



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

KEN SCHULTZ
MAYOR

CLARENCE V. LITHGOW
CHIEF
ADMINISTRATIVE OFFICER

DAN WEAKS
DEPUTY CAO
PUBLIC SERVICES

FRED E. MONDRAGON
DEPUTY CAO
DEVELOPMENT & ENTERPRISE SERVICES

March 1, 1989

Terry Brown, P.E.
D. Mark Goodwin & Associates
Post Office Box 21307
Albuquerque, New Mexico 87154

RE: REVISED DRAINAGE PLAN FOR AN ADDITION TO MARTINEZ SHOP
(L-14/D28) RECEIVED FEBRUARY 17, 1989 WITH AN ENGINEER'S
STAMP DATED FEBRUARY 17, 1989

Dear Mr. Brown:

Based on the information provided on your resubmittal of February 21, 1989, the above referenced drainage plan is approved for building permit.

Please be advised that no developed runoff is allowed to cross the public right of way but through an approved drive pad. Therefore, it would be beneficial if all the proposed roof drains be interconnected and routed towards the asphalt parking area.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, a separate permit is required for construction within City right-of-way. A copy of this approval letter will be needed when applying for the excavation permit.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya
Bernie J. Montoya, C.E.
Engineering Assistant

xc: Becky Sandoval

BJM/bsj
(WP+953)



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

KEN SCHULTZ
MAYOR

CLARENCE V. LITHGOW
CHIEF
ADMINISTRATIVE OFFICER

DAN WEAKS
DEPUTY CAO
PUBLIC SERVICES

FRED E. MONDRAGON
DEPUTY CAO
DEVELOPMENT & ENTERPRISE SERVICES

January 31, 1989

Terry Brown, P.E.
D. Mark Goodwin & Associates
Post Office Box 21307
Albuquerque, New Mexico 87154

RE: REVISED DRAINAGE PLAN FOR AN ADDITION TO MARTINEZ SHOP
(L-14/D28) RECEIVED JANUARY 24, 1989 WITH AN ENGINEER'S
STAMP DATED JANUARY 26, 1989

Dear Mr. Brown:

Based on the information provided on your resubmittal of January 24, 1989, listed are some items of concern that must be addressed prior to approval.

1. A field inspection has revealed that there is no guarantee that the proposed runoff being routed towards the Torreon Right-of-Way will ever reach Edith Boulevard. Distance seems to be more than 200 L.F. Therefore, it is recommended that all developed runoff be disposed into Gibson Boulevard.
2. You will need to show the Top of Curb and flow line elevations on Gibson Boulevard.
3. Your proposed 4" PVC drain lines will need to be routed directly onto the Gibson Right-of-Way. We cannot allow runoff between the proposed sidewalk and the curb and gutter.
4. Your existing contours indicate you may have some off-site flows entering from the cemetery.
5. Your plan indicated 3.99 cfs release points at two different locations. Where did the 3.99 cfs come from?

Terry Brown, P.E.

January 31, 1989

Page 2

6. It may be beneficial to route all the developed runoff to the southwest corner of property into a ponding area designed to hold the 100 volume and then pump it out into Gibson Boulevard.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,



Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj

(WP+953)



KEN SCHULTZ
MAYOR

City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 16, 1988

Mark Goodwin, P.E.
D. Mark Goodwin & Associates
Post Office Box 21307
Albuquerque, New Mexico 87154

RE: REVISED DRAINAGE PLAN FOR AN ADDITION TO MARTINEZ SHOP
(L-14/D28) ENGINEER'S STAMP DATED DECEMBER 7, 1988

Dear Mr. Goodwin:

Based on the information provided on your resubmittal of December 7, 1988, the above referenced plan is approved for Building Permit.

Please attach a copy of this plan to the construction sets prior to sign-off by Hydrology.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj
(WP+953)



KEN SCHULTZ
MAYOR

City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 6, 1988

Mark Goodwin, P.E.
D. Mark Goodwin & Associates
Post Office Box 21307
Albuquerque, New Mexico 87154

RE: DRAINAGE PLAN FOR AN ADDITION TO MARTINEZ SHOP
(L-14/D28) RECEIVED NOVEMBER 28, 1988
ENGINEER'S STAMP DATED NOVEMBER 27, 1988

Dear Mr. Goodwin:

Based on the information provided on your submittal of November 28, 1988, listed are three items of concern that will need to be addressed prior to approval.

1. Downstream evaluation of Torreon.
 - a. Is the street paved with curb and gutter?
 - b. If the street is not improved, will the 1.3 cfs meander onto adjacent property downstream of the site?
2. If the area around the proposed addition is not paved, how will sediment deposits into the street be controlled?
3. Your calculations indicate that you are probably building over existing asphalt. Is this true? If so, then it is historical conditions and the above two comments are not applicable.
4. Will you require any type of compaction specs for the berm.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

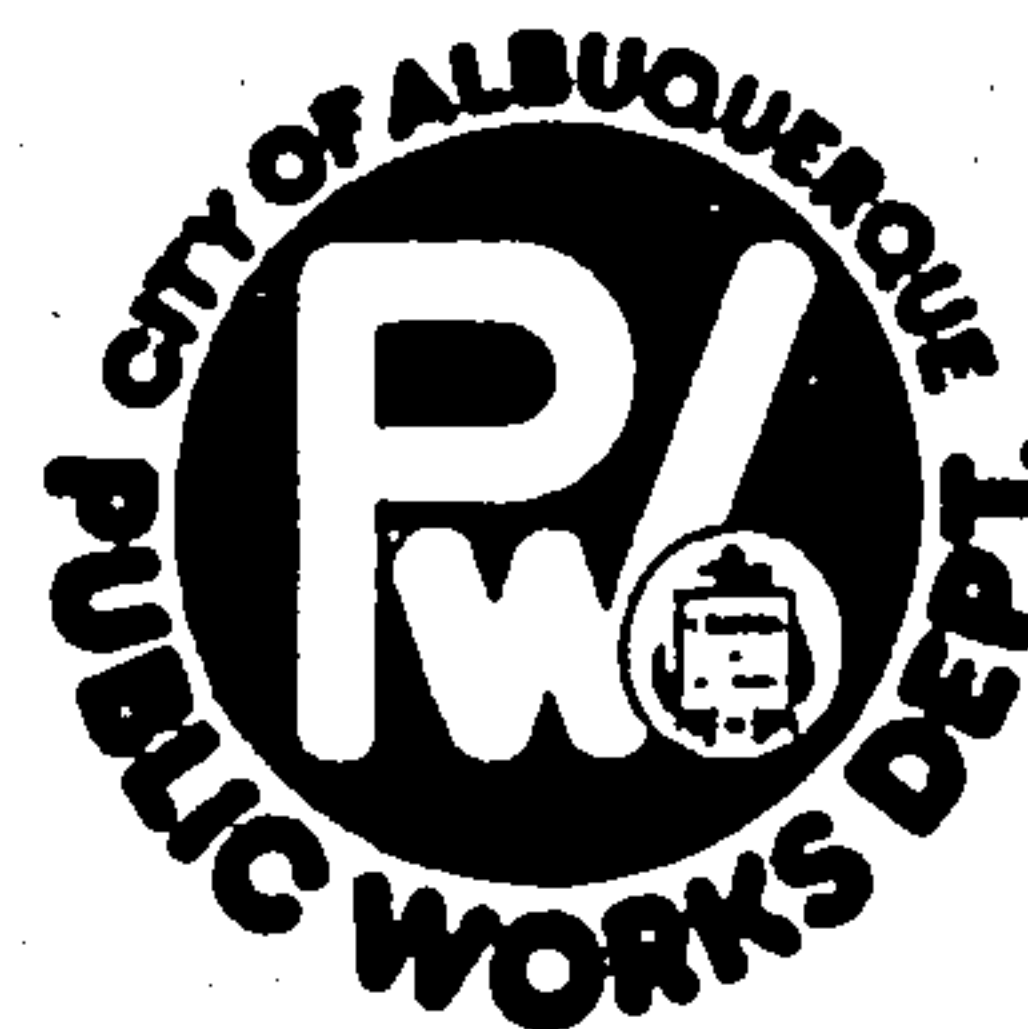
Bernie J. Montoya
Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj
(WP+953)

FILE COPY

MEMORANDUM:

March 1, 1989



ENGINEERING GROUP

TO: Jacob Baca, Transportation System Division

FROM: Fred J. Aguirre, Hydrologist; Engineering Group/PWD

SUBJECT: PRIVATE DRAINAGE FACILITIES WITHIN PUBLIC RIGHTS-OF-WAY/EASEMENT
MARTINEZ WAREHOUSE COMPLEX (L-14/D28)

Transmitted herewith, is a copy of the approved drainage plan for the referenced project incorporating the S.O. #19 design.

