

# CITY OF ALBUQUERQUE



March 8, 2019

Joshua R. Dey  
Adams Engineering  
8951 Cypress Waters Blvd, Suite 150  
Coppell, TX 75019

**Re: McDonalds 4<sup>th</sup> Street**  
**1523 4<sup>th</sup> St SW**  
**Request for Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Engineer's/Architect's Stamp dated 7-5-18 (L14D017)  
Certification dated 2-28-19

Dear Mr. Dey

Based upon the information provided in your submittal received 3-06-19, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

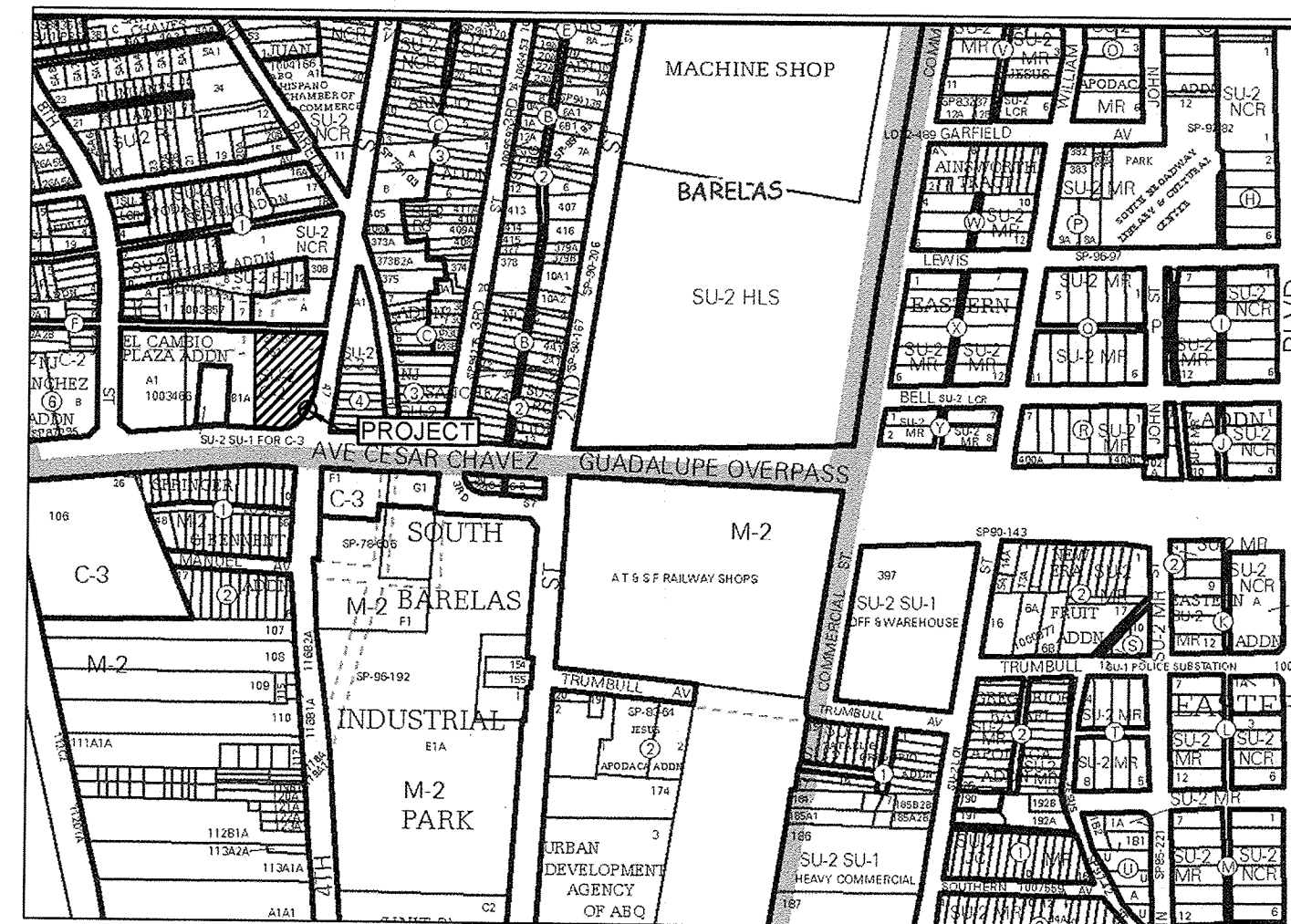
If you have any questions, please contact Ernie Gomez at (505) 924-3981 or me at (505)924-3633.

