

**bill buckley solar architects**

5332 Derringer Road, Las Cruces, NM 88011-7520  
Phone: (505) 263-1960 E-mail: [billbuckley1@netscape.net](mailto:billbuckley1@netscape.net)

17 August 2006

File  
L-14/D12B

Ms. Arlene Portillo  
Plan Check Division  
City of Albuquerque  
Albuquerque, New Mexico

Re: 2301 Second Street, Southwest

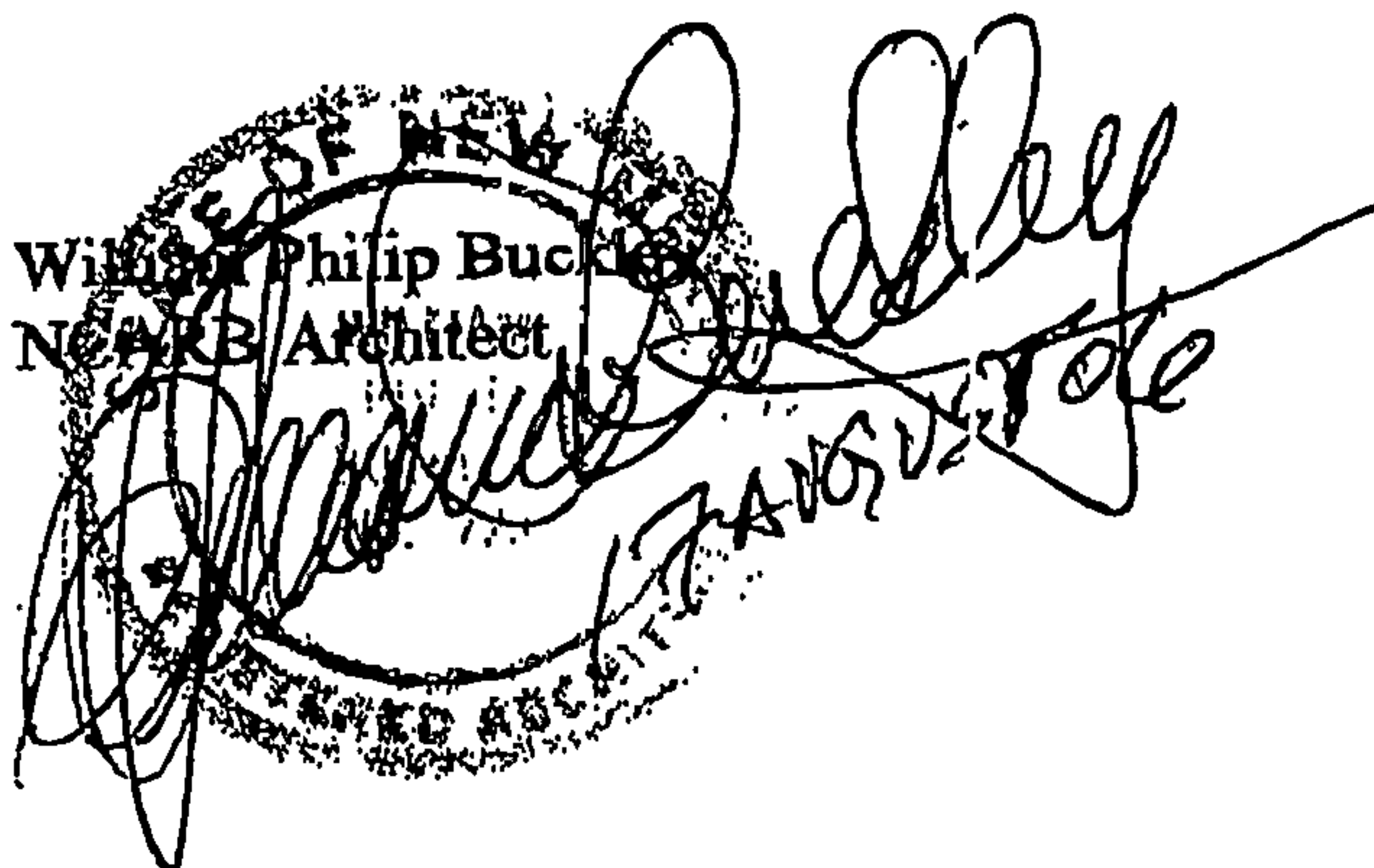
Dear Ms. Portillo:

I am certifying that the Traffic Circulation Layout as presented on the approved plans was complied with except for the location of the Refuse Bin, which was approved by Mr. Mike Holton. The layout has been visited by the refuse truck and work well as changed.

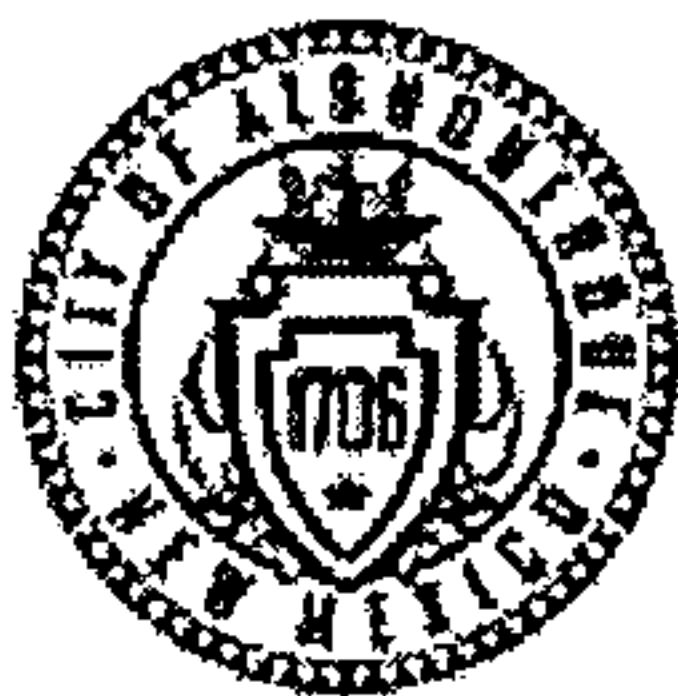
Thank you for your prompt attention to this matter.

Very truly yours,

William Philip Buckley  
NABRB Architect



fax # 505 924 3864  
505 262 6211



Arlene V.  
Portillo/PWD/CABQ  
08/29/2006 01:39 PM

To billbuckley1@netscape.net  
cc nsalgado@cabq.gov@COA  
bcc Arlene V. Portillo/PWD/CABQ  
Subject Cert. for Transp. - Descanso Project

We are in receipt of your fax copy of a request for a Certificate of Occupancy. The following are requirements for Certificate of Occupancy from Traffic Certification for Descanso Inc.  
Warehouse, L-14/D12B

**TRAFFIC:**

1. A copy of the **APPROVED TCL**. Redline any changes made at the site on the copy.
2. A "Traffic Certification" (see attached **SAMPLE** of format/language). The Certification must be on Company Letterhead and must be an **ORIGINAL**; not a copy or fax.
3. A "Drainage & Transportation Information Sheet" filled out. (see attached).

Place of submittal is City of Albuquerque, Planning Department, Development/Building Services, Suite 201, Attention: Arlene Portillo, 600 Second Street NW, Albuquerque, New Mexico 87102.

