# CITY OF ALBUQUERQUE



July 11, 2018

Rogue Architects Cesar Segovia 513 Main St. Ste. 300 Fort Worth TX, 76102

Re: McDonalds-4<sup>th</sup>/Bridge

1523 4th St. SW

**Traffic Circulation Layout** 

Engineer's/Architect's Stamp 07-05-18 (L14-D017)

Dear Mr. Segovia,

The revised TCL submittal received 07-10-18 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed <u>Drainage and Transportation Information Sheet</u> to front counter personnel for log in and evaluation by Transportation.

Albuquerque

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

NM 87103

Sincerely,

www.cabq.gov

Ernest Armijo, P.E.

Senior Engineer, Planning Department

**Development Review Services** 

via: email

C:

File

#### \*\*THIS PERMIT IS UNDER FASTRAX REVIEW\*\*



# City of Albuquerque

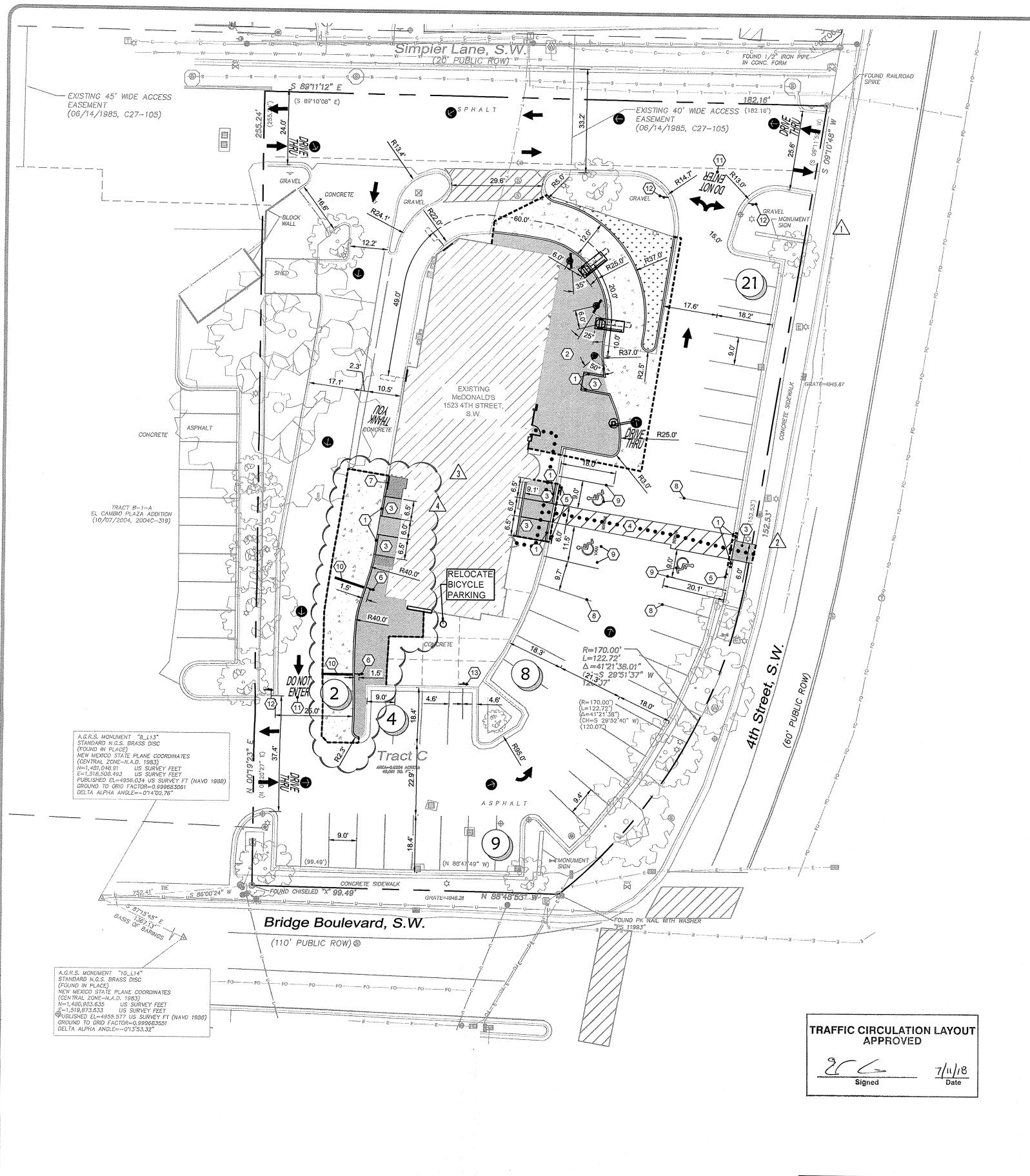
Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2016)

