

# CITY OF ALBUQUERQUE



July 11, 2018

Rogue Architects  
Cesar Segovia  
513 Main St. Ste. 300  
Fort Worth TX, 76102

**Re: McDonalds-4<sup>th</sup>/Bridge  
1523 4<sup>th</sup> St. SW  
Traffic Circulation Layout  
Engineer's/Architect's Stamp 07-05-18 (L14-D017)**

Dear Mr. Segovia,

The revised TCL submittal received 07-10-18 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.  
Senior Engineer, Planning Department  
Development Review Services

via: email  
C: File

**\*\*THIS PERMIT IS UNDER FASTRAX REVIEW\*\***



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2016)

### **FASTRAX REVIEW PERMIT**

Project Title: McDonalds - Bridge

Building Permit #: BP-2018-09386

Hydrology File #: LH0017

DRB#:

EPC#:

Work Order#:

Legal Description:

City Address: 1523 4th Street SW, Albuquerque NM 87102

Applicant: Rogue Architects

Contact: Cesar Segovia

Address: 513 Main St, Suite 300, Fort Worth TX 76102

Phone#: 817-529-6874

Fax#:

E-mail: cesar@roguearchitects.com

Other Contact:

Contact:

Address:

Phone#:

Fax#:

E-mail:

Check all that Apply:

#### DEPARTMENT:

HYDROLOGY/ DRAINAGE

☒ TRAFFIC/ TRANSPORTATION

#### TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN

☐ GRADING PLAN

☐ DRAINAGE MASTER PLAN

☐ DRAINAGE REPORT

☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ TRAFFIC IMPACT STUDY (TIS)

☐ OTHER (SPECIFY) \_\_\_\_\_

☐ PRE-DESIGN MEETING?

#### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL

☐ SITE PLAN FOR SUB'D APPROVAL

☐ SITE PLAN FOR BLDG. PERMIT APPROVAL

☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE

☐ FOUNDATION PERMIT APPROVAL

☐ GRADING PERMIT APPROVAL

☐ SO-19 APPROVAL

☐ PAVING PERMIT APPROVAL

☐ GRADING/ PAD CERTIFICATION

☐ WORK ORDER APPROVAL

☐ CLOMR/LOMR

☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☒ Yes ☒ No

DATE SUBMITTED: 7/9/2018

By: Cesar Segovia

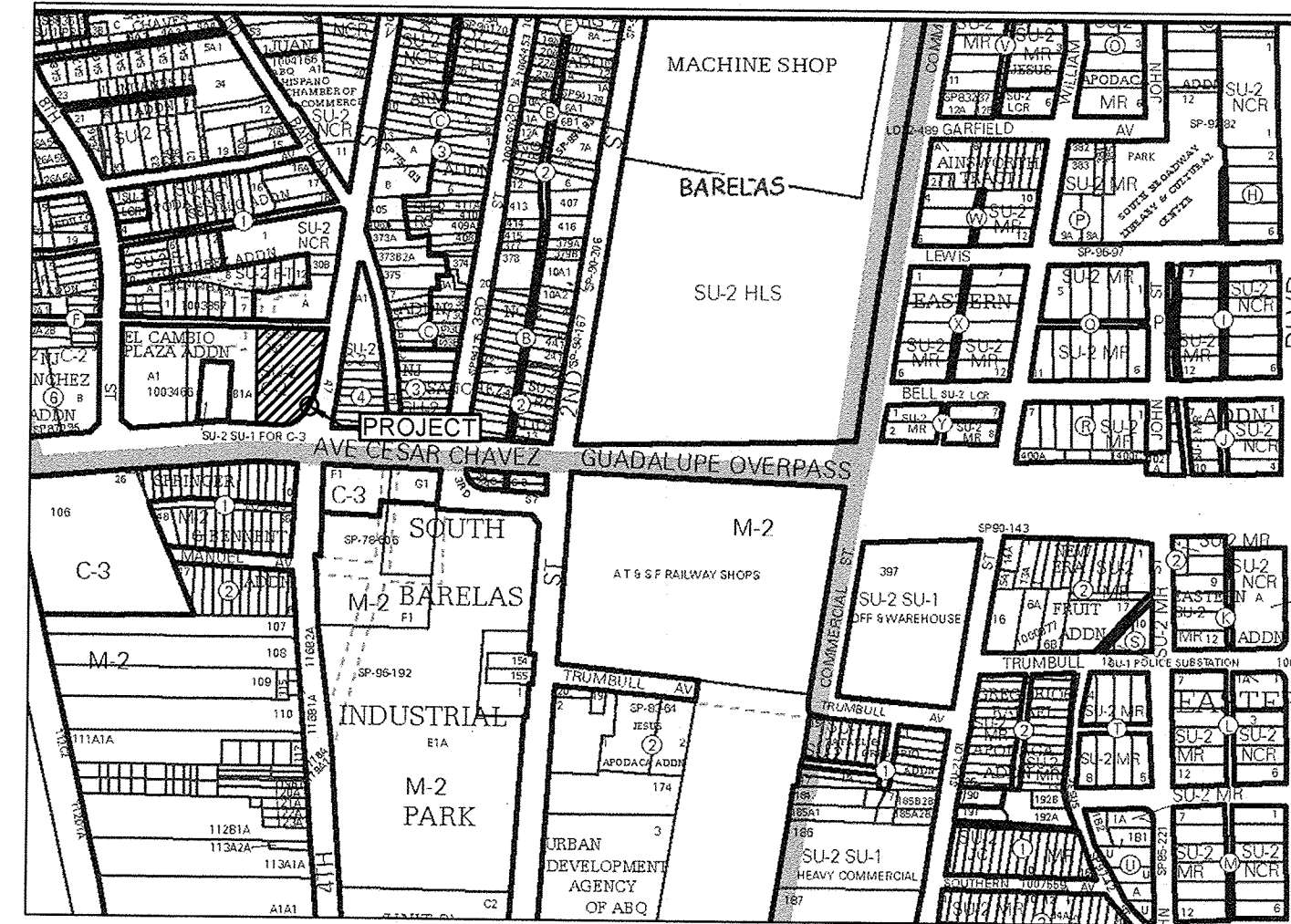
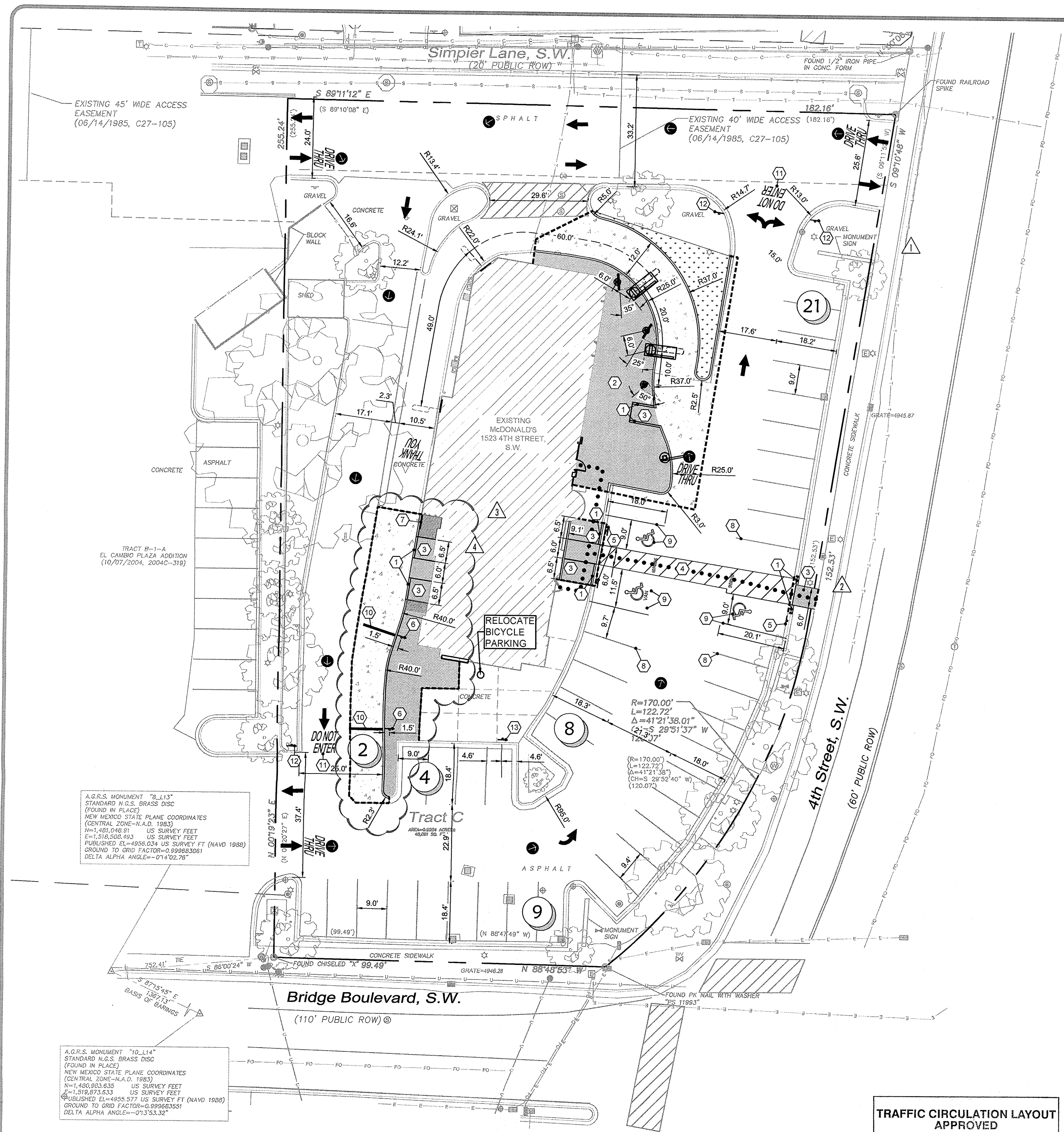
A handwritten signature in black ink, appearing to read "Cesar Segovia", with a stylized flourish at the end.