In accordance with the new process, this plan is being submitted to you for permitting and inspection. Please provide this section with a signed-off copy per the signature block upon construction and acceptance by your office.

As you are aware, the signed-off S.O. #19 is required by this office for Certificate of Occupancy release; hence your expeditious processing of this plan would be greatly appreciated and would avoid any unnecessary delay in the release of the Certificate of Occupancy.

Thank you for your cooperation, and if you should have any questions and/or comments regarding the process, please feel free to call me at 768-2650.

FJA/bsj

Attachment



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

KEN SCHULTZ
MAYOR

CLARENCE V. LITHGOW
CHIEF
ADMINISTRATIVE OFFICER

DAN WEAKS
DEPUTY CAO
PUBLIC SERVICES

FRED E. MONDRAGON
DEPUTY CAO
DEVELOPMENT & ENTERPRISE SERVICES

March 1, 1989

Terry Brown, P.E.
D. Mark Goodwin & Associates
Post Office Box 21307
Albuquerque, New Mexico 87154

RE: REVISED DRAINAGE PLAN FOR AN ADDITION TO MARTINEZ SHOP
(L-14/D28) RECEIVED FEBRUARY 17, 1989 WITH AN ENGINEER'S
STAMP DATED FEBRUARY 17, 1989

Dear Mr. Brown:

Based on the information provided on your resubmittal of February 21, 1989, the above referenced drainage plan is approved for building permit.

Please be advised that no developed runoff is allowed to cross the public right of way but through an approved drive pad. Therefore, it would be beneficial if all the proposed roof drains be interconnected and routed towards the asphalt parking area.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, a separate permit is required for construction within City right-of-way. A copy of this approval letter will be needed when applying for the excavation permit.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya
Bernie J. Montoya, C.E.
Engineering Assistant

xc: Becky Sandoval

BJM/bsj
(WP+953)

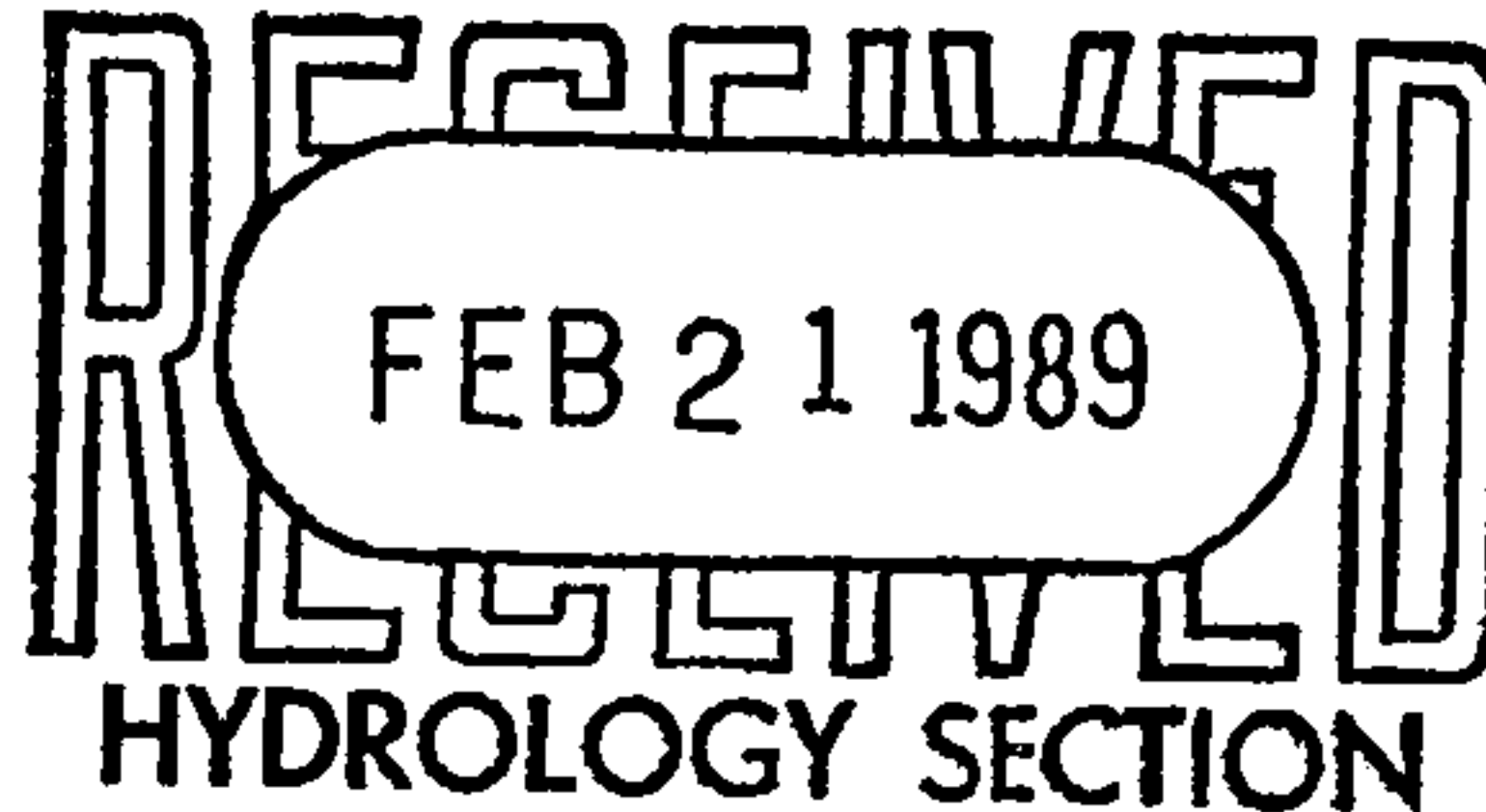


D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 21307, ALBUQUERQUE, NM 87154
(505) 265-0905

February 20, 1989

Mr. Bernie Montoya, C.E.
CITY OF ALBUQUERQUE
PO Box 1293
Albuquerque, NM 87103



Re: Revised Drainage Plan for an addition to Martinez Shop (L-14/D28)
received January 24, 1989 with an Engineer's stamp dated January 26,
1989

Dear Bernie:

D. Mark Goodwin and Associates is submitting with this letter, the revised drainage plan for the referenced project. I have addressed the comments of your letter dated January 31, 1989 as follows:

1. To the extent feasible, I have re-routed the proposed developed runoff to discharge onto Gibson Boulevard. A relatively minor runoff rate still enters Torreon as approved on the drainage plan submitted in December 1988.
2. Top of curb and flowline elevations are now shown on the plan.
3. The proposed 4" PVC drain now carries the discharge to Gibson Boulevard. Additionally, the necessary S.O. 19 language and signature blocks are shown on the plan.
4. Our field investigation indicated that offsite flows entering this site from the south are negligible.
5. Calculations for determinations of runoff rates are shown at the top of the plan sheet.