MIN	FASTRAX	REVIEW PERMIT	7
Project Title: McDonalds - Bridge			Hydrology File #: <u>LIH QOI</u>
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Legal Description:			
City Address: 1523 4th Street SW, Albuquero			
Applicant: Rogue Architects			Contact: Cesar Segovia
Address: 513 Main St, Suite 300, Fort Worth			
Phone#: 817-529-6874			
Other Contact:			Contact:
Address:			
Phone#:	Fax#:		E-mail:
Check all that Apply:			
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X TRAFFIC/ TRANSPORTATION		CERTIFICATE	OF OCCUPANCY
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DRAINAGE MASTER PLAN	FOUNDATION		
DRAINAGE REPORT			
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IS THIS A RESUBMITTAL?: X Yes X No.			
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DATE SUBMITTED: <u>7/9/2018</u>	By: Cesar	Segovia	7
DATE SUBMITTED: 7/9/2018  COA STAFF:	By: Cesar	Segovia  UBMITTAL RECEIVED:	10

FEE PAID:\_\_\_

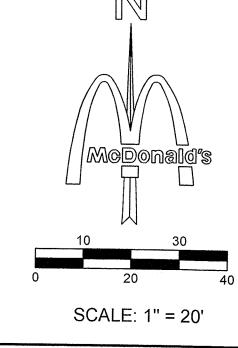




## \*\* NOTE TO CONTRACTOR - LOT RE-STRIPING \*\*

ALL AREAS, INCLUDING THOSE NOT AFFECTED BY ADA, DRIVE-THRU, OR OTHER SITE IMPROVEMENTS, SHALL BE RE-STRIPED.

KEY NOTE LEGEND MARK DESCRIPTION TRANSITION CURB (RE: C6.3 STANDARD DETAILS) REINFORCED CONCRETE SIDEWALK (RE: C6.3 STANDARD DETAILS) H.C. ACCESS RAMP @1:12 MAX SLOPE (RE: C6.1 STANDARD DETAILS) HANDICAP ACCESSIBLE ROUTE HANDICAP ACCESSIBLE SIGN (BUILDING OR POLE MOUNTED) (RE: C6.1 STANDARD DETAILS, DETAIL THIS SHEET) McDONALD'S OOSP SIGN (RE: C6.4 STANDARD DETAILS) GUARDRAIL @ INGRESS/EGRESS DOOR (RE: C6.1 STANDARD DETAILS) 4" PARKING STALL STRIPING - COLOR : WHITE (TYP) HANDICAP ACCESSIBLE SPACES / SYMBOLS / CROSSWALK - COLOR : (PER STATE/CITY REQUIREMENTS) 8" OOSP STRIPING - COLOR : YELLOW "DO NOT ENTER" STRIPING - COLOR : WHITE "DO NOT ENTER" SIGN (RE: C6.5 STANDARD DETAILS) MOTORCYCLE PARKING SIGN (RE: C6.5 STANDARD DETAILS)



THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

## OWNER INFORMATION

MCDONALD'S USA, LLC MOUNTAIN SOUTHWEST FIELD EXECUTION TEAM E. JOHN CARPENTER FRWY, STE. 375 IRVING, TX 75062 (214) 533-7382 CONTACT: LEE MORRIS

#### HERE WE GROW AGAIN SIGN

THE GENERAL CONTRACTOR SHALL DISPLAY A "HERE WE GROW AGAIN" BANNER DURING CONSTRUCTION. THESE BANNERS ARE AVAILABLE THROUGH ALTRUA GLOBAL SOLUTIONS. CONTACT: KRISTY FIALLO - PH#: 1-800-443-6939

# SITE LEGEND McDONALD'S DIGITAL MENU BOARD McDONALD'S ORDER HERE CANOPY **D**---McDONALD'S DIGITAL PRE-BROWSE BOARD McDONALD'S DOUBLE GATEWAY DETECTOR LOOP (LOCATION TO BE APPROVED BY McDONALD'S) (RE: C6.0 STANDARD DETAILS) "DRIVE-THRU" WITH "CIRCLE / ARROW" - COLOR : "THANK YOU" AT END OF PATH - COLOR: YELLOW "CIRCLE / ARROW" - COLOR : YELLOW ARROW PATH DIRECTION - COLOR : WHITE

# STANDARD ACCESSIBILITY REQUIREMENTS

# PARKING:

ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO A MIN. 96" WIDE OR A MIN. 132" WIDE FOR VAN DESIGNATED SPACES WITH A MAXIMUM SLOPE OF 2% (IN ALL DIRECTIONS). ALL BUILDINGS SHALL HAVE AT LEAST ONE VAN ACCESSIBLE SPACE.

EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR SUSPENDED) SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. AT LEAST ONE SPACE MUST INCORPORATE "VAN-ACCESSIBLE" BELOW THE SYMBOL OF ACCESSIBILITY. SIGN SHALL BE LOCATED AS NOTED TO 60" (MIN.) ABOVE THE ADJACENT PAVED SURFACE TO BOTTOM OF TEXT.