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_


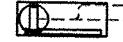

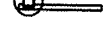













ALL AREAS, INCLUDING THOSE NOT AFFECTED BY ADA, DRIVE-THRU,  
OR OTHER SITE IMPROVEMENTS, SHALL BE RE-STRIPED.

MARK DESCRIPTION	
①	TRANSITION CURB (RE: C6.3 STANDARD DETAILS)
②	REINFORCED CONCRETE SIDEWALK (RE: C6.3 STANDARD DETAILS)
③	H.C. ACCESS RAMP @1:12 MAX SLOPE (RE: C6.1 STANDARD DETAILS)
④	HANDICAP ACCESSIBLE ROUTE
⑤	HANDICAP ACCESSIBLE SIGN (BUILDING OR POLE MOUNTED) (RE: C6.1 STANDARD DETAILS, DETAIL THIS SHEET)
⑥	McDONALD'S OOSP SIGN (RE: C6.4 STANDARD DETAILS)
⑦	GUARDRAIL @ INGRESS/EGRESS DOOR (RE: C6.1 STANDARD DETAILS)
⑧	4" PARKING STALL STRIPING - COLOR : WHITE (TYP)
⑨	HANDICAP ACCESSIBLE SPACES / SYMBOLS / CROSSWALK - COLOR : (PER STATE/CITY REQUIREMENTS)
⑩	8" OOSP STRIPING - COLOR : YELLOW
⑪	"DO NOT ENTER" STRIPING - COLOR : WHITE
⑫	"DO NOT ENTER" SIGN (RE: C6.5 STANDARD DETAILS)
⑬	MOTORCYCLE PARKING SIGN (RE: C6.5 STANDARD DETAILS)