If you require further assistance, please do not hesitate to call Nilo Salgado at 505-924-3630 or me at 505-924-3982 . Thanks!



Drainage Info Sheet.doc



CO TCL.doc

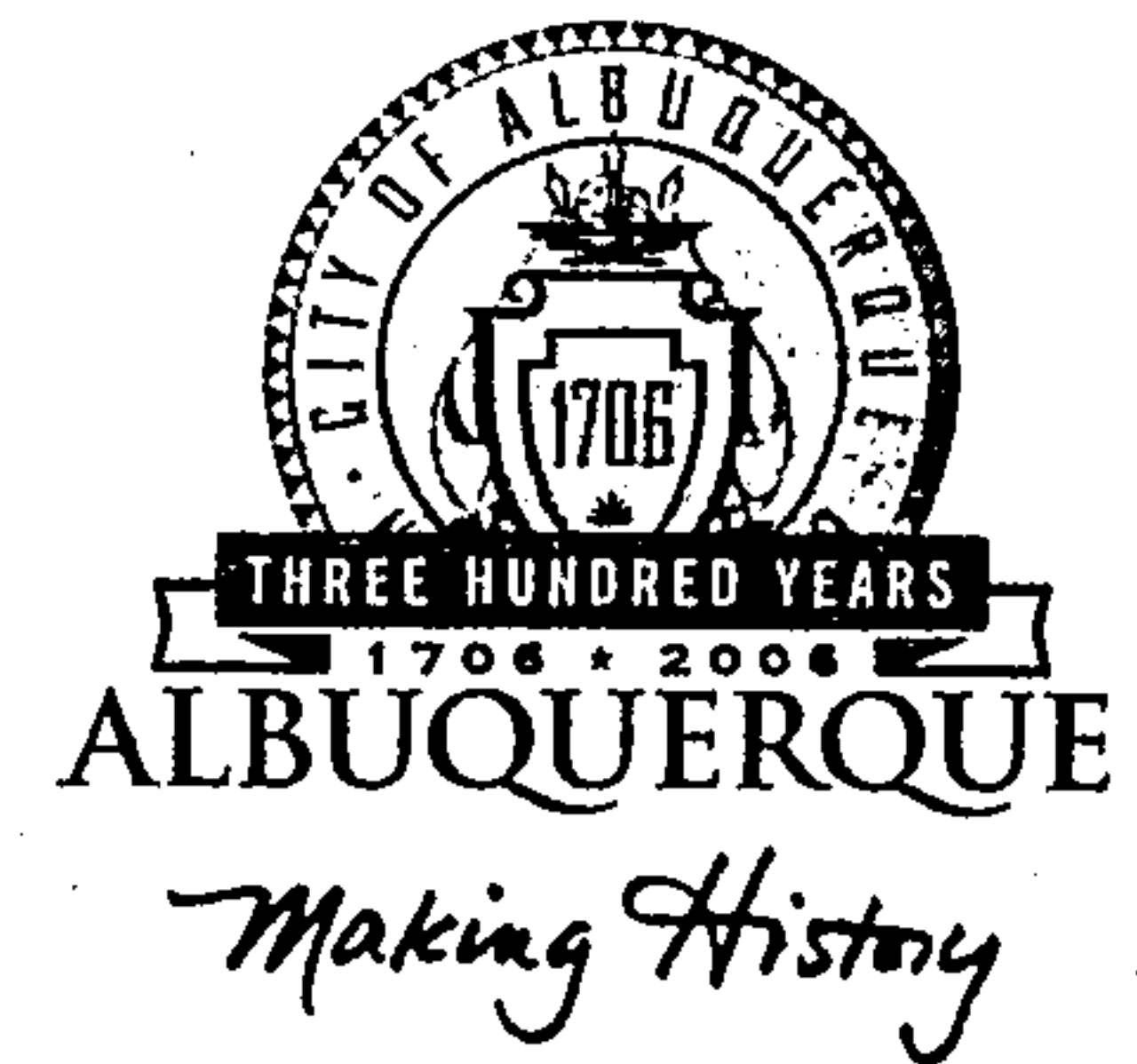
Arlene V. Portillo, Plan Checker  
Planning Department, Hydrology Section  
e-mail - [aportillo@cabq.gov](mailto:aportillo@cabq.gov)  
Office Phone 505-924-3982; Fax 505-924-3864

Arlene V. Portillo, Plan Checker  
Planning Department, Hydrology Section  
e-mail - [aportillo@cabq.gov](mailto:aportillo@cabq.gov)  
Office Phone 505-924-3982; Fax 505-924-3864

# CITY OF ALBUQUERQUE

November 10, 2005

Bill Buckley, R.A.  
Bill Buckley Architects  
5332 Derringer  
Las Cruces, NM 88011



**Re: Descanso Inc. Warehouse, 2301 Second St. SW-Traffic Circulation Layout  
Architect's Stamp dated 10-28-05 (L14-D12B)**

Dear Mr. Buckley,

The TCL submittal received 11-7-05 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan shall be inserted into each set of the building permit plans. Please keep the original to be used for final C.O. certification of the site required by Transportation.

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Phillip J. Lovato, E.I., C.F.M.  
Engineering Associate, Planning Dept.  
Development and Building Services

cc: file

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)



NIL FORD A. GALLAGHER, P.E.

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 06/22/2005)

PROJECT TITLE: DESCANZO INC ZONE MAP/DRG. FILE # 4514-D12B  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: \_\_\_\_\_  
CITY ADDRESS: 2301 2ND ST. SW

ENGINEERING FIRM: AROLD L. BENNETT CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

OWNER: DESCANZO INC CONTACT: CHARLES E. ENCARNADO  
ADDRESS: 1101 CHARLESTON AVE PHONE: 900-2100 CER  
CITY, STATE: ALBUQUERQUE, NM 87110 ZIP CODE: \_\_\_\_\_

ARCHITECT: BILL BUCKLEY - ARCA CONTACT: BILL BUCKLEY  
ADDRESS: 8337 DEERINGER PHONE: 263-1960  
CITY, STATE: LAS CRUCES, NM 88011 ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

TYPE OF SUBMITTAL:

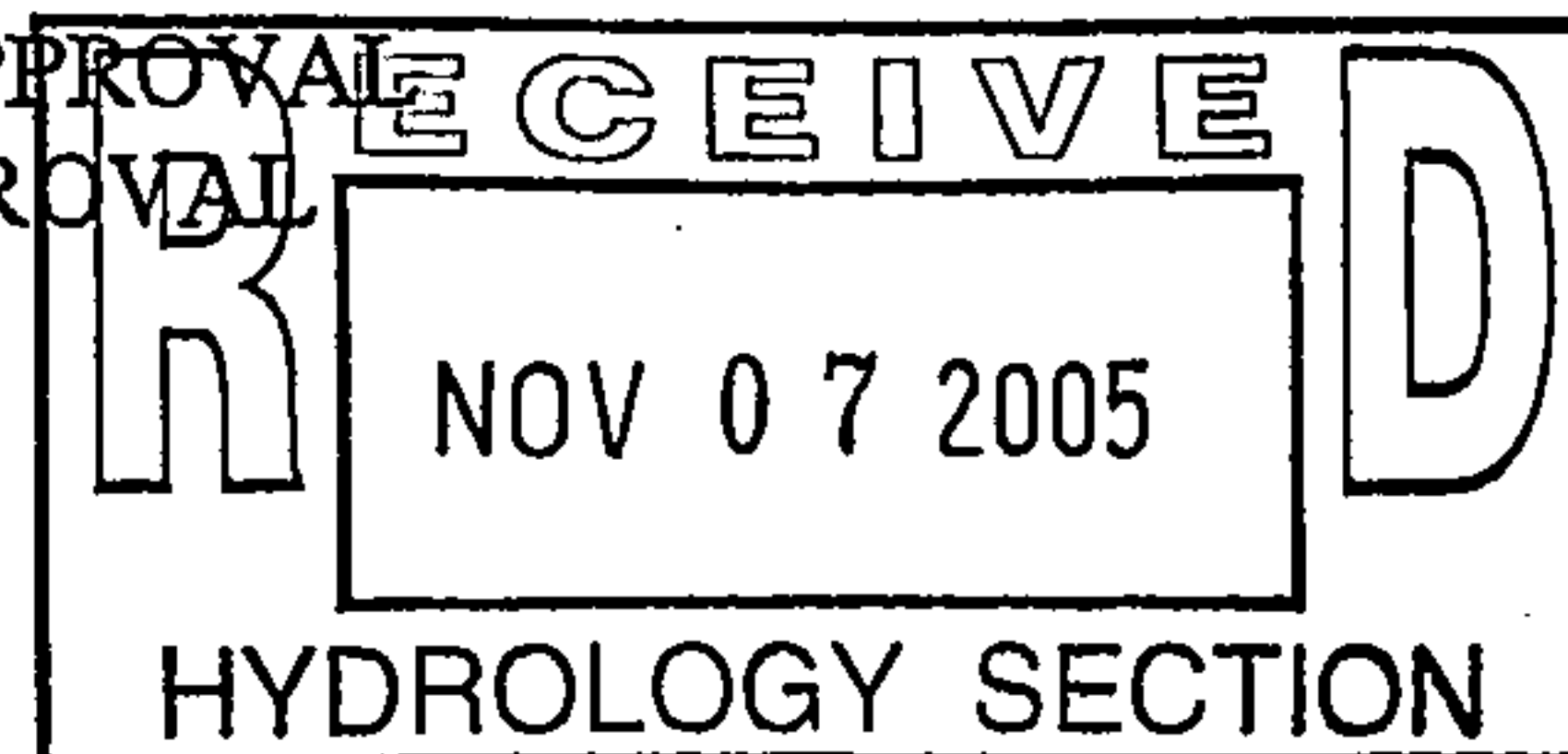
- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES  
☐ NO  
☐ COPY PROVIDED



SUBMITTED BY: Charles E. Encarnado DATE: 11/7/05

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

# CITY OF ALBUQUERQUE



July 20, 2006

Mr. Monte Bingham, PE  
**BINGHAM ENGINEERING**  
6344 Belcher NE  
Albuquerque, NM 87109

**Re: DESCANSO WAREHOUSE**  
**2301 Second Street SW**  
**Approval of Permanent Certificate of Occupancy (C.O.)**  
**Engineer's Stamp dated 01/18/2006 (L-14/D12B)**  
**Certification dated 07/18/2006**

Dear Monte,

Based upon the information provided in your submittal received 07/19/2006, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Arlene V. Portillo  
Plan Reviewer, Planning Dept.-Hydrology  
Development and Building Services

C: C.O. Clerk  
File

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)



# DRAINAGE INFORMATION SHEET

PROJECT TITLE: DESCANSO WAREHOUSE  
#: PC#: N/A

ZONE MAP/DRG. FILE L-14 /D2B  
WORK ORDER#:

LEGAL DESCRIPTION: TRACT 427a, MRGCD MAP 41  
CITY ADDRESS: 2301 2nd St. SW

ENGINEERING FIRM: BINGHAM ENGINEERING  
ADDRESS:  
CITY, STATE: Albuquerque, New Mexico

CONTACT:  
PHONE: 7974699  
ZIP CODE:

OWNER: DESCANSO INC.  
ADDRESS: 1101 Cardenas Dr. NE  
CITY, STATE: Albuquerque, New Mexico

CONTACT:  
PHONE: 262 6212  
ZIP CODE:

ARCHITECT: N/A  
ADDRESS:  
CITY, STATE:

CONTACT:  
PHONE:  
ZIP CODE:

SURVEYOR: N/A  
ADDRESS:  
CITY, STATE:

CONTACT:  
PHONE:  
ZIP CODE:

CONTRACTOR: N/A  
ADDRESS:  
CITY, STATE:

CONTACT:  
PHONE:  
ZIP CODE:

## TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☒ ENGINEER'S CERTIFICATION  
☐ CLOMR/LOMR  
☐ OTHER

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☐ NO  
☐ COPY PROVIDED

SO-19 approved as per Ed Elwell

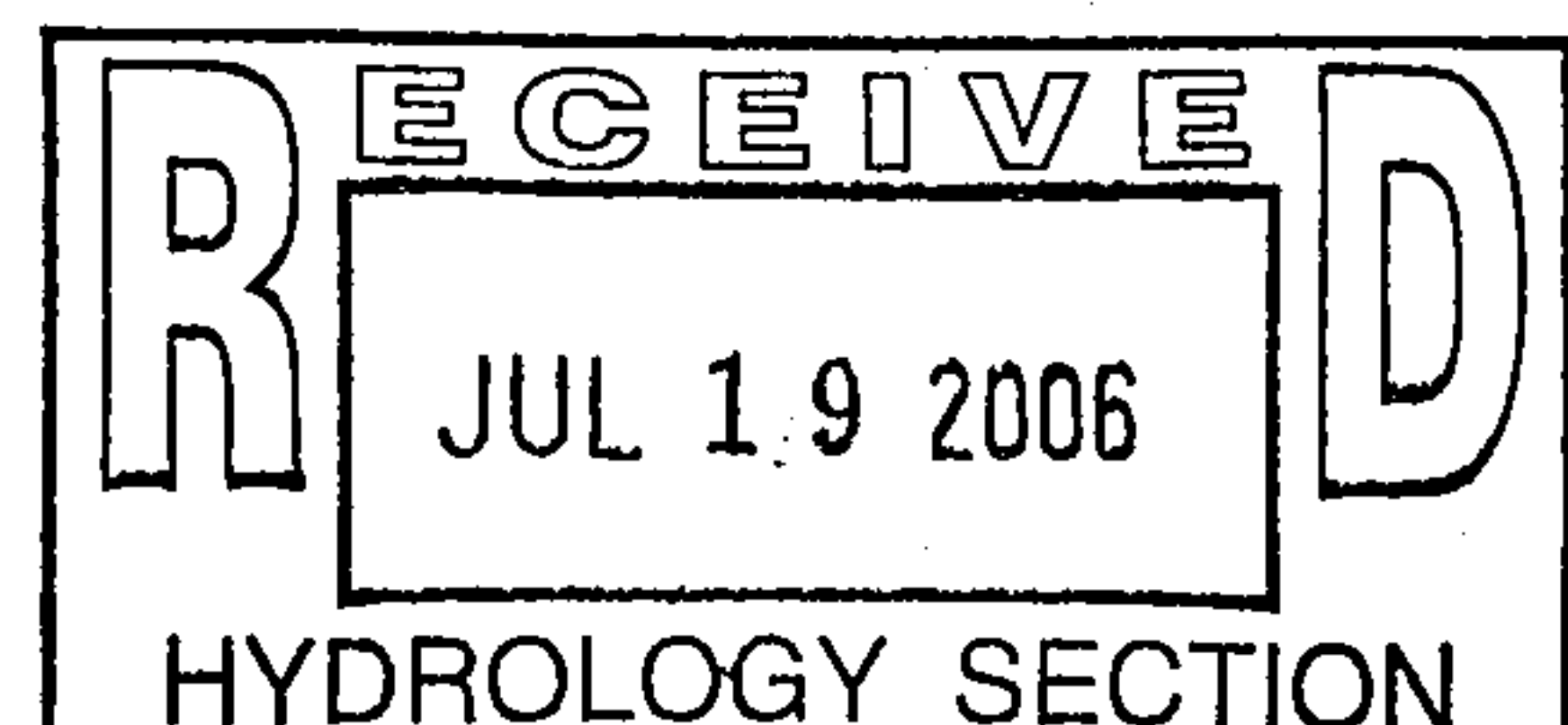
## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

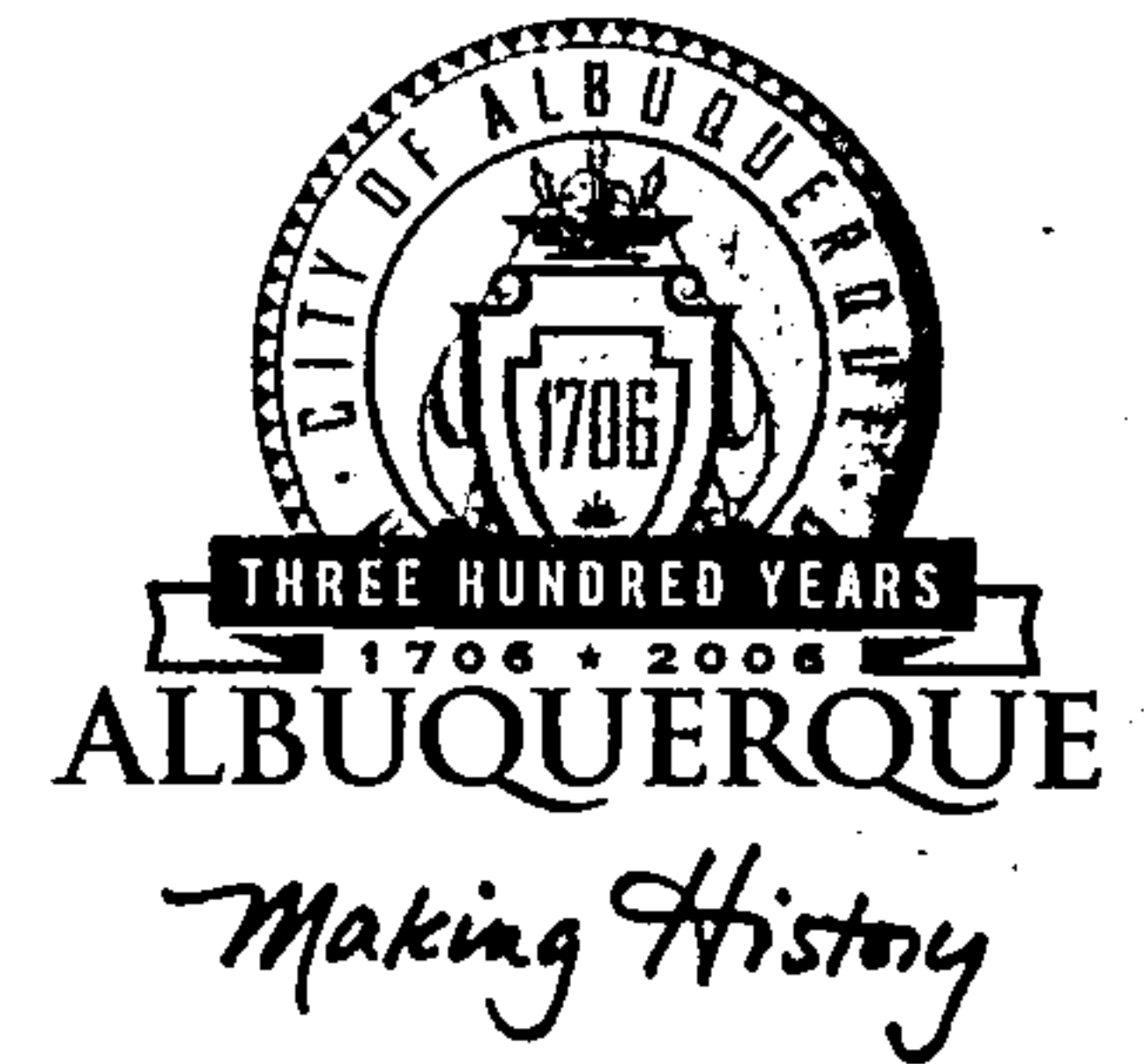
DATE SUBMITTED: 7/18/06 BY: Wallace Bingham

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



# CITY OF ALBUQUERQUE



January 19, 2006

Wallace L. Bingham, P.E.  
Bingham Engineering  
6344 Belcher NE  
Albuquerque, NM 87109

**Re: Descanso Warehouse, 2301 2<sup>nd</sup> St. SW-Grading & Drainage Plan  
Engineer's Stamp dated 1-18-06 (L14-D12B)**

Dear Mr. Bingham,

Based upon the information provided in your submittal dated 1-18-06, the above referenced plan is approved for Building Permit and SO19 Permit. The SO19 Permit is required for construction within the City right-of-way. A copy of this approval letter must be on hand when applying for the SO19 Permit. Please attach a copy of this approved plan to the construction sets prior to Hydrology sign-off for Building Permit. Additionally, prior to release of the Certificate of Occupancy an Engineer's Certification of the grading plan per the DPM checklist will be required.

P.O. Box 1293

Albuquerque

If you have any questions, you can contact me at 924-3990.

Sincerely,

New Mexico 87103

Phillip J. Lovato, E.I., C.F.M.  
Engineering Associate, Hydrology,  
Development and Building Services,  
Planning Department

[www.cabq.gov](http://www.cabq.gov)

cc: Liz Sanchez, Excavation & Barricading  
Matt Cline, Storm Drain Maintenance  
file

## DRAINAGE INFORMATION SHEET

PROJECT TITLE: DESCANSO WAREHOUSE  
#: PC#: N/A

ZONE MAP/DRG. FILE L-14 / D12B  
WORK ORDER#:

LEGAL DESCRIPTION: TRACT 427a, MRGCD MAP 41

CITY ADDRESS: 2301 2nd STREET SW

ENGINEERING FIRM: BINGHAM ENGINEERING

ADDRESS:  
CITY, STATE: Albuquerque, New Mexico

CONTACT:  
PHONE: 7974699  
ZIP CODE:

OWNER: DESCANSO INC.