Sincerely,

Ernest Armijo, P.E.  
Senior Transportation Engineer, Planning Dept.  
Development Review Services

Ernie Gomez,  
Plan Checker, Planning Dept.  
Development Review Services

EG via: email  
C: CO Clerk, File



CITY OF ALBUQUERQUE  
'PLANNING'

These plans have been reviewed  
for code compliance and are:

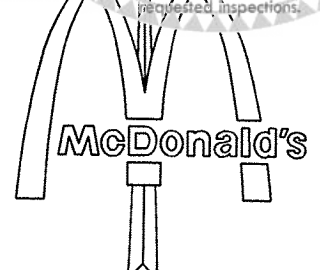
**APPROVED**

The Approval of these plans shall not  
be construed to be a permit for any  
violation of any code or ordinance  
of this city.

PERMIT # **BP-2018-09386**


DATE: **07/19/18**

A printed copy of this permit shall be on the job for all  
work and inspections.



10 30  
0 20 40

REV	DATE	DESCRIPTION	BY
1	03/27/2018	REVISED FOR DRIVE-THRU	MHA
2	05/10/2018	REVISED PER TCL COMMENTS	MDK
3	06/26/2018	REVISED RT RAMP PER OIO	MDK
4	07/05/2018	REVISED DT OOSP AND RAMP PER OIO	MDK



# Adams

ADAMS JOB NO.:  
**2015.177**

9551 Cypress Waters Blvd, Suite 150 ■ Dallas, Texas 75019 ■ (817) 328-3200

8951 Cypress Waters Blvd, Suite 150 ■ Dallas, Texas 75019 ■ (817) 328-3200

# Adams

1

7.5.18

G. ROBERT ADAMS  
NEW MEXICO  
15142  
LICENSED PROFESSIONAL ENGINEER

7. Roubicek

**OWNER INFORMATION**


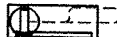






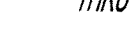
MCDONALD'S USA, LLC  
MOUNTAIN SOUTHWEST  
FIELD EXECUTION TEAM  
511 E. JOHN CARPENTER FRWY, STE. 375  
IRVING, TX 75062  
(214) 533-7382  
CONTACT: LEE MORRIS

**HERE WE GROW AGAIN SIGN**





THE GENERAL CONTRACTOR SHALL DISPLAY A  
"HERE WE GROW AGAIN" BANNER DURING  
CONSTRUCTION. THESE BANNERS ARE AVAILABLE  
THROUGH ALTRUA GLOBAL SOLUTIONS.  
CONTACT: KRISTY FIALLO - PH#: 1-800-443-6939

KEY NOTE LEGEND	
MARK	MARK DESCRIPTION
①	TRANSITION CURB (RE: C6.3 STANDARD DETAILS)
②	REINFORCED CONCRETE SIDEWALK (RE: C6.3 STANDARD DETAILS)
③	H.C. ACCESS RAMP @1:12 MAX SLOPE (RE: C6.1 STANDARD DETAILS)
④	HANDICAP ACCESSIBLE ROUTE
⑤	HANDICAP ACCESSIBLE SIGN (BUILDING OR POLE MOUNTED) (RE: C6.1 STANDARD DETAILS, DETAIL THIS SHEET)
⑥	McDONALD'S OOSP SIGN (RE: C6.4 STANDARD DETAILS)
⑦	GUARDRAIL @ INGRESS/EGRESS DOOR (RE: C6.1 STANDARD DETAILS)
⑧	4" PARKING STALL STRIPING - COLOR : WHITE (TYP)
⑨	HANDICAP ACCESSIBLE SPACES / SYMBOLS / CROSSWALK - COLOR : (PER STATE/CITY REQUIREMENTS)
⑩	8" OOSP STRIPING - COLOR : YELLOW
⑪	"DO NOT ENTER" STRIPING - COLOR : WHITE
⑫	"DO NOT ENTER" SIGN (RE: C6.5 STANDARD DETAILS)
⑬	MOTORCYCLE PARKING SIGN (RE: C6.5 STANDARD DETAILS)