Thank you for your assistance on this project. Should you have questions, please contact me.

Sincerely,

D. MARK GOODWIN AND ASSOCIATES, P.A.

Terry O. Brown, P.E.

TOB/mbs

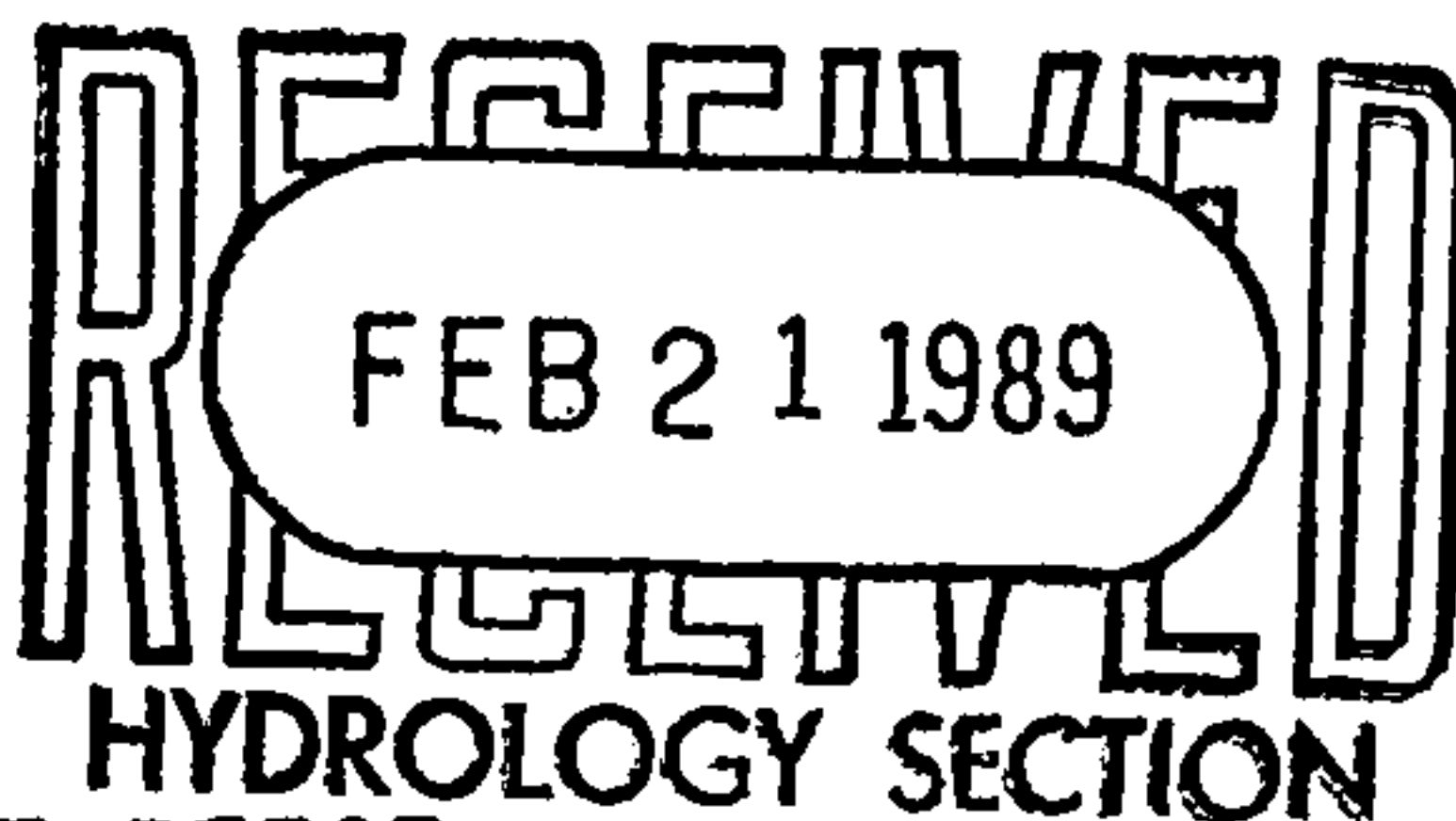
Attachment

DRAINAGE INFORMATION SHEET

PROJECT TITLE: MARTINEZ SHOP ADDITION **ZONE ATLAS/DRNG. FILE #:** L-14 / D20
LEGAL DESCRIPTION: Tract A, Block B, Torreon Addition
CITY ADDRESS: Gibson & I-25
ENGINEERING FIRM: D. Mark Goodwin & Assoc, PA **CONTACT:** Mark Goodwin, PE
ADDRESS: PO Box 21307, Alb, NM 87154 **PHONE:** 265-0905
OWNER: Edward Martinez **CONTACT:** same
ADDRESS: 804 Gibson SE, Alb, NM **PHONE:** 292-7229
ARCHITECT: Lawrence Garcia & Assoc. **CONTACT:** Lawrence Garcia
ADDRESS: 9741 Candelaria NE **PHONE:** 292-7229
SURVEYOR: Edward Elder **CONTACT:** same
ADDRESS: 530 Jefferson NE **PHONE:** 268-1830
CONTRACTOR: n/a **CONTACT:** _____
ADDRESS: _____ **PHONE:** _____

PRE-DESIGN MEETING:

☒ YES
☐ NO
☒ COPY OF CONFERENCE RECAP
 SHEET PROVIDED



DRB NO. _____
EPC NO. _____
PROJ. NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ SITE DEVELOPMENT PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ ROUGH GRADING PERMIT APPROVAL
☐ GRADING/PAVING PERMIT APPROVAL
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 2/21/89

BY: Terry D. Brown

FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

KEN SCHULTZ
MAYOR

CLARENCE V. LITHGOW
CHIEF
ADMINISTRATIVE OFFICER

DAN WEAKS
DEPUTY CAO
PUBLIC SERVICES

FRED E. MONDRAGON
DEPUTY CAO
DEVELOPMENT & ENTERPRISE SERVICES

January 31, 1989

Terry Brown, P.E.
D. Mark Goodwin & Associates
Post Office Box 21307
Albuquerque, New Mexico 87154

RE: REVISED DRAINAGE PLAN FOR AN ADDITION TO MARTINEZ SHOP
(L-14/D28) RECEIVED JANUARY 24, 1989 WITH AN ENGINEER'S
STAMP DATED JANUARY 26, 1989

Dear Mr. Brown:

Based on the information provided on your resubmittal of January 24, 1989, listed are some items of concern that must be addressed prior to approval.

