

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

January 28, 2020

Jean J. Bordenave, PE
PO Box 91194
Albuquerque, NM 87199

RE: Warehouse
8750 Susan Ave. SE
Grading and Drainage Plan
Engineer's Stamp Date: 01/13/20
Hydrology File: L20D072

Dear Mr. Bordenave:

PO Box 1293

Based upon the information provided in your submittal received 01/21/2020, the Grading and Drainage Plan is approved for Building Permit.

Albuquerque

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

NM 87103

If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

www.cabq.gov

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Warehouse Building Permit #: _____ Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOT TRACT A-1-A, GORLAND SQUARE

City Address: 8750 SUSAN AVE

Applicant: Bordenave Designs Contact: Jake Bordenave

Address: PO Box 91194, Alb, NM 87199

Phone#: 505-823-1344 Fax#: _____ E-mail: jakebordenave@comcast.net

Other Contact: HIGH DESERT ROOFING Contact: Robert Bauer

Address: 8800 Susan Ave SE, Alb, NM 87123

Phone#: 342-1092 Fax#: highdesertroofing.com E-mail: roofing.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 01/20/20 By: Jake Bordenave

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

DRAINAGE DATA								
CONDITION	B	STORM	TREATMENT	TREATMENT	EXCESS	PEAK	RUNOFF	RUNOFF
	A	RETURN	TYPE	AREA	PRECIPITATION	RUNOFF	VOLUME	RATE
	S	PERIOD						
	I		(table 4)		(table 8)	(table 9)		
	N	-	-	sq. ft.	in.	cfs/acre	cu. ft.	cfs
-	-	year						
EXISTING	S	10	A	7253	0.19	0.58	115	0.10
			B	0	0.36	1.19	0	0.00
			C	0	0.62	2	0	0.00
			D	0	1.5	3.39	0	0.00
			TOTAL	7253			115	0.10
		100	A	7253	0.66	1.87	399	0.31
			B	0	0.92	2.6	0	0.00
			C	0	1.29	3.45	0	0.00
			D	0	2.36	5.02	0	0.00
			TOTAL	7253			399	0.31
DEVELOPED	S	10	A	0	0.19	0.58	0	0.00
			B	811	0.36	1.19	24	0.02
			C	0	0.62	2	0	0.00
			D	6442	1.5	3.39	805	0.50
			TOTAL	7253			830	0.52
		100	A	0	0.66	1.87	0	0.00
			B	811	0.92	2.6	62	0.05
			C	0	1.29	3.45	0	0.00
			D	6442	2.36	5.02	1267	0.74
			TOTAL	7253			1329	0.79

WATER HARVESTING POND

POND VOLUME

REQUIRED VOLUME

V = IMPERVIOUS AREA X (0.44-0.10)/12
= (6442)(0.34)/12
= 183 C.F. required

PROVIDED VOLUME

TOP AREA = 180 SF
BOTTOM AREA @ 1.0 FT DEEP w/ 5:1 SIDE SLOPE
= 0 SF
V = 180 C.F. @ 12" DEEP PROVIDED

POND INLET AND OUTLET

BROAD CRESTED WEIR

Q = CLH^{3/2}

0.79 = (2.6)(L)(0.33)^{3/2}

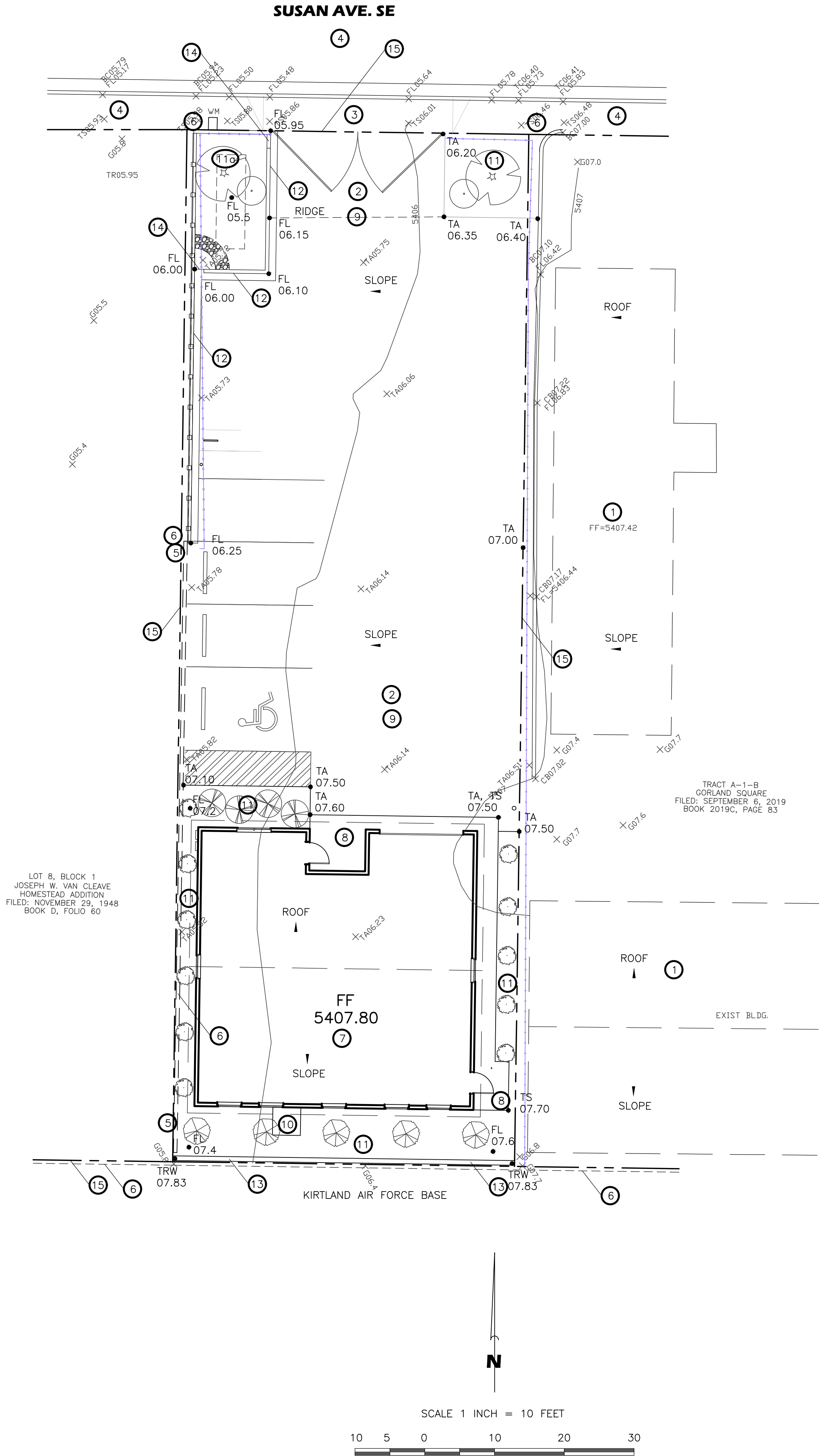
L = 0.63 FT.

USE 10" CURB OPENING AT INLET AND OUTLET

LEGEND

TBM	TEMPORARY BENCHMARK		FEMA FLOODPLAIN BOUNDARY
G	GROUND		DRAINAGE BASIN BOUNDARY
FF	FINISH FLOOR		EROSION SETBACK LINE
FG	FINISH GRADE after landscaping		EXISTING CONTOUR
FL	FLOWLINE	MAJOR MINOR	PROPOSED CONTOUR
TA	TOP OF ASPHALT	•XX.XX	EXISTING SPOT ELEVATION
TC	TOP OF CONCRETE	•XX.XX	PROPOSED SPOT ELEVATION
BC	TOP OF CURB	•XX.XX	RECORD SPOT ELEVATION
TP	TOP OF EARTH PAD		
TS	TOP OF SIDEWALK		
TRW	TOP OF RETAINING WALL	EXISTING	STRUCTURES
FH	FIRE HYDRANT		
WM	WATER METER		
WV	WATER VALVE		
MH	MANHOLE		
CB	CATCH BASIN GRATE		
GM	GAS MATER		UNDERGROUND UTILITIES
GV	GAS VALVE		EXISTING S,T,U
LP	LIGHT POLE		S,T,U - SIZE (INCHES), TYPE & USE
PP	POWER POLE		TYPE: CI- Cast Iron, DI-Ductile Iron, CMP-Corr. Metal, HDPE-High Density Polyethylene, PVC- Polyvinyl Chloride, RCP-Reinforced Conc.
GW	GUY WIRE		USES: SD-STORM DRAIN, SAS-SANITARY SEWER, W-WATER, IRR- IRRIGATION
PED	ELEC., TEL. OR CBL PED.		
OHU	OVERHEAD UTILITIES		
RD/C	ROOF DRAINAGE POINT	PROPOSED	S,T,U
	DIRECTION OF FLOW		