### SITE LEGEND

McDONALD'S DIGITAL MENU BOARD	
McDONALD'S ORDER HERE CANOPY	
McDONALD'S DIGITAL PRE-BROWSE BOARD	
McDONALD'S DOUBLE GATEWAY	
DETECTOR LOOP (LOCATION TO BE APPROVED BY McDONALD'S) (RE: C6.0 STANDARD DETAILS)	
"DRIVE-THRU" WITH "CIRCLE / ARROW" - COLOR : YELLOW	
"THANK YOU" AT END OF PATH - COLOR : YELLOW	
"CIRCLE / ARROW" - COLOR : YELLOW	
ARROW PATH DIRECTION - COLOR : WHITE	

**PAVING LEGEND**

	<p>REINFORCED CONCRETE SIDEWALK. MINIMUM 4" THICK REINFORCED WITH #4 BARS @ 18" O.C.E.V. CONCRETE TO BE 4000 PSI 28-DAY STRENGTH</p>
	<p>SAWCUT LINE</p>
	<p>HEAVY DUTY REINFORCED CONCRETE @ DRIVING AREAS &amp; DRIVE-THRU.</p>
	<p>LANDSCAPE AREA</p>

SITE INFORMATION	
LAND AREA:	40,091 SF (0.920 AC)
CURRENT ZONING:	SU-2 SPECIAL NEIGHBORHOOD
EXISTING USE:	DRIVE-THRU RESTAURANT
PROPOSED USE:	DRIVE-THRU RESTAURANT
BUILDING AREA (APPROXIMATE):	4,754 SF
BUILDING LOT COVERAGE:	4,754 SF/40,091 SF = 11.86%
PARKING REQUIRED:	1 SPACE PER 4 SEATS SF 79 SEATS/4 SEATS = 20 SPACES
PARKING PROVIDED:	44
HANDICAP PARKING REQUIRED:	3
HANDICAP PARKING PROVIDED:	3

<b>TRAFFIC CIRCULATION LAYOUT</b> <b>APPROVED</b>	
 _____ <b>Signed</b>	<b>7/11/18</b> _____ <b>Date</b>

<b>PAVING SPECIFICATION</b>	<table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; border-bottom: 1px solid black;">VERIFY W/ MCDONALD'S:</td> <td style="width: 25%; border-bottom: 1px solid black;">ASPHALT: <input type="checkbox"/></td> <td style="width: 25%; border-bottom: 1px solid black;">CONCRETE: <input checked="" type="checkbox"/></td> </tr> <tr> <td style="border-bottom: 1px solid black;">CONTRACTOR TO BID:</td> <td style="border-bottom: 1px solid black;">ASPHALT: <input type="checkbox"/></td> <td style="border-bottom: 1px solid black;">CONCRETE: <input checked="" type="checkbox"/></td> </tr> </table>	VERIFY W/ MCDONALD'S:	ASPHALT: <input type="checkbox"/>	CONCRETE: <input checked="" type="checkbox"/>	CONTRACTOR TO BID:	ASPHALT: <input type="checkbox"/>	CONCRETE: <input checked="" type="checkbox"/>
VERIFY W/ MCDONALD'S:	ASPHALT: <input type="checkbox"/>	CONCRETE: <input checked="" type="checkbox"/>					
CONTRACTOR TO BID:	ASPHALT: <input type="checkbox"/>	CONCRETE: <input checked="" type="checkbox"/>					

CONCRETE PAVEMENT RECOMMENDATIONS - BASE BID	
PAVEMENT MATERIALS	HEAVY DUTY
PORTLAND CEMENT CONCRETE PAVEMENT	6"
GRANULAR SUB-BASE	6"