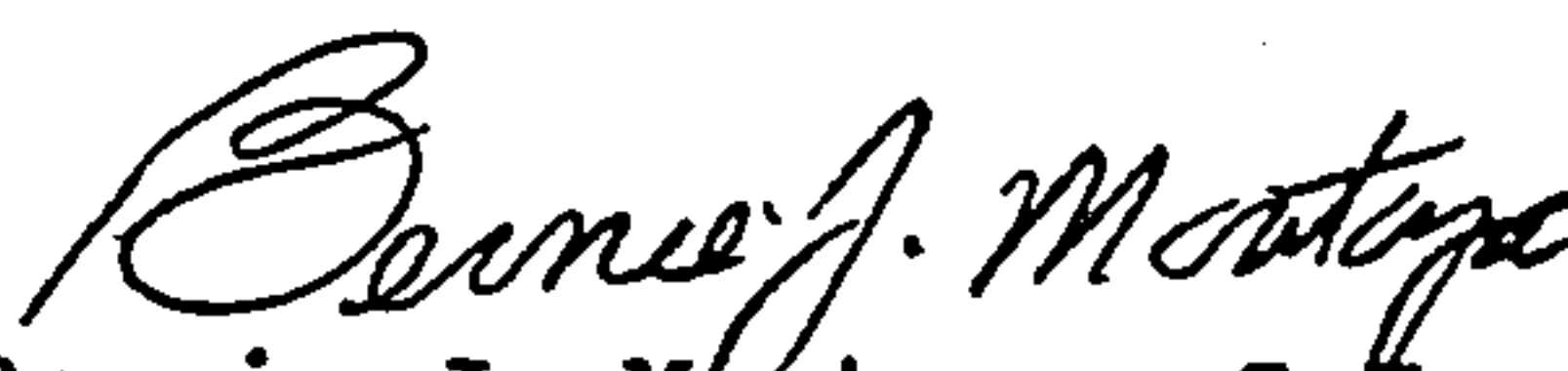
1. A field inspection has revealed that there is no guarantee that the proposed runoff being routed towards the Torreon Right-of-Way will ever reach Edith Boulevard. Distance seems to be more than 200 L.F. Therefore, it is recommended that all developed runoff be disposed into Gibson Boulevard.
2. You will need to show the Top of Curb and flow line elevations on Gibson Boulevard.
3. Your proposed 4" PVC drain lines will need to be routed directly onto the Gibson Right-of-Way. We cannot allow runoff between the proposed sidewalk and the curb and gutter.
4. Your existing contours indicate you may have some off-site flows entering from the cemetery.
5. Your plan indicated 3.99 cfs release points at two different locations. Where did the 3.99 cfs come from?

Terry Brown, P.E.
January 31, 1989
Page 2

6. It may be beneficial to route all the developed runoff to the southwest corner of property into a ponding area designed to hold the 100 volume and then pump it out into Gibson Boulevard.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,


Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj

(WP+953)

DRAINAGE INFORMATION SHEET

PROJECT TITLE: MARTINEZ SHOP ADDITION ZONE ATLAS/DRNG. FILE #: L-14/D28
LEGAL DESCRIPTION: Tract A, Block B, Torreon Addition
CITY ADDRESS: Gibson & I-25
ENGINEERING FIRM: D. Mark Goodwin & Assoc, PA CONTACT: Mark Goodwin, PE
ADDRESS: PO Box 21307, Alb, NM 87154 PHONE: 265-0905
OWNER: Edward Martinez CONTACT: same
ADDRESS: 804 Gibson SE, Alb, NM PHONE: 292-7229
ARCHITECT: Lawrence Garcia & Assoc. CONTACT: Lawrence Garcia
ADDRESS: 9741 Candelaria NE PHONE: 292-7229
SURVEYOR: Edward Elder CONTACT: same
ADDRESS: 530 Jefferson NE PHONE: 268-1830
CONTRACTOR: n/a CONTACT: _____
ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☒ YES☐ NO☒ COPY OF CONFERENCE RECAP
SHEET PROVIDED

RECEIVED
JAN 24 1989
HYDROLOGY SECTION

DRB NO. _____

EPC NO. _____

PROJ. NO. _____

TYPE OF SUBMITTAL:

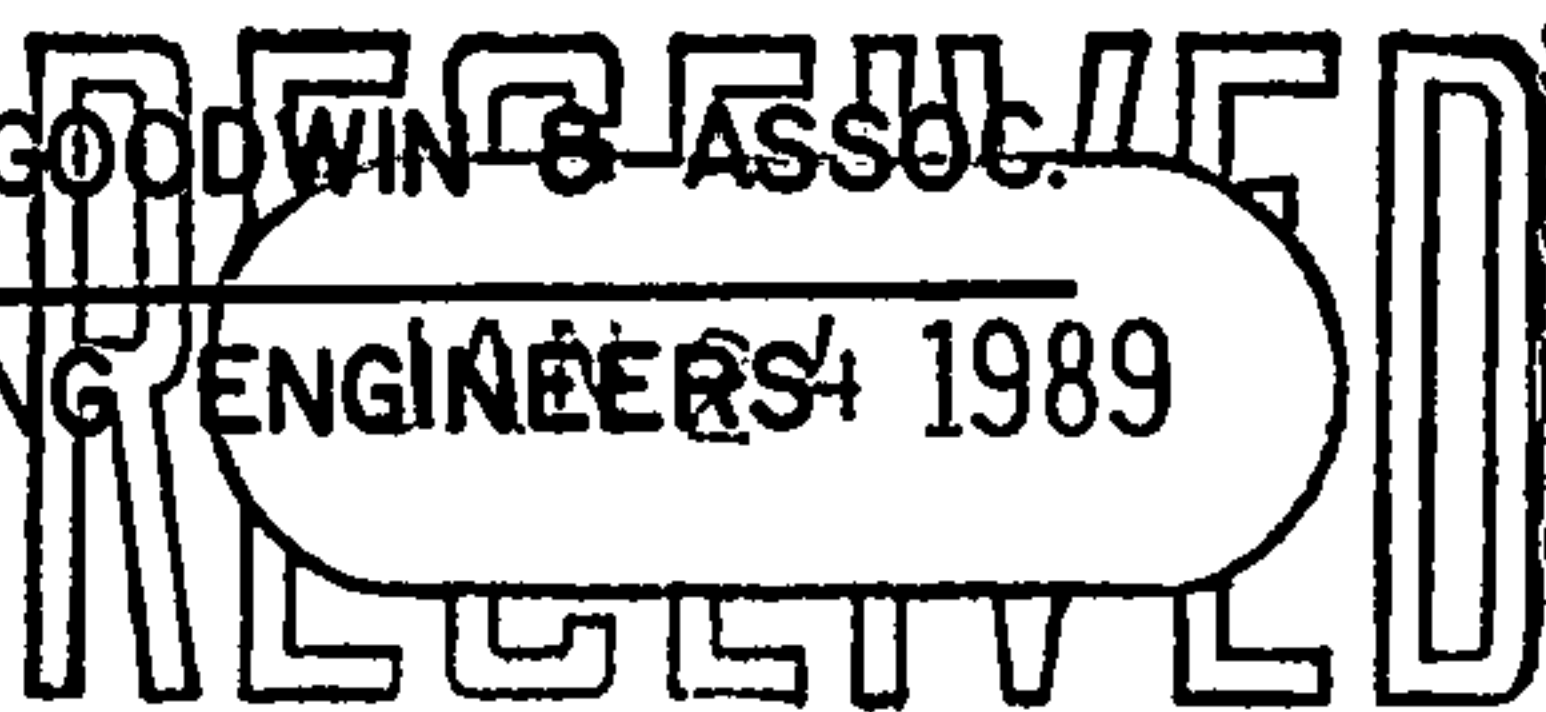
☐ DRAINAGE REPORT☒ DRAINAGE PLAN☐ CONCEPTUAL GRADING & DRAINAGE PLAN☒ GRADING PLAN☐ EROSION CONTROL PLAN☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL☐ PRELIMINARY PLAT APPROVAL☐ SITE DEVELOPMENT PLAN APPROVAL☐ FINAL PLAT APPROVAL☒ BUILDING PERMIT APPROVAL☐ FOUNDATION PERMIT APPROVAL☐ CERTIFICATE OF OCCUPANCY APPROVAL☐ ROUGH GRADING PERMIT APPROVAL☐ GRADING/PAVING PERMIT APPROVAL☐ OTHER _____ (SPECIFY)DATE SUBMITTED: 1/24/89BY: Terry O. Brown
Terry O. Brown, P.E.



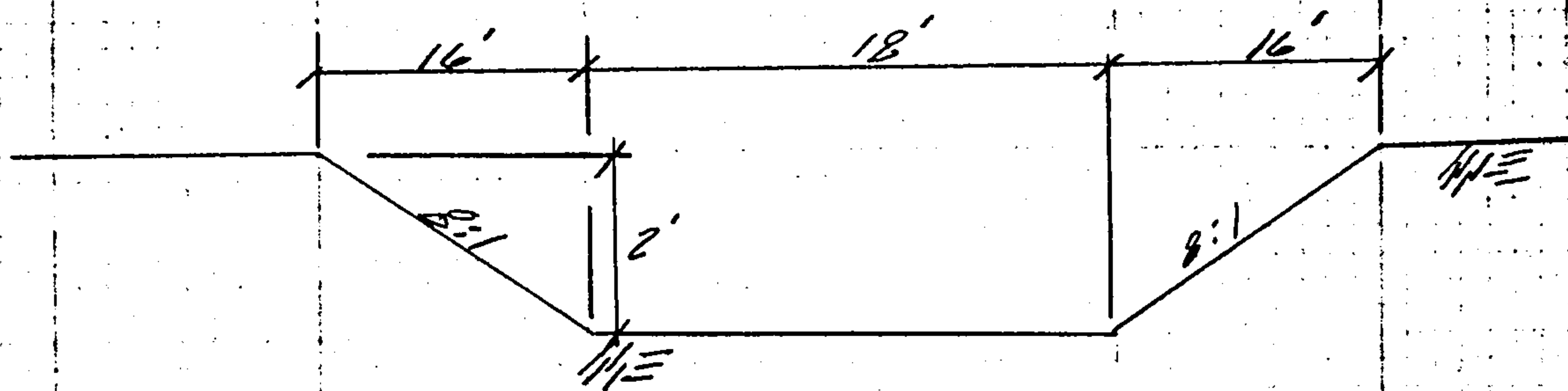
D. MARK GOODWIN & ASSOC.
CONSULTING ENGINEERS 1989



JOB Martinez Addition
SUBJECT Off-Site Conveyance
JOB NO. _____ SHEET 1 OF 2
BY MG DATE 12/7/88
CHECKED _____ DATE _____

HYDROLOGY SECTION

The Torreon Street R/W which receives a $Q_{100} = \overset{3.6}{\cancel{13}}$ cfs from the Martinez site is composed of 2 Typical Sections. Immediately W. of Martinez, the typical section is an improved earthen swale. This swale runs approx. 200 L.F. to Edith. At Edith, the typical section becomes a concrete swale which runs on down to the W. Flow capacity of the earthen swale is as follows:

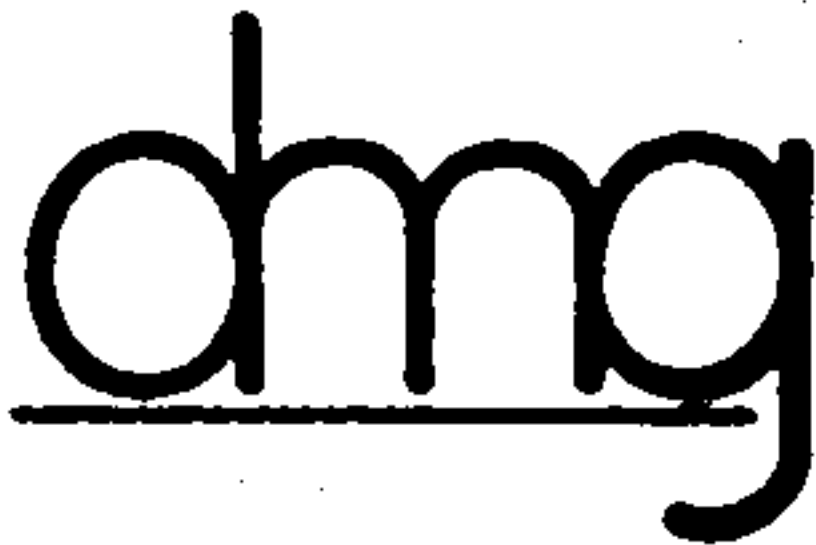


$$S = 0.75\% \quad n = 0.03 \quad A = 68 \text{ ft}^2 \quad W.P. = 50.25'$$

$$V = \frac{1.486}{0.03} \left(\frac{68}{50.25} \right)^{2/3} (.0075)^{1/2} = 5.25 \text{ fps}$$

3.6

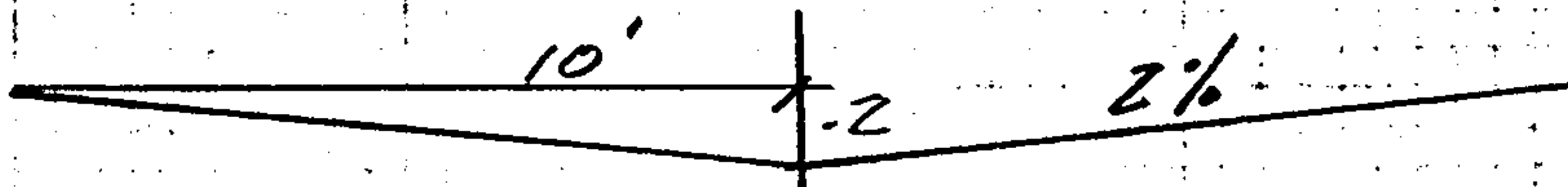
$$Q = 68(5.25) = 357 \text{ cfs} > \overset{3.6}{\cancel{13}} \checkmark$$



D. MARK GOODWIN & ASSOC.
CONSULTING ENGINEERS

JOB Martinez
SUBJECT off-site
JOB NO. _____ SHEET 2 OF 2
BY MG DATE 12/7/09
CHECKED _____ DATE _____

Concrete Swale:



$$n = 0.015 \quad s = 1\% \quad A = 2' \quad WP = 20'$$

$$V = \frac{1.486}{0.015} \left(\frac{2}{20} \right)^{.47} (.01)^{1/2} = 2.13 \text{ fps}$$

$$Q = 4.27 \text{ cfs} > \overset{3.6}{\cancel{3}} -$$

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION/DESIGN HYDROLOGY SECTION

RECEIVED
JAN 24 1989
HYDROLOGY SECTION

CONFERENCE RECAP

DRAINAGE FILE/ZONE ATLAS PAGE NO.: L-14 DATE: 11/22/88 @ 9:00

PLANNING DIVISION NOS: EPC: _____ DRB: _____

SUBJECT: STOP ADDITION & FUTURE WAREHOUSE DEVELOPMENT

STREET ADDRESS (IF KNOWN): S.W. corner of Gibson & I-25

SUBDIVISION NAME: Tract A Block B Torreon Addition or
Faxton's Replot

APPROVAL REQUESTED:

____ PRELIMINARY PLAT
____ SITE DEVELOPMENT PLAN
____ OTHER _____

____ FINAL PLAT
X BUILDING PERMIT
____ ROUGH GRADING

WHO
ATTENDANCE: D.M. Goodwin
Roger Green

REPRESENTING
PMG & Assoc.
Hydrology Section

FINDINGS:

- ①. Any Additions over 500 ft² require an approved Grading and Drainage Plan prior to Hydrology sign-off a Building Permit.
- ②. FREE Discharge is approved to Gibson or Torreon Ave. No flows are allowed to discharge onto adjacent properties without drainage easements.
- ③. Future paving of areas greater than 1000 sq ft. will require an approved Grading Plan and Paving Permit, unless paving is included with a Building Permit.

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: Roger A. Green
TITLE: Civil Engineer
DATE: 11-22-88

SIGNED: Terry & Brian
TITLE: Engt.
DATE: 11-22-88

FILE COPY



KEN SCHULTZ
MAYOR

City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 16, 1988

Mark Goodwin, P.E.
D. Mark Goodwin & Associates
Post Office Box 21307
Albuquerque, New Mexico 87154

RE: REVISED DRAINAGE PLAN FOR AN ADDITION TO MARTINEZ SHOP
(L-14/D28) ENGINEER'S STAMP DATED DECEMBER 7, 1988

Dear Mr. Goodwin:

Based on the information provided on your resubmittal of December 7, 1988, the above referenced plan is approved for Building Permit.

Please attach a copy of this plan to the construction sets prior to sign-off by Hydrology.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

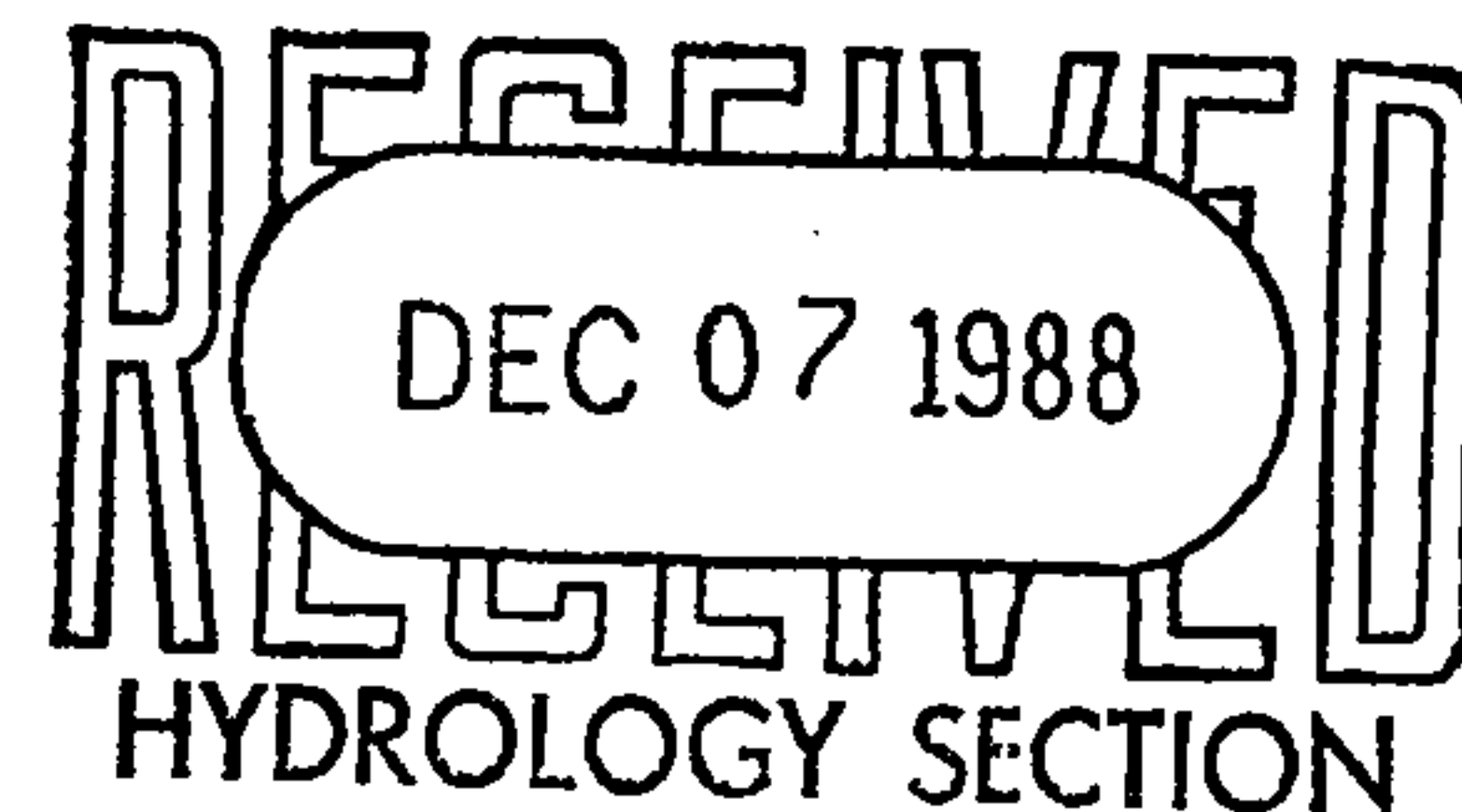
Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj
(WP+953)



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 21307, ALBUQUERQUE, NM 87154
(505) 265-0905



December 7, 1988

Mr. Bernie Montoya
CITY OF ALBUQUERQUE
PO Box 1293
Albuquerque, NM 87103

Re: Martinez Shop Addition -- L-14/D28

Dear Bernie:

Thank you for relaying your comments on the referenced project over the telephone yesterday. We offer the following responses:

1. Torreon Street is improved downstream from this site in two fashions: An earthen swale in City right of way for approximately 200 feet to Edith Blvd., then a concrete swale west of Edith. Both sections are in fairly good condition. We are attaching our capacity analysis for the earthen swale for your information.
2. We have added a small sedimentation basin to our design.
3. We have specified the required compaction density for the small earthen berm.

This should resolve any concerns that the City has concerning this project. We appreciate your help in this matter.

Sincerely,

D. MARK GOODWIN AND ASSOCIATES, P.A.

Mark Goodwin, P.E.