GRADING PLAN



KEYED NOTES

- EXISTING BUILDING.
- EXISTING ASPHALT TO BE REMOVED.
- EXISTING DRIVE PAD AND GATE.
- EXISTING CITY STREET AND SIDEWALK.
- EXISTING CMU YARD WALL.
- EXISTING WROUGHT IRON FENCE WEST, CHAIN LINK FENCE SOUTH.
- NEW BUILDING.
- NEW ONSITE CONCRETE WALK. SEE DETAIL ON SHEET C-1.2.
- NEW ASPHALT PAVEMENT. SEE DETAIL ON SHEET C-1.2.
- NEW CONCRETE AC PAD. SEE DETAIL ON SHEET CS1.0
- NEW LANDSCAPING. SEE LANDSCAPING DETAILS ON SHEET. CS1.0.
- NEW 10'x18' LANDSCAPED WATER HARVESTING POND w/3:1 SLOPED CONCRETE ENTRANCE & 2' WIDE GRAVEL BAND. SEE LANDSCAPING DETAILS ON SHEET CS1.0.
- NEW 6" x 18" CONCRETE CURB AND GUTTER. SEE DETAIL ON SHEET C-1.2.
- NEW CMU RETAINING WALL. MAXIMUM HEIGHT 24".
- 10" WIDE x 6" HIGH INLET/OUTLET OPENINGS.
- PROPERTY LINE.

GRADING AND DRAINAGE NOTES

- THE SITE IS PRESENTLY RELATIVELY FLAT, SLOPES DOWN FROM EAST TO WEST AND HAS LITTLE VEGETATION. THE SITE ABUTS THE NORTH SIDE OF KIRTLAND AIR FORCE BASE AND IS LESS THAN A BLOCK EAST OF WYOMING BLVD.
- THERE IS A FLOW INCREASE OF 0.55 AND 0.65 CFS FOR THE 10 YEAR AND 100 YEAR STORMS RESPECTIVELY AND THE 6 HOUR RUNOFF VOLUMES FOR THE 10 YEAR AND 100 YEAR STORM INCREASE BY 828 AND 1113 CUBIC FEET RESPECTIVELY. THERE ARE NO RUNOFF CONVEYANCE SYSTEMS IN THE AREA. THE SITE IS DESIGNED TO SELF CONTAIN THE STORM WATER GENERATED ONSITE BY THE 90th PERCENTILE STORM.
- THE SITE IS LOCATED IN A 'ZONE X' PER FEMA FIRM MAP NO. 113-G, DATED SEPTEMBER 26, 2008.
- EXISTING TOPO SURVEY DATA SHOWN ON THIS DRAWING WAS PREPARED BY HARRIS SURVEYING, INC. DATED SEPTEMBER, 2019.

ENGINEER'S CERTIFICATION

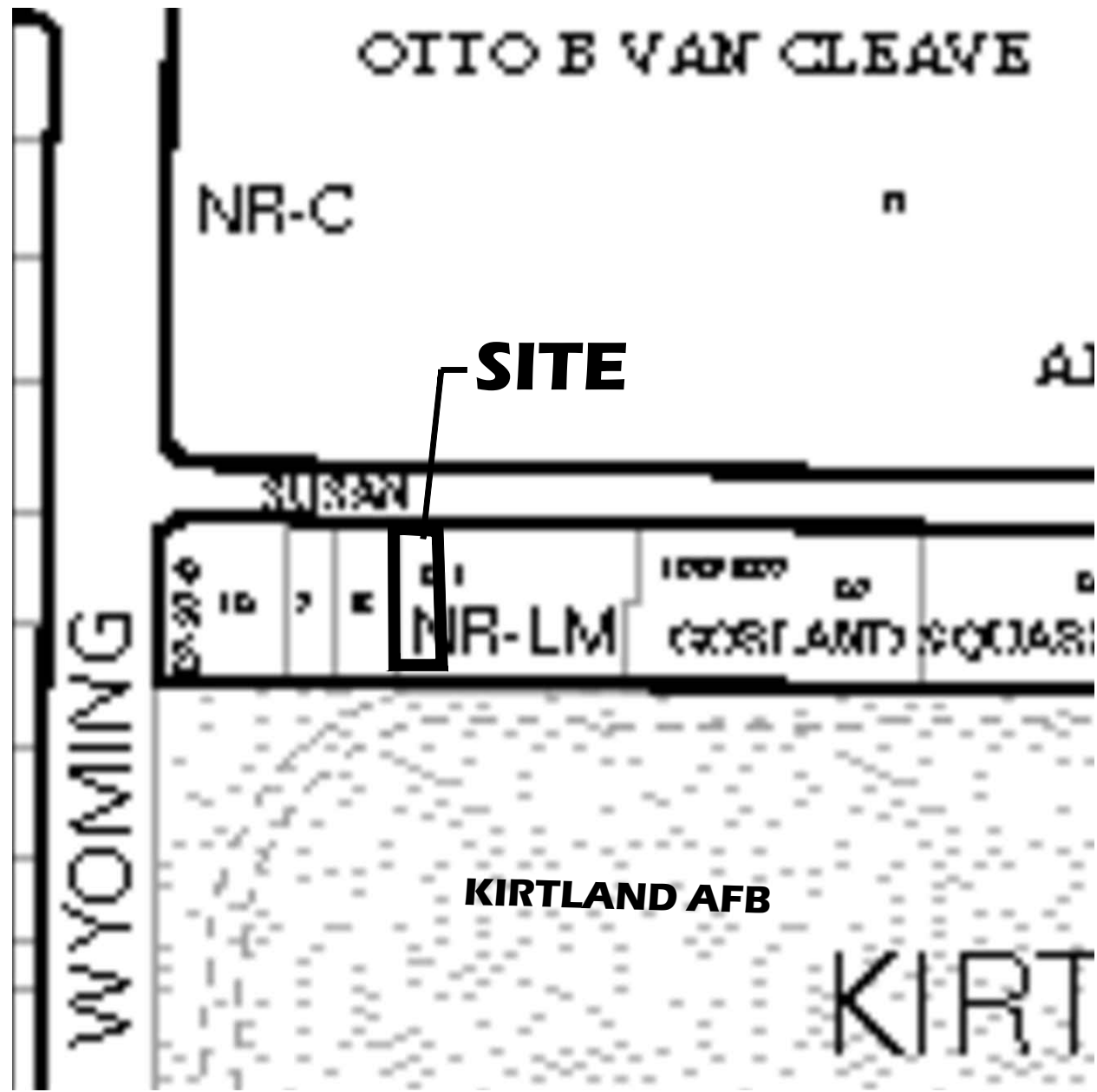
GRADING NOTES

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE NM811 FOR LOCATION OF EXISTING UTILITIES. DIAL 811 TO SUBMIT REQUEST OR 505-260-1165 WITH QUESTIONS.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

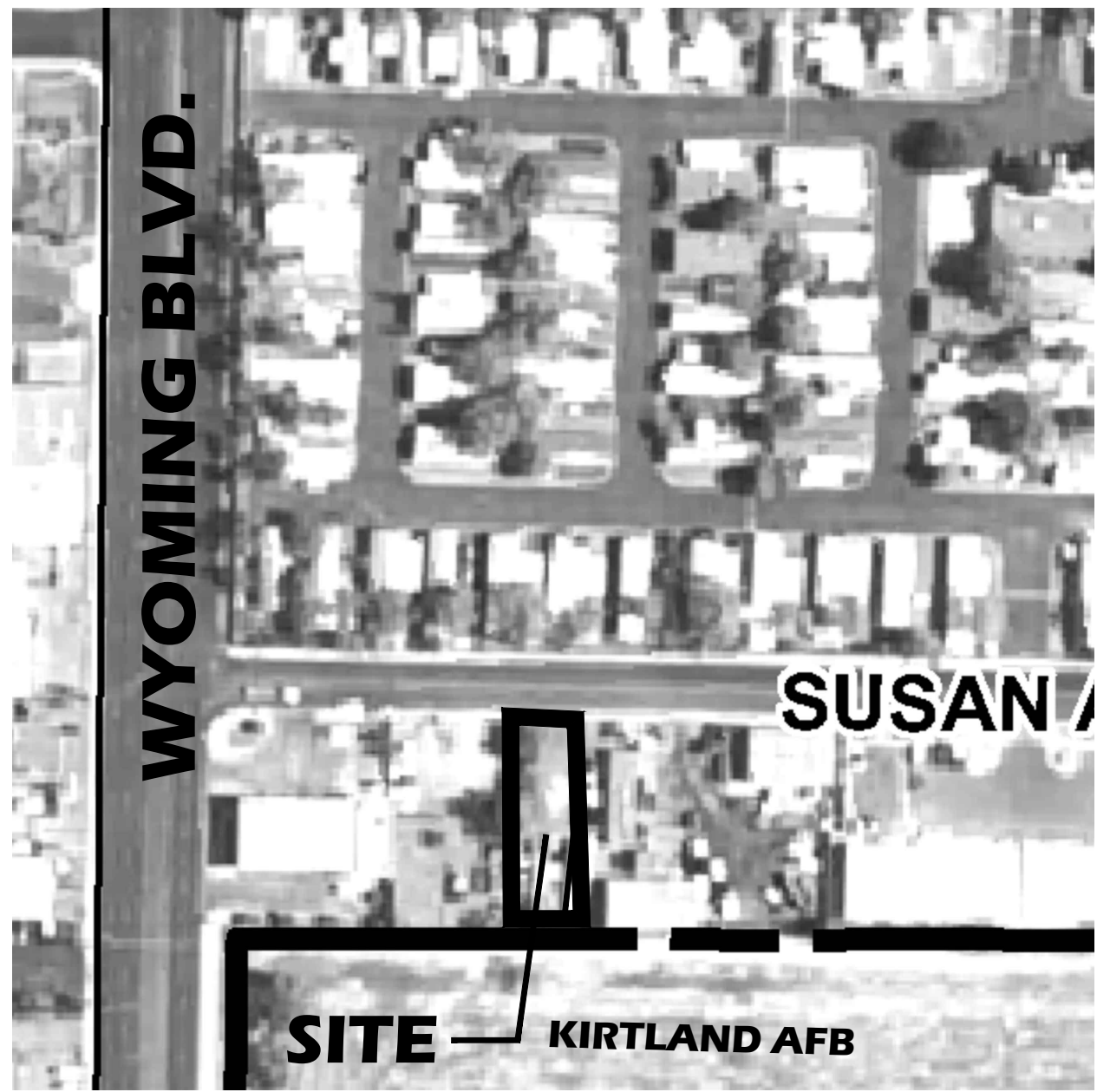
EROSION CONTROL NOTES

- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY THE CONSTRUCTION OF TEMPORARY SOIL BERMS OR SILT FENCES AT PROPERTY LINES AND WETTING SOIL TO PREVENT IT FROM BLOWING.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING TRACKED DOWN THE STREET.

VICINITY MAP K-19



FEMA FIRM PANEL NO. 354-H



LEGAL DESCRIPTION

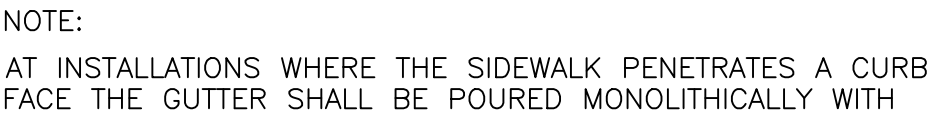
TRACT A-1-A, GORLAND SQUARE

PERMANENT BENCHMARK

ACS 16_L20 ELEVATION 5403.842 (NAVD 1988)

no.	date	remarks	by
REVISIONS			
project title WAREHOUSE 8750 SUSAN AVE. SE ALBUQUERQUE, NM			
sheet title GRADING AND DRAINAGE PLAN			
drawn by METO	design by JJB	project no. 1914	
01/13/20			sheet
BORDENAVE DESIGNS P.O. BOX 91194, ALBUQUERQUE, NM 87199 ph (505)823-1344 cell (505)480-6812 email jakebordenave@comcast.net			C1.1

CONCRETE CHANNEL



DRY STREAM

PERCENT BY VOL.	PERCENT BY VOL.
> 6"	0-5
3"-6"	40-60
1"-3"	10-30
3/8"-1"	10-15
< 3/8"	0-5

CONSTRUCTION NOTES:
BOTTOM AND BANK WIDTHS SHALL
VARY TO SIMULATE A NATURAL
STREAM. STONES GREATER THAN
6" SHALL BE LIMITED TO BANK AREA.

no.	date		remarks		by
REVISIONS					
		project title WAREHOUSE 8750 SUSAN AVE. SE ALBUQUERQUE, NM			
		sheet title SITE DETAILS & DRAINAGE CALC'S			
drawn by METO		design by JJB		project no. 1914	
01/01/20		BORDENAVE DESIGNS		sheet C1.2	
		P.O. BOX 91194, ALBUQUERQUE, NM 87199 ph (505)823-1344 cell (505)480-6812 email jakebordenave@comcast.net			