ADDRESS: 1101 Cardenas Dr. NE  
CITY, STATE: Albuquerque, New Mexico

CONTACT:  
PHONE: 262 6212  
ZIP CODE:

ARCHITECT: N/A

ADDRESS:  
CITY, STATE:

CONTACT:  
PHONE:  
ZIP CODE:

SURVEYOR: N/A

ADDRESS:  
CITY, STATE:

CONTACT:  
PHONE:  
ZIP CODE:

CONTRACTOR: N/A

ADDRESS:  
CITY, STATE:

CONTACT:  
PHONE:  
ZIP CODE:

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☒ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION  
☐ CLOMR/LOMR  
☐ OTHER

### WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☐ NO  
☐ COPY PROVIDED

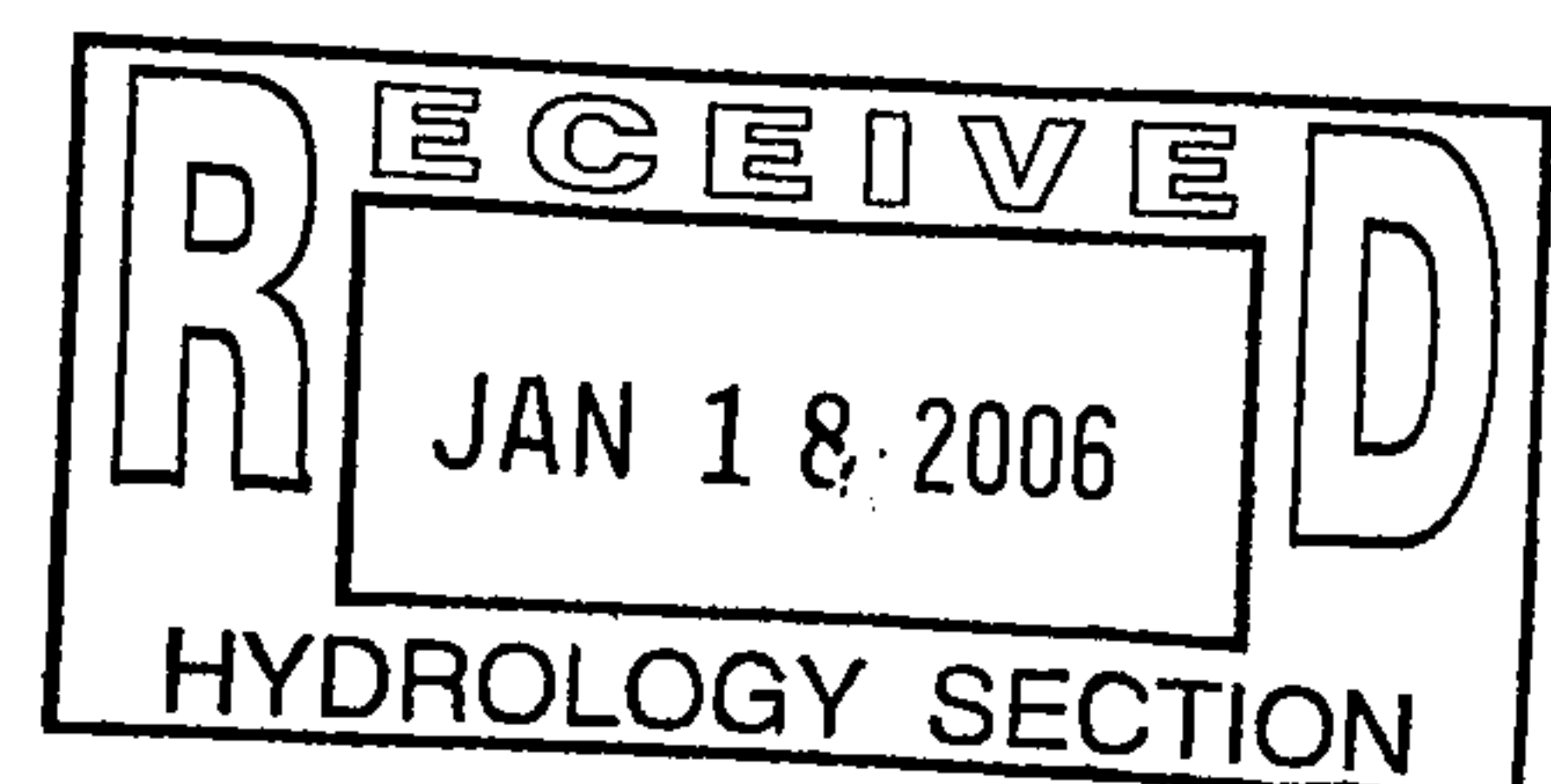
### CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

DATE SUBMITTED: 1/18/06 BY: Wallace Bingham

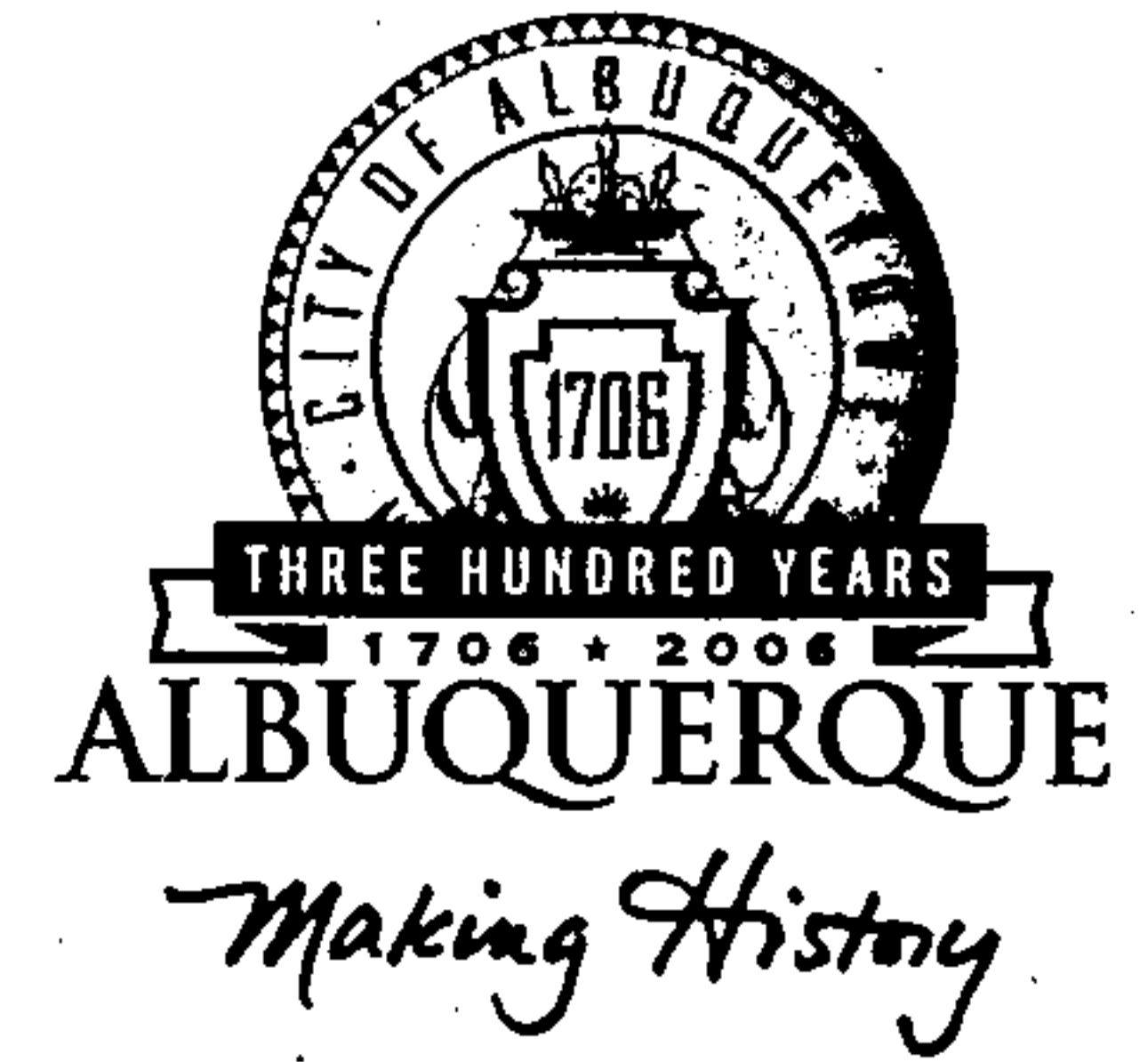
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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- 2. Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
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# CITY OF ALBUQUERQUE



November 22, 2005

Harold L. Bennett, PE  
Bennett Engineering  
1324 Bernardino Rd. NW  
Albuquerque, NM 87104

**Re: Descanso Inc. Warehouse, 2301 2<sup>nd</sup> St. SW-Grading & Drainage Plan  
Engineer's Stamp dated 11-21-05 (L14-D12B)**

Dear Mr. Bennett,

Based upon the information provided in your submittal dated 11-21-05, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

P.O. Box 1293

Albuquerque

New Mexico 87103

- Address all comments from previous letter dated November 11, 2005.
- One of the requirements for use of the Flat Grading Scheme is that no accessible storm drains are near the proposed development. Investigate draining the storm runoff for the above site into the existing 48" storm drain located along 2<sup>nd</sup> Street.
- Provide calculations for the 100-year 10-day storm volume and show the water surface elevation on plan.
- The perimeter wall detail shown on plan does not appear stable. How deep is the wall buried? Does the wall require a footing?

[www.cabq.gov](http://www.cabq.gov)

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE  
Principal Engineer, Planning Dept.  
Development and Building Services

C: file

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 06/22/2005)

PROJECT TITLE: Desanoso, Inc. Warehouse ZONE MAP/DRG. FILE # L-14/D12B  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: @ 5 2nd St  
 CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM: C J & L Engineer  
 ADDRESS: 1324 Bernardino  
 CITY, STATE: ALB

CONTACT: H L Bennett  
 PHONE: 266 3031  
 ZIP CODE: \_\_\_\_\_

OWNER: Charley Bldg.  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER

Resub

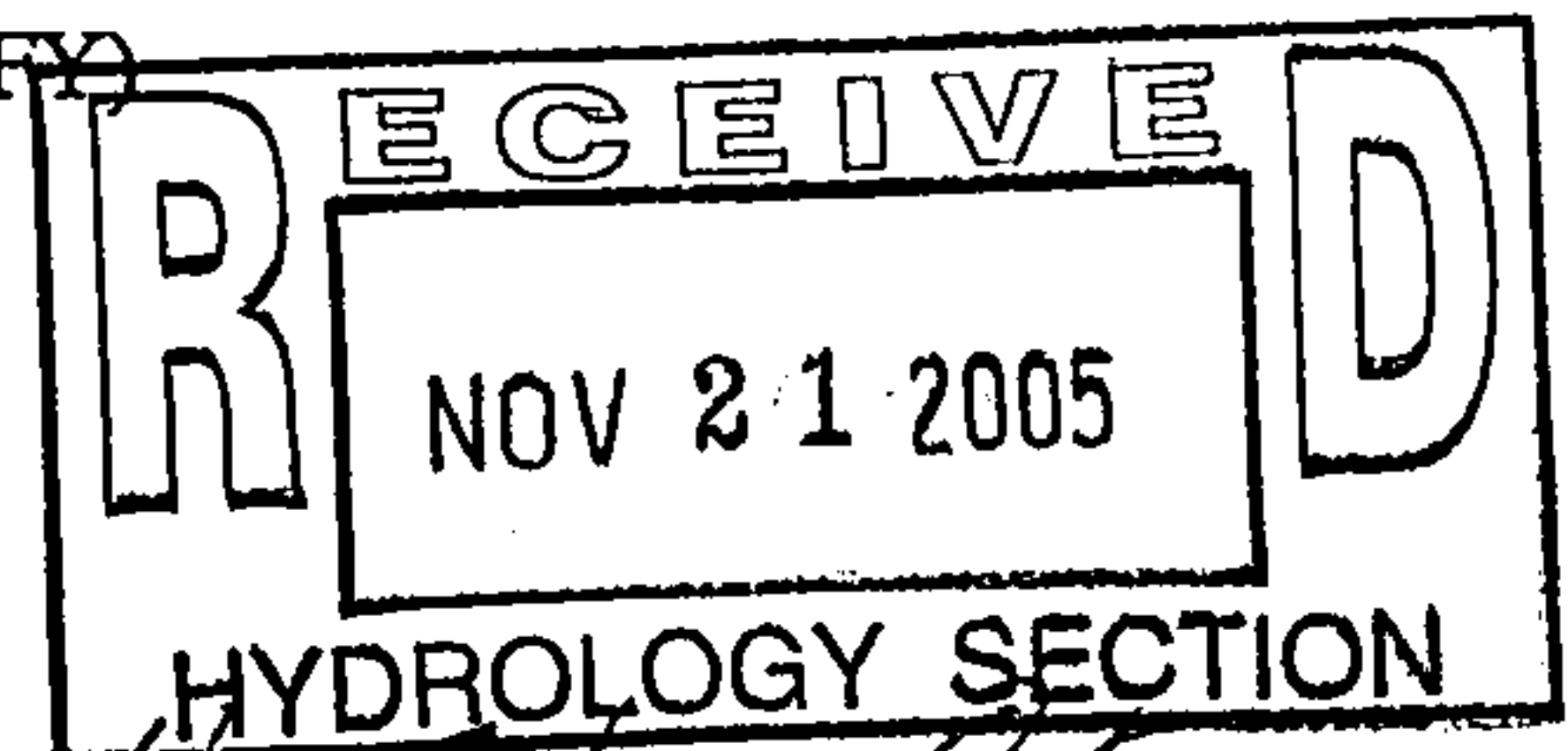
## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☒ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