**PAVEMENT NOTES:**

1. MCDONALD'S HAS ELECTED NOT TO HAVE A GEOTECHNICAL REPORT FOR THIS PROJECT.
2. SUBGRADE SHOULD BE SCARIFIED AND COMPACTED TO AT LEAST 95 PERCENT OF THE STANDARD PROCTOR (ASTM D 698) MAXIMUM DRY DENSITY FOR A DEPTH OF AT LEAST 6 INCHES BELOW THE SURFACE.
3. PAVEMENT MAY BE PLACED AFTER THE SUBGRADE HAS BEEN PROPERLY COMPACTED, FINE-GRADED AND PROOF ROLLED.
4. ALL WORK SHALL BE IN ACCORDANCE WITH NEW MEXICO DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
5. WATER SHOULD NOT BE ALLOWED TO POND BEHIND CURBS AND SATURATE THE BASE MATERIALS. GRANULAR BASE MATERIAL SHOULD EXTEND THROUGH THE SLOPE PROVIDING UNDERGROUND DRAINAGE AN EXIT PATH.
6. REFER TO C6.2 FOR CONCRETE JOINT SPECIFICATIONS.
7. ALL CONCRETE PAVEMENT SHALL BE 4,000 PSI @ 28 DAYS AND REINFORCED WITH #4 BARS @ 18" O.C.E.W.

## STANDARD ACCESSIBILITY REQUIREMENTS

---

**PARKING:**

ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO A MIN. 96" WIDE OR A MIN. 132" WIDE FOR VAN DESIGNATED SPACES WITH A MAXIMUM SLOPE OF 2% (IN ALL DIRECTIONS). ALL BUILDINGS SHALL HAVE AT LEAST ONE VAN ACCESSIBLE SPACE.

EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR SUSPENDED) SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. AT LEAST ONE SPACE MUST INCORPORATE THE "VAN-ACCESSIBLE" BELOW THE SYMBOL OF ACCESSIBILITY. SIGN SHALL BE LOCATED AS NOTED TO 60" (MIN.) ABOVE THE ADJACENT PAVED SURFACE TO BOTTOM OF TEXT.

ALL ACCESSIBLE AISLES SERVING ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO A 60" WIDE MINIMUM.

**RAMPS:**

RAMPS EXCEEDING 6" IN RISE (EXCLUDING CURB RAMPS) SHALL HAVE APPROPRIATE EDGE PROTECTION WITH HANDRAILS ON EACH SIDE AT BETWEEN 34" AND 38", AND EXTEND 12" BEYOND THE TOP AND BOTTOM OF RAMP. HANDRAIL SHALL NOT DIMINISH THE CLEAR AREA REQUIRED FOR TOP AND BOTTOM LANDINGS SERVING THE RAMPS.

IF REQUIRED BY LOCAL OR STATE JURISDICTION, RAMPS SHALL CONTAIN A TRUNCATED DOME SURFACE ARRANGED SO THAT WATER WILL NOT ACCUMULATE. COLOR OF RAMP FINISH MATERIAL (INCLUDING CONCRETE) MUST HAVE A LIGHT AND REFLECTIVE VALUE AND MUST CONTRAST SIGNIFICANTLY TO DISTINGUISH IT FROM ADJACENT SURFACES - (OR PAINT STRIPE).

LANDINGS FOR RAMPS SHALL BE AS WIDE AS THE RAMP AND 60" LONG MINIMUM (36" MINIMUM FOR CURB RAMPS).

RAMPS SHALL NOT EXCEED A 1:12 RUNNING SLOPE OR 30° VERTICAL RISE.

RAMPS AND LANDING SHALL NOT EXCEED 1:48 (2% CROSS SLOPE).


**SIDEWALKS AND ACCESSIBLE ROUTES:**

SIDEWALKS MUST BE AT LEAST 36" WIDE WITH A CROSS SLOPE THAT SHALL NOT EXCEED 1:48 (2%).

LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%).

RECORD DRAWINGS February 1919

These plans have been revised to reflect those changes, if any, that deviated from the City approved construction plans. All revisions are based on construction records furnished to ADAMS by the contractor of record. We are not aware of any other changes as ADAMS was not on-site through the construction duration. Neither the owner nor the engineer verified lines or grades after construction.

ENGINEER: 

# 25052 DATE: 2/28/19




2/28/19

JOSHUA R. DEY  
NEW MEXICO  
25052  
PROFESSIONAL ENGINEER

*[Signature]*



Know what's **below**.  
Call before you dig.

PLAN APPROVALS		OFFICE	MTN. SOUTHWEST FIELD EXECUTION TEAM	MCDONALD'S LUC; 030-9145
	SIGNATURE (2 REQUIRED)	ADDRESS	KROC DRIVE - OAK BROOK, ILLINOIS 60021	
REGIONAL MGR.		 <b>McDonald's USA, LLC</b> <small>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of McDonald's USA, LLC. These drawings are prepared for use on this specific site in conjunction with its issue data and are not suitable for use on any different site. Reproduction of these drawings for reference or example on another project requires the services of properly licensed architects and engineers. Reproduction of the contract documents for reuse on another project is not authorized.</small>		
CONST. MGR.				
OPERATIONS DEPT.				
REAL ESTATE DEPT.				
CO-SIGN SIGNATURES				
CONTRACTOR		1523 4TH STREET SW		
OWNER		ALBUQUERQUE, NEW MEXICO		

	DATE	BY
DESIGNED	FEB. 2018	TMC
DRAWN	FEB. 2018	TMC
CHECKED	FEB. 2018	DWL
AS-BUILT		

**SITE & PAVING  
PLAN**

**C30**

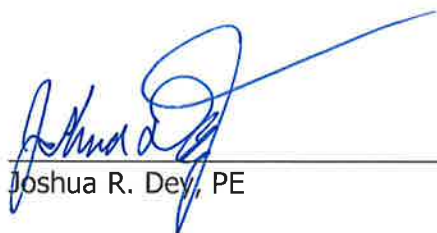


## TRAFFIC CERTIFICATION

I, Joshua Dey, NM PE, of the firm of Adams Engineering (ADAMS), hereby certify that this project is in substantial compliance with and in accordance with the design intent of the approved Traffic Circulation Plan dated July 11, 2018 (Traffic Engineering signoff date). I further certify that I personally visited the project site on February 5, 2019 and determined by visual inspection that the survey data provided was representative of actual site conditions and was true and correct to the best of my knowledge and belief. This certification was submitted in support of a request for a certificate of occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

**Adams** | Engineering & Development Consultants

  
Joshua R. Dey, PE

February 28, 2019  
Date



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** McDonalds - 4th Street **Building Permit #:** BP-2018-09386 **Hydrology File #:** L14-D017  
**DRB#:** N/A **EPC#:** N/A **Work Order#:** N/A

**Legal Description:** Tract C, El Cambio Plaza Addition

**City Address:** 1523 4th Street SW, Albuquerque, NM

**Applicant:** Adams Engineering **Contact:** Josh Dey

**Address:** 8951 Cypress Waters Blvd, Suite 150, Coppel, TX 75019

**Phone#:** 817.328.3210 **Fax#:** \_\_\_\_\_ **E-mail:** josh.dey@adams-engineering.com

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

1523 4th Street SW, Albuquerque, NM

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

**IS THIS A RESUBMITTAL?** \_\_\_\_\_ Yes ☒ No

**DEPARTMENT** ☒ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 2/28/2019 **By:** Josh Dey

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

## Gomez, Ernest P.

---

**From:** Josh Dey <jdey@adams-engineering.com>  
**Sent:** Thursday, March 07, 2019 3:37 PM  
**To:** Gomez, Ernest P.  
**Subject:** RE: McDonald's 1523 4th Street Transportation Final Submittal (L14D017)

Process as a \$150.00 CO.