### SITE LEGEND

McDONALD'S DIGITAL MENU BOARD	
McDONALD'S ORDER HERE CANOPY	
McDONALD'S DIGITAL PRE-BROWSE BOARD	
McDONALD'S DOUBLE GATEWAY	
DETECTOR LOOP (LOCATION TO BE APPROVED BY McDONALD'S) (RE: C6.0 STANDARD DETAILS)	
"DRIVE-THRU" WITH "CIRCLE / ARROW" - COLOR : YELLOW	
"THANK YOU" AT END OF PATH - COLOR : YELLOW	
"CIRCLE / ARROW" - COLOR : YELLOW	
ARROW PATH DIRECTION - COLOR : WHITE	

**PAVING LEGEND**

	<p>REINFORCED CONCRETE SIDEWALK. MINIMUM 4" THICK REINFORCED WITH #4 BARS @ 18" O.C.E.W. CONCRETE TO BE 4000 PSI 28-DAY STRENGTH</p>
	<p>SAWCUT LINE</p>
	<p>HEAVY DUTY REINFORCED CONCRETE @ DRIVING AREAS &amp; DRIVE-THRU.</p>
	<p>LANDSCAPE AREA</p>


SITE INFORMATION	
LAND AREA:	40.091 SF (0.820 AC)
CURRENT ZONING:	SU-2 SPECIAL NEIGHBORHOOD
EXISTING USE:	DRIVE-THRU RESTAURANT
PROPOSED USE:	DRIVE-THRU RESTAURANT
BUILDING AREA (APPROXIMATE):	4,754 SF
BUILDING LOT COVERAGE:	4,754 SF/40,091 SF = 11.86%
PARKING REQUIRED:	1 SPACE PER 4 SEATS SF
	79 SEATS/4 SEATS = 20 SPACES
PARKING PROVIDED:	44
HANDICAP PARKING REQUIRED:	3
HANDICAP PARKING PROVIDED:	3

**OWNER INFORMATION**

MCDONALD'S USA, LLC  
MOUNTAIN SOUTHWEST  
FIELD EXECUTION TEAM  
511 E. JOHN CARPENTER FRWY, STE. 375  
IRVING, TX 75062  
(214) 533-7382  
CONTACT: LEE MORRIS


REV	DATE	DESCRIPTION	BY
1	03/27/2018	REVISED FOR DRIVE-THRU	MHA
2	05/10/2018	REVISED PER TOL COMMENTS	MDK
3	06/28/2018	REVISED DT RAMP PER O/O	MDK
4	07/05/2018	REVISED DT COOSP AND RAMP PER O/O	MDK

ADAMS JOB NO.:  
 2015-177



8951 Cypress Waters Blvd, Suite 150 ■ Dallas, Texas 75201 ■ (817) 328-3200

OFFICE	MTN. SOUTHWEST FIELD EXECUTION TEAM	MCDONALD'S U.C. 035-0148
ADDRESS	KROC DRIVE - OAK BROOK, ILLINOIS 60521	



# McDonald's USA, LLC

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1523 4TH STREET SW  
ALBUQUERQUE, NEW MEXICO

PLAN APPROVALS		DATE	
REGIONAL MGR.	SIGNATURE (2 REQUIRED)		
CONST. MGR.			
OPERATIONS DEPT.			
REAL ESTATE DEPT.			
CO-SIGN SIGNATURES			
CONTRACTOR			
OWNER			

	DATE	BY
DESIGNED	FEB. 2018	TMC
DRAWN	FEB. 2018	TMC
CHECKED	FEB. 2018	DWL
AS-BUILT		

**SITE & PAVING  
PLAN**

**C3.0**