SUBMITTED BY: H L Bennett DATE: 11-21-05

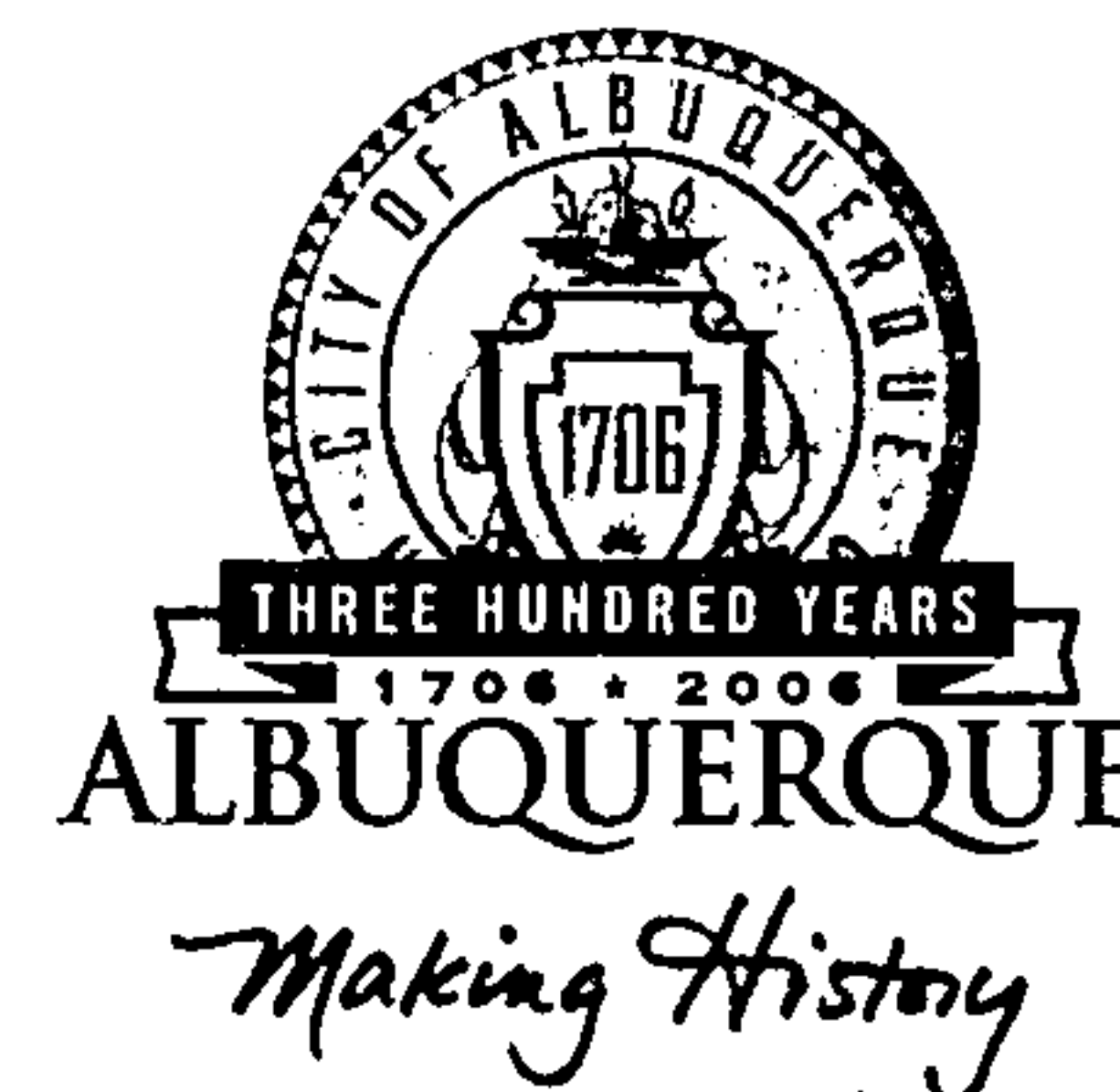


Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



# CITY OF ALBUQUERQUE



November 1, 2005

Harold L. Bennett, PE  
Bennett Engineering  
1324 Bernardino Rd. NW  
Albuquerque, NM 87104

**Re: Descanso Inc. Warehouse, 2301 2<sup>nd</sup> St. SW-Grading & Drainage Plan  
Engineer's Stamp dated 9-22-05 (L14-D12B)**

Dear Mr. Bennett,

Based upon the information provided in your submittal dated 10-18-05, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

- Revise the proposed land treatment areas and affected drainage calculations. The total proposed area does not match the total existing area.
- Provide proposed drainage calculations. The existing and proposed drainage calculations cannot be the same because the land treatments are not the same.
- What are the values ( $Q_p=12.3198$  cfs and  $A=4.41$  in.) shown under proposed peak discharge?
- Coordinate finish floor elevations shown on plan and note.
- Since you are proposing retaining all storm runoff onsite you are required to meet the requirements of the Flat Grading Scheme per the DPM, Chapter 22, Section 5.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE  
Principal Engineer, Planning Dept.  
Development and Building Services

C: file



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 06/22/2005)

PROJECT TITLE: DESCANEO LN, W/H ZONE MAP/DRG. FILE # L-14/D-12B  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION:  
 CITY ADDRESS: 2301 SECOND ST SW

ENGINEERING FIRM: HAROLD BENNETT CONTACT: JOHN KIRK  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

OWNER: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: BILL BUCKLEY AIA CONTACT: BILL BUCKLEY  
 ADDRESS: 5332 DORSEY AVE PHONE: 263-7960  
 CITY, STATE: LAS CRUCES NM 88001 ZIP CODE: 88001

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

**TYPE OF SUBMITTAL:**

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>ST</sup> SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☒ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER

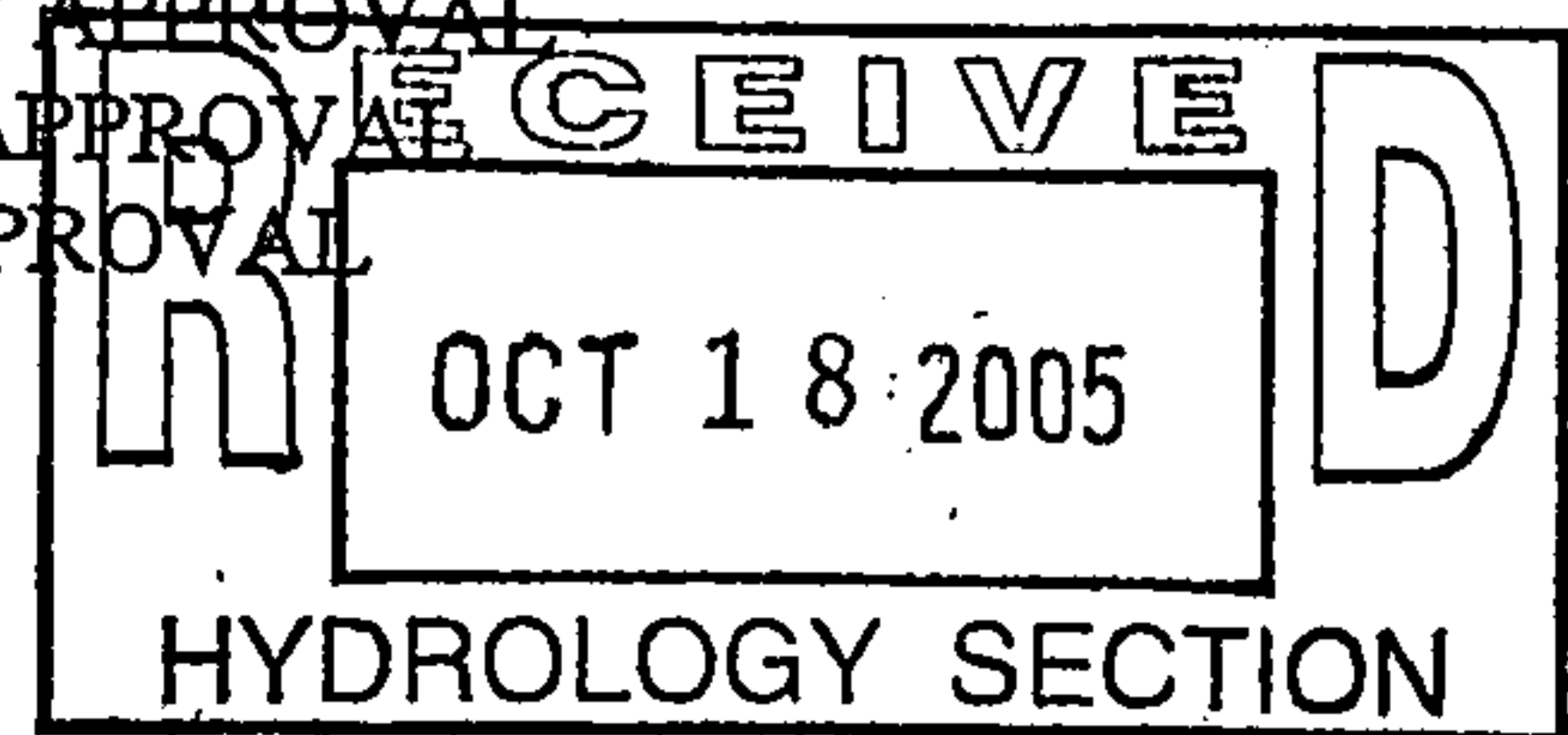
**CHECK TYPE OF APPROVAL SOUGHT:**

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

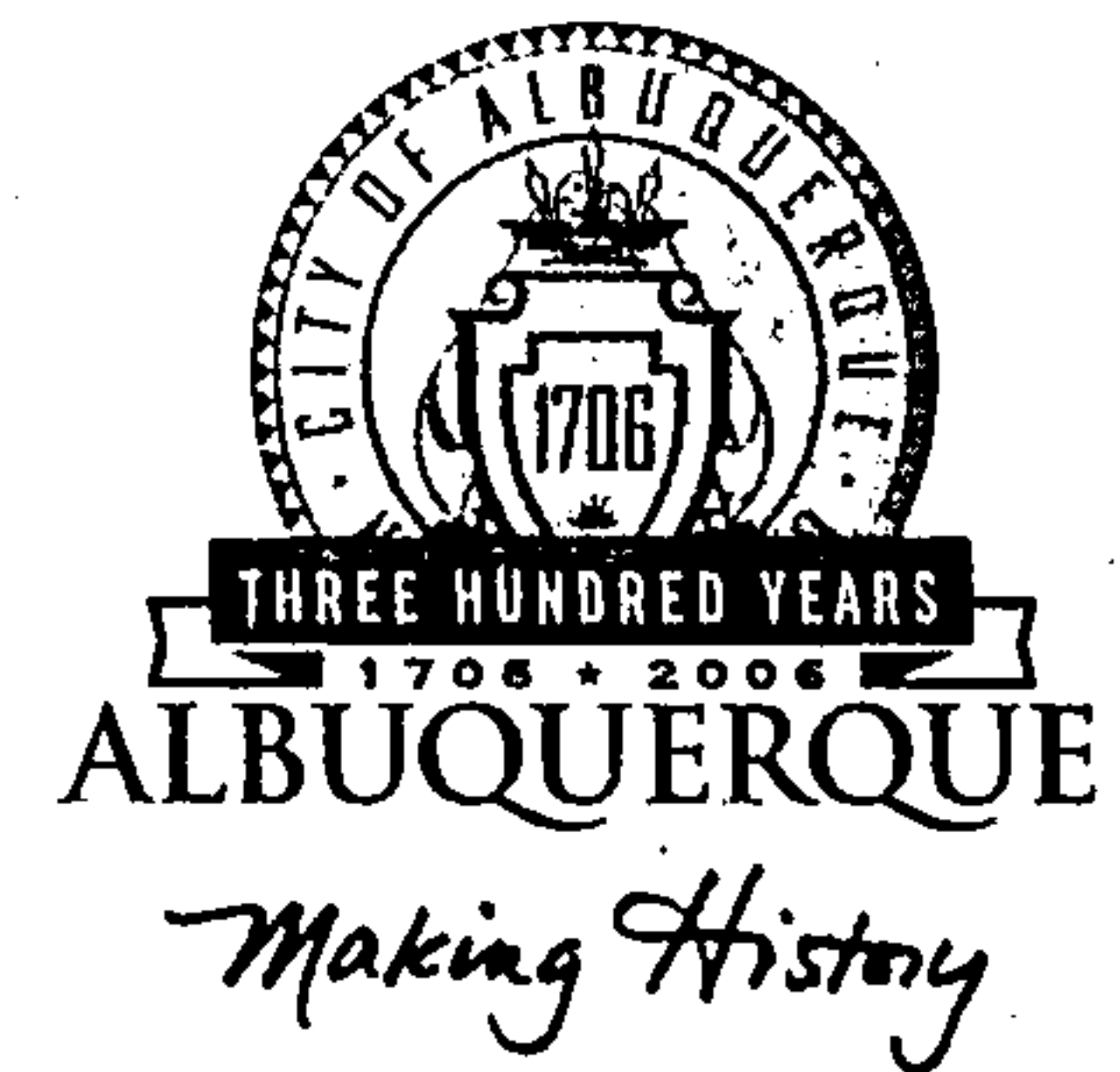
SUBMITTED BY: [Signature] DATE: 10/18/05



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

# CITY OF ALBUQUERQUE



October 25, 2005

Bill Buckley, R.A.  
Bill Buckley Architects  
5332 Derringer  
Las Cruces, NM 88011

**Re: Descanso Inc. Warehouse, 2301 Second St. SW-Traffic Circulation Layout  
Architect's Stamp dated 10-18-05 (L14-D12B)**

Dear Mr. Buckley,

Based upon the information provided in your submittal received 10-18-05, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

- Provide parking calculations.
- Provide vicinity map.
- Call out existing curb cut, curb and gutter and sidewalk along Second Street.
- Does Solid Waste have enough room to backout?
- Is crushed pavement allowed by zoning?

If you have any questions, you can contact me at 924-3991.

Sincerely,

Wilfred A. Gallegos, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: file



## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 06/22/2005)

PROJECT TITLE: DESCANCO INC, UFF.

DRB#:

EPC#:

ZONE MAP/DRG. FILE # L-14/D-12B

WORK ORDER#:

LEGAL DESCRIPTION:

CITY ADDRESS: 2801 SECOND ST, SWENGINEERING FIRM: HAROLD BENNETTADDRESS: 1324 Bernardino Rd NWCITY, STATE: Alb. NMCONTACT: JOHN KLEKPHONE: 266-3038ZIP CODE: 87104C250-4121

OWNER:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

ARCHITECT: BILL BUCKLEYADDRESS: 5332 DEERVIEWCITY, STATE: ALB. CRUIES NM 88011CONTACT: BILL BUCKLEYPHONE: 263-960ZIP CODE: 88011

SURVEYOR:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

CONTRACTOR:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

## TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☒ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
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☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☒ YES☐ NO☐ COPY PROVIDEDSUBMITTED BY: Debra SuerdickDATE: 10/10/05

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- PARKING CALC'S

- VICINTY MAP

- SIDEWALK  $\frac{1}{2}$  CURB CUT ON  
2ND. NEW OR EXISTING

- ADA SPACE

- SOLID WASTE BACKOUT

- CRUSHED PAVEMENT ALLOWED  
BY ZONING