DMG/mb

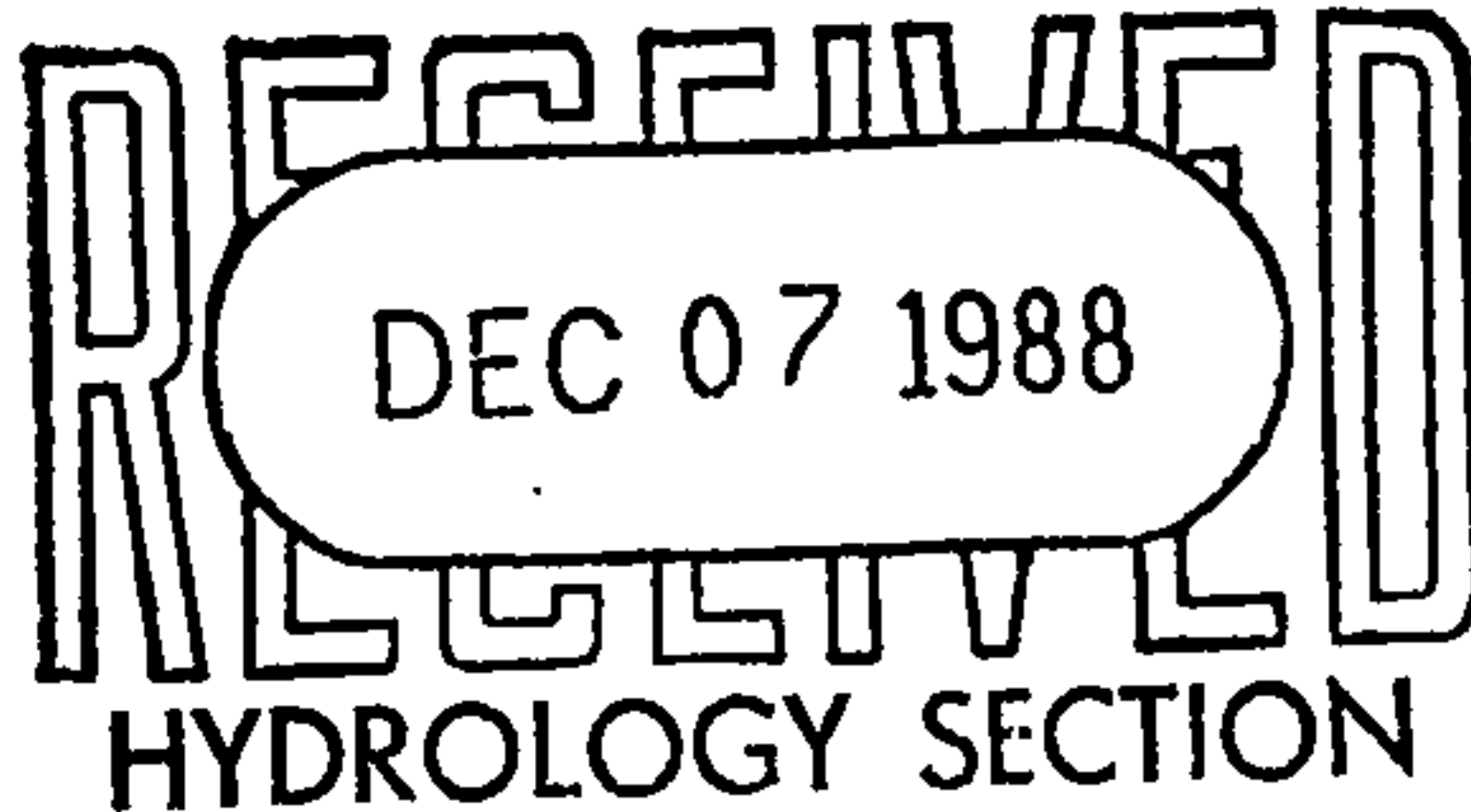
Attachment

DRAINAGE INFORMATION SHEET

PROJECT TITLE: MARTINEZ SHOP ADDITION **ZONE ATLAS/DRNG. FILE #:** L-14/028
LEGAL DESCRIPTION: Tract A, Block B, Torreon Addition
CITY ADDRESS: Gibson & I-25
ENGINEERING FIRM: D. Mark Goodwin & Assoc, PA **CONTACT:** Mark Goodwin, PE
ADDRESS: PO Box 21307, Alb, NM 87154 **PHONE:** 265-0905
OWNER: Edward Martinez **CONTACT:** same
ADDRESS: 804 Gibson SE, Alb, NM **PHONE:** 292-7229
ARCHITECT: Lawrence Garcia & Assoc. **CONTACT:** Lawrence Garcia
ADDRESS: 9741 Candelaria NE **PHONE:** 292-7229
SURVEYOR: Edward Elder **CONTACT:** same
ADDRESS: 530 Jefferson NE **PHONE:** 268-1830
CONTRACTOR: n/a **CONTACT:** _____
ADDRESS: _____ **PHONE:** _____

PRE-DESIGN MEETING:

☒ YES
☐ NO
☒ COPY OF CONFERENCE RECAP SHEET PROVIDED



DRB NO. _____
EPC NO. _____
PROJ. NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ SITE DEVELOPMENT PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ ROUGH GRADING PERMIT APPROVAL
☐ GRADING/PAVING PERMIT APPROVAL
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED:

BY:

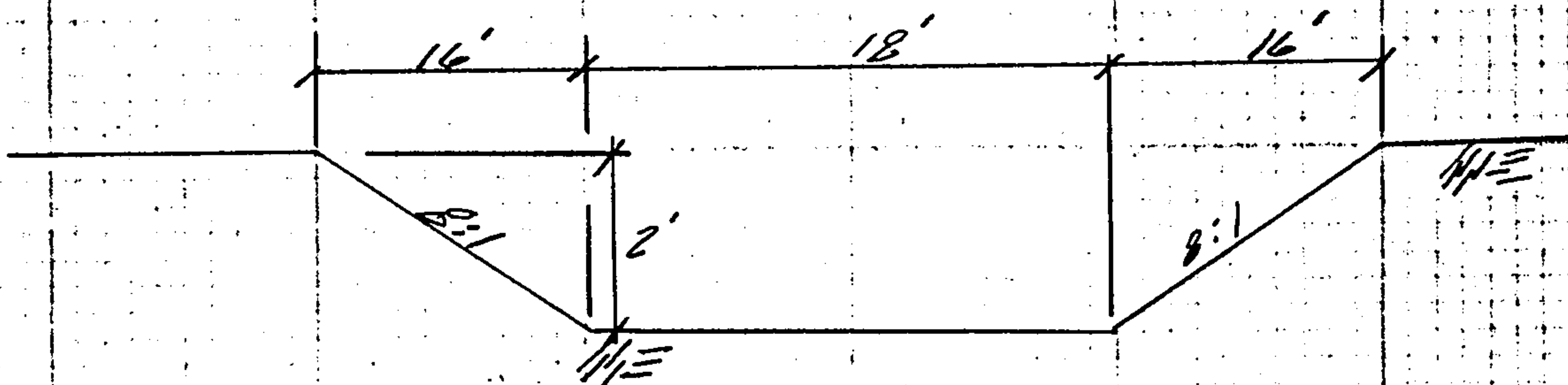
12/7/88
Mark Goodwin
 Mark Goodwin, P.E.



D. MARK GOODWIN & ASSOC.
CONSULTING ENGINEERS

JOB Martinez Addition
SUBJECT On-site Conveyance
JOB NO. 111 SHEET 1 OF 2
BY MD DATE 12/17/18
CHECKED MD DATE 12/17/18
HYDROLOGY SECTION

The Torreon Street R/W which receives a $Q_{100} = 1.3$ cfs from the Martinez site is composed of 2 Typical sections. Immediately W. of Martinez, the typical section is an improved earthen swale. This swale runs approx. 200 L.F. to Edith. At Edith, the typical section becomes a concrete swale which runs on down to the W. Flow capacity of the earthen swale is as follows:



$$S = 0.75\% \quad n = 0.03 \quad A = 68 \text{ ft}^2 \quad W.P. = 50.25'$$

$$V = \frac{1.486}{0.03} \left(\frac{68}{50.25} \right)^{2/3} (.0075)^{1/2} = 5.25 \text{ fps}$$

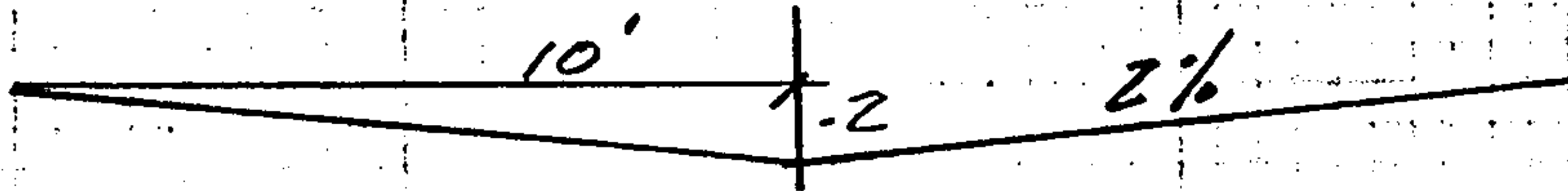
$$Q = 68(5.25) = 357 \text{ cfs} >> 1.3 \quad \checkmark$$



D. MARK GOODWIN & ASSOC.
CONSULTING ENGINEERS

JOB Martinez
SUBJECT off-site
JOB NO. _____ SHEET 2 OF 2
BY MLG DATE 12/7/00
CHECKED _____ DATE _____

Concrete Swale:



$$n = 0.015 \quad s = 1\% \quad A = 2' \quad WP = 20'$$

$$V = \frac{1.486}{0.015} \left(\frac{2}{20} \right)^{4/3} (.01)^{1/2} = 2.13 \text{ fps}$$

$$Q = 4.27 \text{ cfs} > 1.3 \text{ -}$$

FILE COPY



KEN SCHULTZ
MAYOR

City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 6, 1988

Mark Goodwin, P.E.
D. Mark Goodwin & Associates
Post Office Box 21307
Albuquerque, New Mexico 87154

RE: DRAINAGE PLAN FOR AN ADDITION TO MARTINEZ SHOP
(L-14/D28) RECEIVED NOVEMBER 28, 1988
ENGINEER'S STAMP DATED NOVEMBER 27, 1988

Dear Mr. Goodwin:

Based on the information provided on your submittal of November 28, 1988, listed are three items of concern that will need to be addressed prior to approval.

1. Downstream evaluation of Torreon.
 - a. Is the street paved with curb and gutter?
 - b. If the street is not improved, will the 1.3 cfs meander onto adjacent property downstream of the site?
2. If the area around the proposed addition is not paved, how will sediment deposits into the street be controlled?
3. Your calculations indicate that you are probably building over existing asphalt. Is this true? If so, then it is historical conditions and the above two comments are not applicable.
4. Will you require any type of compaction specs for the berm.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya
Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj
(WP+953)

DRAINAGE INFORMATION SHEET

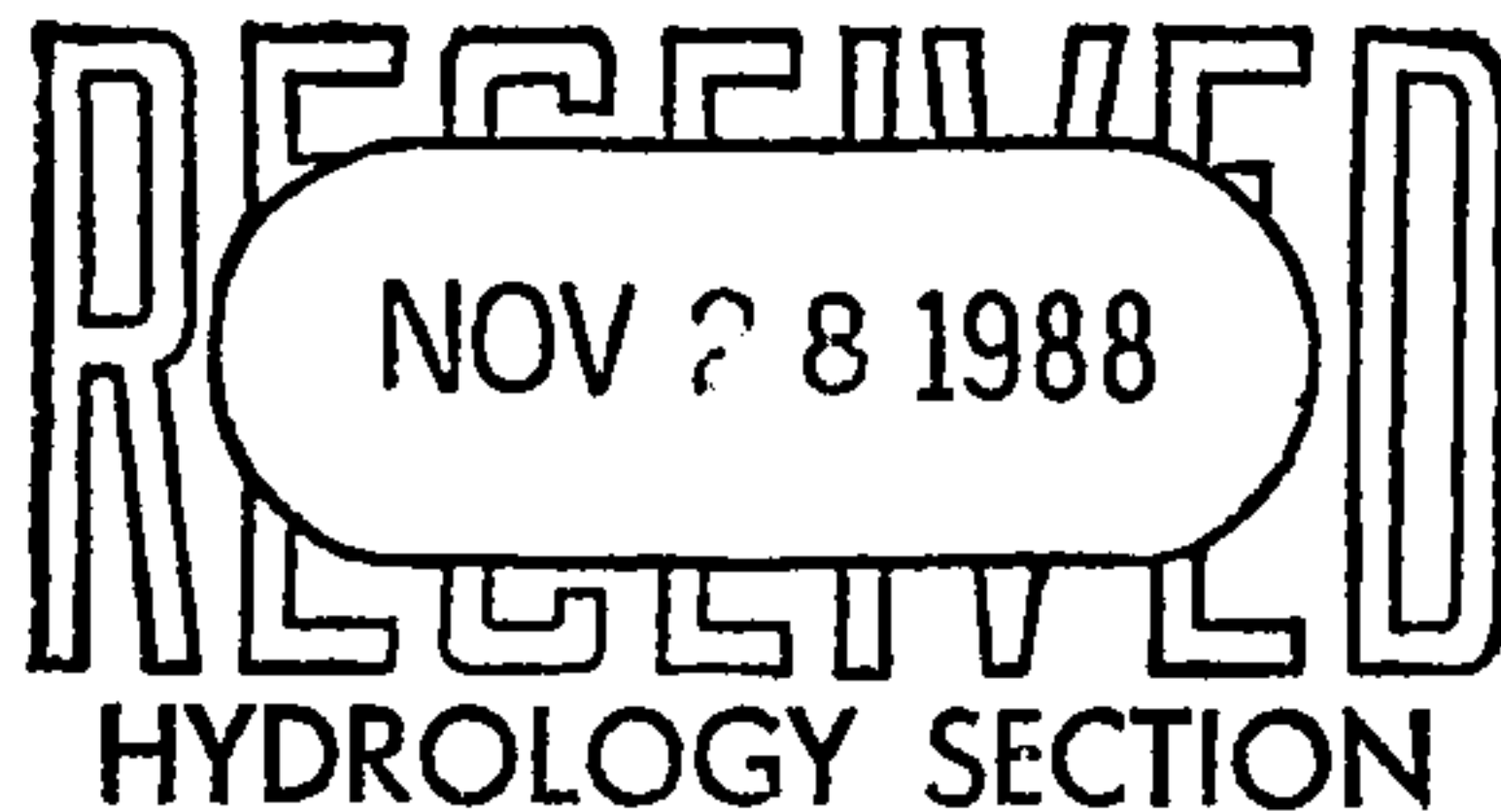
PROJECT TITLE: MARTINEZ SHOP ADDITION **ZONE ATLAS/DRNG. FILE #:** L-14 / D28
LEGAL DESCRIPTION: Tract A, Block B, Torreon Addition
CITY ADDRESS: Gibson & I-25
ENGINEERING FIRM: D. Mark Goodwin & Assoc, PA **CONTACT:** Mark Goodwin, PE
ADDRESS: PO Box 21307, Alb, NM 87154 **PHONE:** 265-0905
OWNER: Edward Martinez **CONTACT:** same
ADDRESS: 804 Gibson SE, Alb, NM **PHONE:** 292-7229
ARCHITECT: Lawrence Garcia & Assoc. **CONTACT:** Lawrence Garcia
ADDRESS: 9741 Candelaria NE **PHONE:** 292-7229
SURVEYOR: Edward Elder **CONTACT:** same
ADDRESS: 530 Jefferson NE **PHONE:** 268-1830
CONTRACTOR: n/a **CONTACT:** _____
ADDRESS: _____ **PHONE:** _____

PRE-DESIGN MEETING:

☒ YES

☐ NO

☒ COPY OF CONFERENCE RECAP
SHEET PROVIDED



DRB NO. _____

EPC NO. _____

PROJ. NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☒ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

☐ GRADING/PAVING PERMIT APPROVAL

☐ OTHER _____ (SPECIFY)

DATE SUBMITTED:

November 28, 1988

BY:

Mark Goodwin

Mark Goodwin, P.E.

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION/DESIGN HYDROLOGY SECTION

CONFERENCE RECAP

DRAINAGE FILE/ZONE ATLAS PAGE NO.: L-14 DATE: 11/22/88 @ 9:00 ^{11/02}
PLANNING DIVISION NOS: EPC: _____ DRB: _____
SUBJECT: SHOP ADDITION & FUTURE WAREHOUSE DEVELOPMENT
STREET ADDRESS (IF KNOWN): S.W. corner of Gibson & I-25
SUBDIVISION NAME: Tract A Block B Torreon Addition or Faxtons Replat

APPROVAL REQUESTED:

_____ PRELIMINARY PLAT	_____ FINAL PLAT
_____ SITE DEVELOPMENT PLAN	<u>X</u> BUILDING PERMIT
_____ OTHER	_____ ROUGH GRADING

	WHO	REPRESENTING
ATTENDANCE:	<u>D.M. Goodwin</u>	<u>DMG & Assoc.</u>
	<u>Roger Green</u>	<u>Hydrology Section</u>

FINDINGS:

1. All Addition area Section requires an approved Grading and Drainage Plan prior to Hydrology, submit a Building Permit.
2. Free Discharge is approved to Gibson or Torreon Ave. No Storms are allowed to discharge into adjacent properties without drainage easements.
3. Future addition of areas greater than 1000 sq. ft. will require an approved Grading Plan and Building Permit unless paving is included with a Building Permit.

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: Roger A. Green
TITLE: Civil Engineer
DATE: 11-22-88

SIGNED: Terry J. Brown
TITLE: Engt.
DATE: 11-22-88

NOTE PLEASE PROVIDE A COPY OF THIS RECAP WITH THE DRAINAGE SUBMITTAL