ALL ACCESS AISLES SERVING ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO A 60" WIDE

#### RAMPS:

RAMPS EXCEEDING 6" IN RISE (EXCLUDING CURB RAMPS) SHALL HAVE APPROPRIATE EDGE PROTECTION WITH HANDRAILS ON EACH SIDE AT BETWEEN 34" AND 38", AND EXTEND 12" BEYOND THE TOP AND BOTTOM OF RAMP. HANDRAIL SHALL NOT DIMINISH THE CLEAR AREA REQUIRED FOR TOP AND BOTTOM LANDINGS SERVING THE RAMPS.

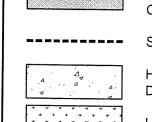
IF REQUIRED BY LOCAL OR STATE JURISDICTION, RAMPS SHALL CONTAIN A TRUNCATED DOME SURFACE ARRANGED SO THAT WATER WILL NOT ACCUMULATE. COLOR OF RAMP FINISH MATERIAL (INCLUDING CONCRETE) SHALL HAVE A LIGHT AND REFLECTIVE VALUE AND MUST CONTRAST SIGNIFICANTLY TO DISTINGUISH IT FROM ADJACENT SURFACES - (OR PAINT STRIPE).

LANDINGS FOR RAMPS SHALL BE AS WIDE AS THE RAMP AND 60" LONG MINIMUM (36" MINIMUM FOR CURB RAMPS).

RAMPS SHALL NOT EXCEED A 1:12 RUNNING SLOPE OR 30" VERTICAL RISE. RAMPS AND LANDING SHALL NOT EXCEED 1:48 (2% CROSS SLOPE).

SIDEWALKS AND ACCESSIBLE ROUTES:

SIDEWALKS MUST BE AT LEAST 36" WIDE WITH A CROSS SLOPE THAT SHALL NOT EXCEED 1:48 (2%).



## SITE INFORMATION

PARKING PROVIDED:

HANDICAP PARKING REQUIRED:

DRIVE-THRU RESTAURANT 4,754 SF/40,091 SF = 11.86% 1 SPACE PER 4 SEATS SF 79 SEATS/4 SEATS = 20 SPACES

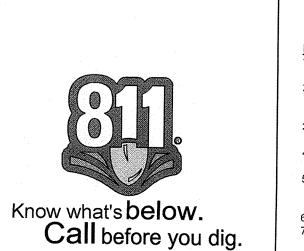
DATE BY DESIGNED FEB. 2018 TMC DRAWN FEB. 2018 TMC CHECKED FEB. 2018 DWL AS-BUILT

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McDonald's

SITE & PAVING PLAN



VERIFY W/ MCDONALD'S: ASPHALT: CONCRETE: PAVING SPECIFICATION CONTRACTOR TO BID: ASPHALT: CONCRETE: 🔀 CONCRETE PAVEMENT RECOMMENDATIONS - BASE BID PAVEMENT MATERIALS HEAVY DUTY PORTLAND CEMENT CONCRETE PAVEMENT GRANULAR SUB-BASE

PAVEMENT NOTES:

1. McDONALD'S HAS ELECTED NOT TO HAVE A GEOTECHNICAL REPORT FOR THIS PROJECT.

SUBGRADE SHOULD BE SCARIFIED AND COMPACTED TO AT LEAST 95 PERCENT OF THE STANDARD PROCTOR (ASTM D 698) MAXIMUM DRY DENSITY FOR A DEPTH OF AT LEAST 6 INCHES BELOW THE SURFACE.

3. PAVEMENT MAY BE PLACED AFTER THE SUBGRADE HAS BEEN PROPERLY COMPACTED, FINE-GRADED AND PROOF ROLLED. 4. ALL WORK SHALL BE IN ACCORDANCE WITH NEW MEXICO DEPARTMENT OF TRANSPORTATION SPECIFICATIONS. WATER SHOULD NOT BE ALLOWED TO POND BEHIND CURBS AND SATURATE

THROUGH THE SLOPE PROVIDING UNDERGROUND DRAINAGE AN EXIT PATH. REFER TO C6.2 FOR CONCRETE JOINT SPECIFICATIONS. ALL CONCRETE PAVEMENT SHALL BE 4,000 PSI @ 28 DAYS AND REINFORCED WITH #4 BARS @ 18" O.C.E.W.

THE BASE MATERIALS. GRANULAR BASE MATERIAL SHOULD EXTEND

LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%).

PAVING LEGEND REINFORCED CONCRETE SIDEWALK. MINIMUM 4" THICK REINFORCED WITH #4 BARS @ 18" O.C.E.W. CONCRETE TO BE 4000 PSI 28-DAY STRENGTH ----- SAWCUT LINE HEAVY DUTY REINFORCED CONCRETE @ DRIVING AREAS & DRIVE-THRU. LANDSCAPE AREA

HANDICAP PARKING PROVIDED:

LAND AREA: 40,091 SF (0.920 AC) **CURRENT ZONING:** SU-2 SPECIAL NEIGHBORHOOD **EXISTING USE:** DRIVE-THRU RESTAURANT PROPOSED USE: BUILDING AREA (APPROXIMATE): BUILDING LOT COVERAGE: PARKING REQUIRED: