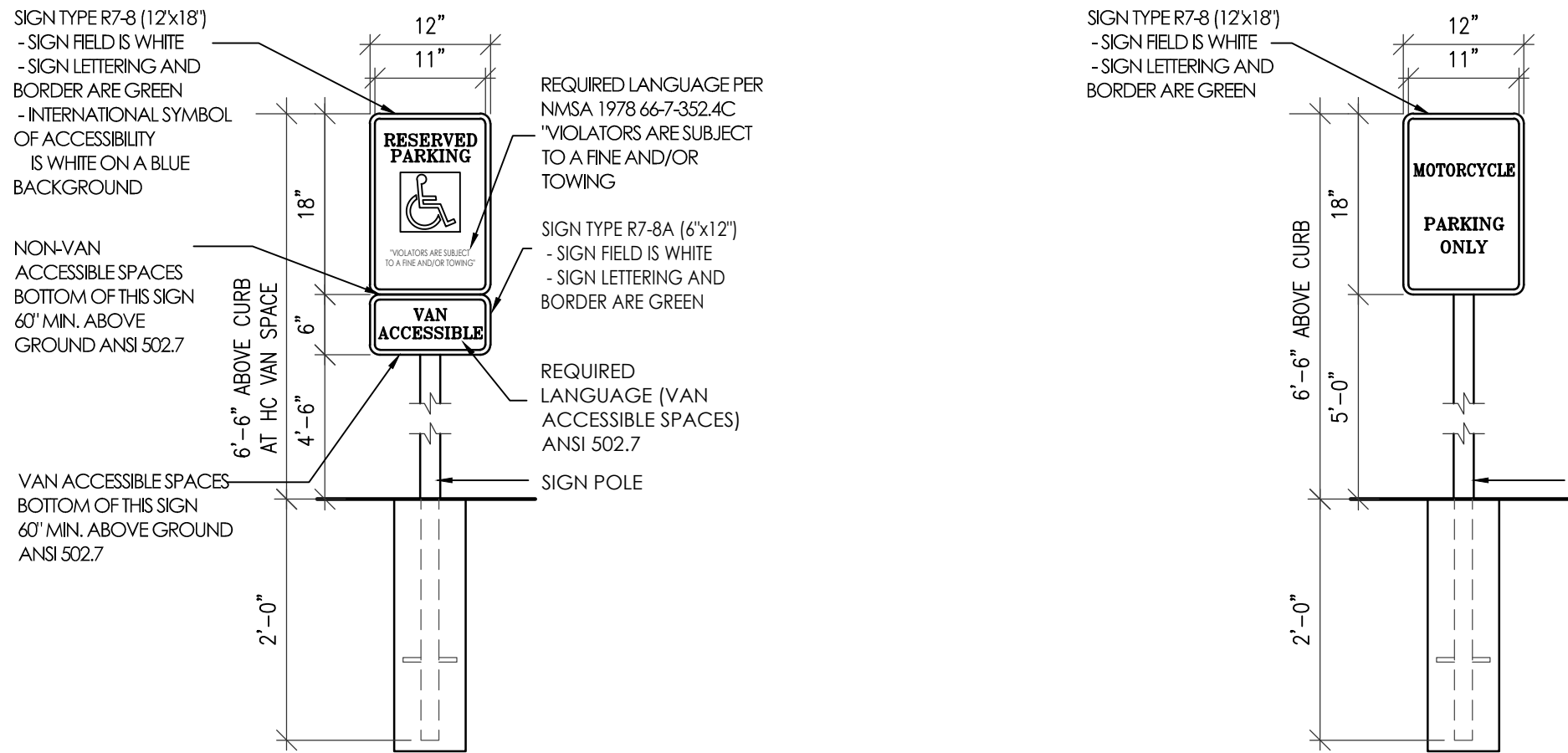


TCL NOTES:	PARKING CALCULATIONS
1. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE 2. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER. 3. REFUSE VEHICLE MANEUVERING SHALL BE CONTAINED ON-SITE. THE REFUSE VEHICLE SHALL NOT BACK INTO THE PUBLIC RIGHT AWAY.	REQUIRED SPACES: PER CABQ IDO 2023 LIGHT VEHICLE SALES AND RENTAL: 2 SPACES / 1000 S.F. GFA = 2 SPACES REQUIRED CLUB OR EVENT FACILITY: 1 SPACE / 1000 S.F. GFA = 1 SPACE REQUIRED <b>TOTAL SPACES REQUIRED: 3 (1 VAN ACCESSIBLE SPACE)</b>  PARKING SPACES PROVIDED: REGULAR PARKING SPACES = 13 SPACES PROVIDED ACCESSIBLE PARKING SPACES = 01 SPACE PROVIDED <b>TOTAL SPACES PROVIDED= 14 SPACES PROVIDED INCLUDING 1 VAN ACCESSIBLE</b>  BICYCLE PARKING: 3 SPACES PROVIDED MOTORCYCLE PARKING: 1 SPACES PROVIDED
DESIGN STANDARDS	GENERAL NOTES
1. ALL CURB ACCESS RAMPS (DRIVE PADS) SHALL BE CONSTRUCTED TO MEET THE CITY OF ALBUQUERQUE STD. DRAWINGS 2425. 2. ALL SIDEWALKS SHALL BE CONSTRUCTED TO MEET THE STD. OF THE CITY OF ALBUQUERQUE STD. DRAWING 2430. 3. ALL SIDEWALK CONSTRUCTION SHALL MEET THE STDS. OF THE CITY OF ALBUQUERQUE STD. DRAWING 2431. 4. ALL SIDEWALK JOINTS AND TRANSITIONS BETWEEN EXISTING AND NEW SIDEWALKS SHALL CONFORM TO THE CITY OF ALBUQUERQUE STD. DRAWING 2450. 5. ALL NEW CURB CUTS TO THE SITE MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STD. DRAWINGS 2425 WITH THE GUTTER PROFILE MATCHING EXISTING. 6. ALL NEW CURB AND GUTTERS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STD. DRAWING 2415A, MATCHING EXISTING PROFILES.	A. PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED. B. PREMISE IDENTIFICATION - SHALL BE MINIMUM 24 INCHES HIGH x .5 INCH WIDE AND SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL BE VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.