Joshua Dey, PE  
Civil Engineer

**Adams** | Engineering & Development Consultants  
Tyler | Dallas | Austin

O: 817.328.3200 | D: 817.328.3210  
8951 Cypress Waters Blvd, Ste. 150  
Coppell, TX 75019

[fb](#) | [in](#) | [Website](#) | [Map](#)

**From:** Gomez, Ernest P. <epgomez@cabq.gov>  
**Sent:** Thursday, March 7, 2019 4:27 PM  
**To:** Josh Dey <jdey@adams-engineering.com>  
**Subject:** RE: McDonald's 1523 4th Street Transportation Final Submittal (L14D017)

Good Afternoon Josh,

We received the check today in the amount of \$150.00, and the fee amount is \$110.00 for Transportation CO. Unfortunately our treasury department wont credit the overpaid amount. I can process this as a \$150.00 CO, or you can issue another check for \$110.00. How would you like to proceed?



**ERNIE GOMEZ**  
plan checker  
o 505.924.3981  
e epgomez@cabq.gov  
[cabq.gov/planning](http://cabq.gov/planning)

---

**From:** Gomez, Ernest P.  
**Sent:** Wednesday, March 06, 2019 12:16 PM  
**To:** 'Josh Dey'  
**Subject:** RE: McDonald's 1523 4th Street Transportation Final Submittal (L14D017)

City of Albuquerque. Mailed to 600 2<sup>nd</sup> St. NW 87102, Ground level. Attn: Ernie Gomez



**ERNIE GOMEZ**

plan checker

o 505.924.3981

e [epgomez@cabq.gov](mailto:epgomez@cabq.gov)

[cabq.gov/planning](http://cabq.gov/planning)

---

**From:** Josh Dey [<mailto:jdey@adams-engineering.com>]

**Sent:** Wednesday, March 06, 2019 12:14 PM

**To:** Gomez, Ernest P.

**Subject:** Re: McDonald's 1523 4th Street Transportation Final Submittal (L14D017)

Who should the check be made out to?

Get [Outlook for iOS](#)

---

**From:** Gomez, Ernest P. <[epgomez@cabq.gov](mailto:epgomez@cabq.gov)>

**Sent:** Wednesday, March 6, 2019 12:51 PM

**To:** Josh Dey

**Subject:** RE: McDonald's 1523 4th Street Transportation Final Submittal (L14D017)

Sorry, we're are not set up for online or over the phone payments. Besides visiting the office a check can be mailed in.



**ERNIE GOMEZ**

plan checker

o 505.924.3981

e [epgomez@cabq.gov](mailto:epgomez@cabq.gov)

[cabq.gov/planning](http://cabq.gov/planning)

---

**From:** Josh Dey [<mailto:jdey@adams-engineering.com>]

**Sent:** Wednesday, March 06, 2019 11:40 AM

**To:** Gomez, Ernest P.; 'Dan Barnsley'

**Cc:** Matt Korte; Heather Macomber

**Subject:** Re: McDonald's 1523 4th Street Transportation Final Submittal (L14D017)

Can I pay that online or over the phone?

Get [Outlook for iOS](#)

---

**From:** Gomez, Ernest P. <[epgomez@cabq.gov](mailto:epgomez@cabq.gov)>

**Sent:** Wednesday, March 6, 2019 12:37 PM

**To:** 'Dan Barnsley'; Josh Dey

**Subject:** RE: McDonald's 1523 4th Street Transportation Final Submittal (L14D017)

Good Morning,

We received today a Transportation CO request for McDonalds located at 1523 4<sup>th</sup>. St. Unfortunately I will not be able to log-in or visit the site until the CO fee is paid. **Transportation CO fee is \$110.00**, please pay fee at the earliest convenience.



**ERNIE GOMEZ**

plan checker

o 505.924.3981

e [epgomez@cabq.gov](mailto:epgomez@cabq.gov)

[cabq.gov/planning](http://cabq.gov/planning)

=====

This message has been analyzed by Deep Discovery Email Inspector.

=====

This message has been analyzed by Deep Discovery Email Inspector.

=====

This message has been analyzed by Deep Discovery Email Inspector.