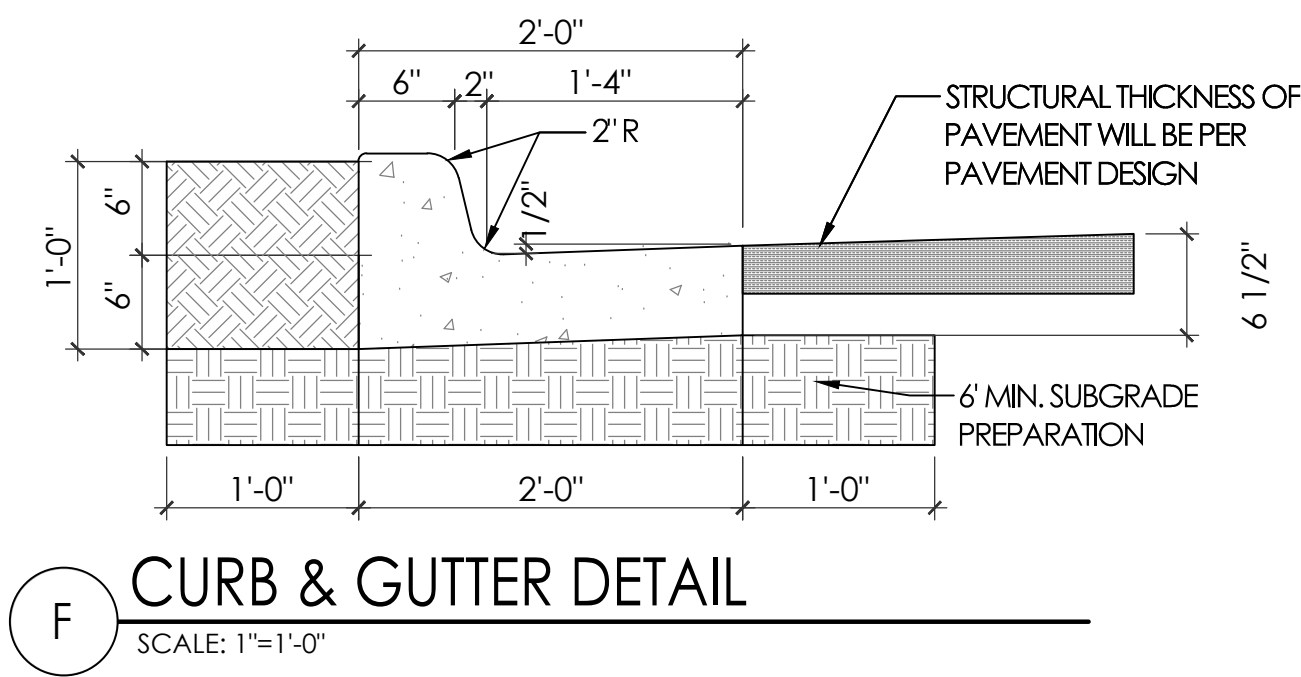


**A** BICYCLE RACK DETAIL  
SCALE: 3/4"=1'-0"



**B** ACCESSIBLE  
PARKING SIGN DETAIL  
SCALE: 3/4"=1'-0"

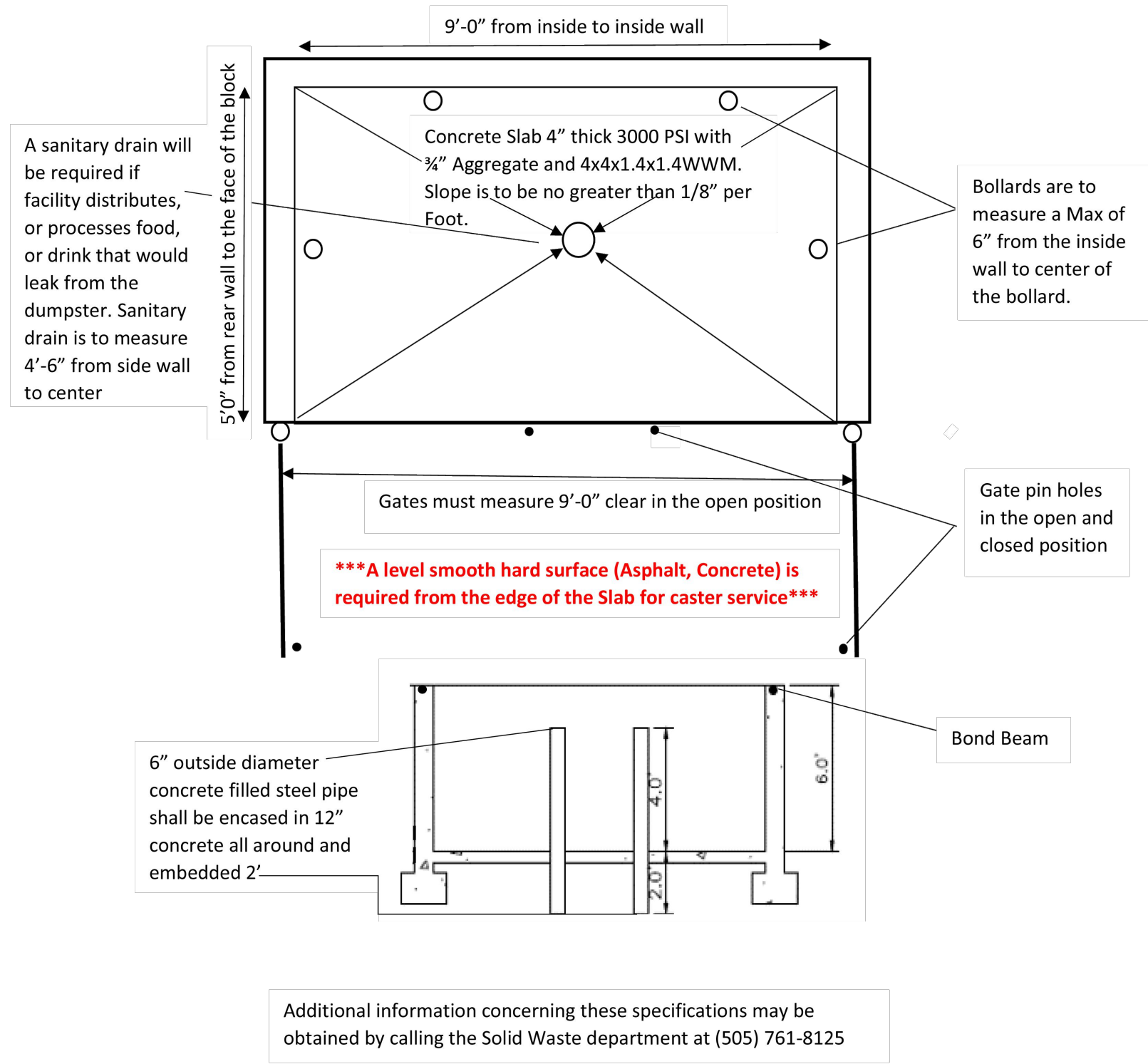
**C** MOTORCYCLE  
PARKING SIGN DETAIL  
SCALE: 3/4"=1'-0"



**F** CURB & GUTTER DETAIL  
SCALE: 1"=1'-0"

City of Albuquerque  
Solid Waste Management Department  
4600 Edith Blvd NE  
Albuquerque, NM 87107

Minimum Requirements for a Swanson Enclosure



**E** REFUSE ENCLOSURE - PLAN AND SECTION  
SCALE: 1/4"=1'-0"