

CITY OF ALBUQUERQUE



June 1, 2007

Dennis A. Lorenz, P.E.
Brasher & Lorenz
2201 San Pedro NE
Albuquerque, NM 87110

Re: Barelas Townhomes, Engineer's Stamp Dated 5-11-07, (L14/D33)

Dear Mr. Lorenz,

Upon review of the information provided in your submittal received on May 11, 2007 the above referenced plan is approved for both Building Permit and DRB Preliminary Platting action. Please attach a copy of this letter and the approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

This project will also require a National Pollutant Discharge Elimination System (NPDES) permit. Inquiries regarding this permit should be directed to Sertil Kandar at 768-3645.

In addition to submitting an NOI to the EPA and preparing a SWPPP, please send a copy of their SWPPP on a CD in .pdf format to Kathy Verhage with the Department of Municipal Development Storm Drainage Division at the following address.

P.O. Box 1293

Albuquerque

New Mexico 87103

Department of Municipal Development
Storm Drainage Division
P.O. Box 1293, One Civic Plaza, Rm. 301
Attn: Kathy Verhage
Albuquerque, NM 87103

If you have any questions, you can contact me at 924-3990.

www.cabq.gov

Sincerely,

Jeremy Hoover, P.E., C.F.M.

Senior Engineer
Hydrology Section
Development and Building Services

cc: file L14/D33

CITY OF ALBUQUERQUE



January 31, 2007

Dennis Lorenz, P.E.
Brasher & Lorenz
2201 San Pedro NE, Building 1 Suite 1200
Albuquerque, NM 87110

**Re: Barelas Coffee House, 1423 Fourth St SW, Grading and Drainage Plan
Engineer's Stamp dated 1-22-07 (L14-D33)**

Dear Mr. Lorenz,

Based upon the information provided in your submittal received 1-23-07, the above referenced plan is approved for Paving Permit and Grading Permit. Upon completion of the project, please provide an Engineer Certification for our files.

P.O. Box 1293

If you have any questions, you can contact me at 924-3981.

Albuquerque

New Mexico 87103

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

www.cabq.gov

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 06/22/2005)

PROJECT TITLE: Barelas Coffee House ZONE MAP/DRG. FILE # L-14/D33
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Tracts C-1, C-2 + D Lands of B. Gonzales - Portion of TR 31-B-1,
 CITY ADDRESS: 1423 Fourth SW MARGED MAP 41

ENGINEERING FIRM: BRASHER + LORENZ
 ADDRESS: 2201 SAN PEDRO NE
 CITY, STATE: ALBUQ, NM
Dennis Lorenz Stamped
 OWNER: Mike Gonzales 1-22-07
 ADDRESS: 1423 Fourth SW
 CITY, STATE: Albuq, NM

CONTACT: D. LORENZ
 PHONE: 888-6088
 ZIP CODE: 87110

CONTACT: M. Gonzales
 PHONE: 843-7577
 ZIP CODE: 87102

ARCHITECT: N/A
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

SURVEYOR: Precision Surveying
 ADDRESS: 8914D Jefferson NE
 CITY, STATE: Albuq, NM, 87113

CONTACT: L. Medrano
 PHONE: 856-5700
 ZIP CODE: 87113

CONTRACTOR: N/A
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER

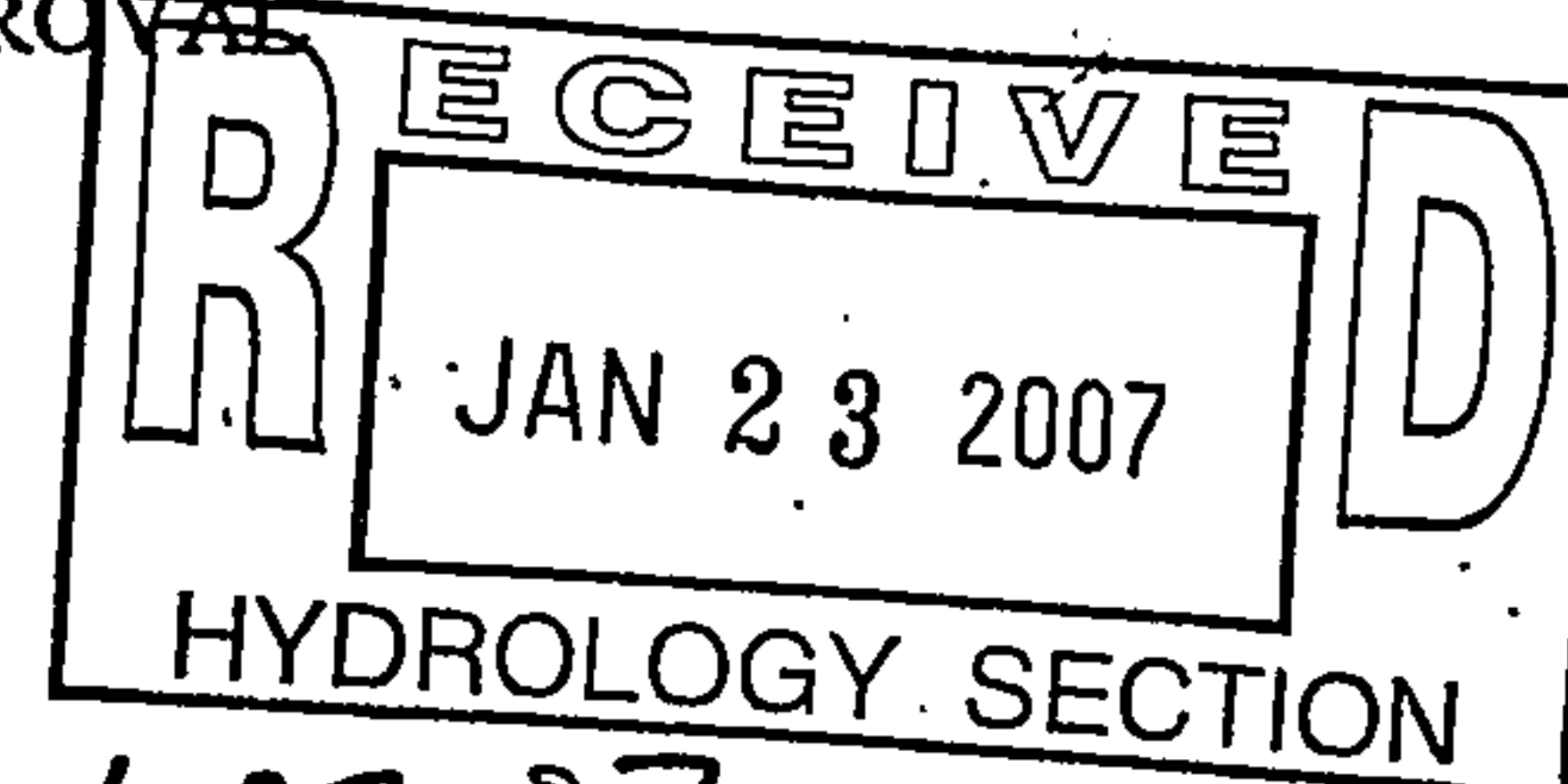
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☒ GRADING PERMIT APPROVAL
☒ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: DENNIS LORENZ DATE: 1.23.07



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

DRAINAGE REPORT
FOR
BARELAS TOWN HOMES

Albuquerque, New Mexico

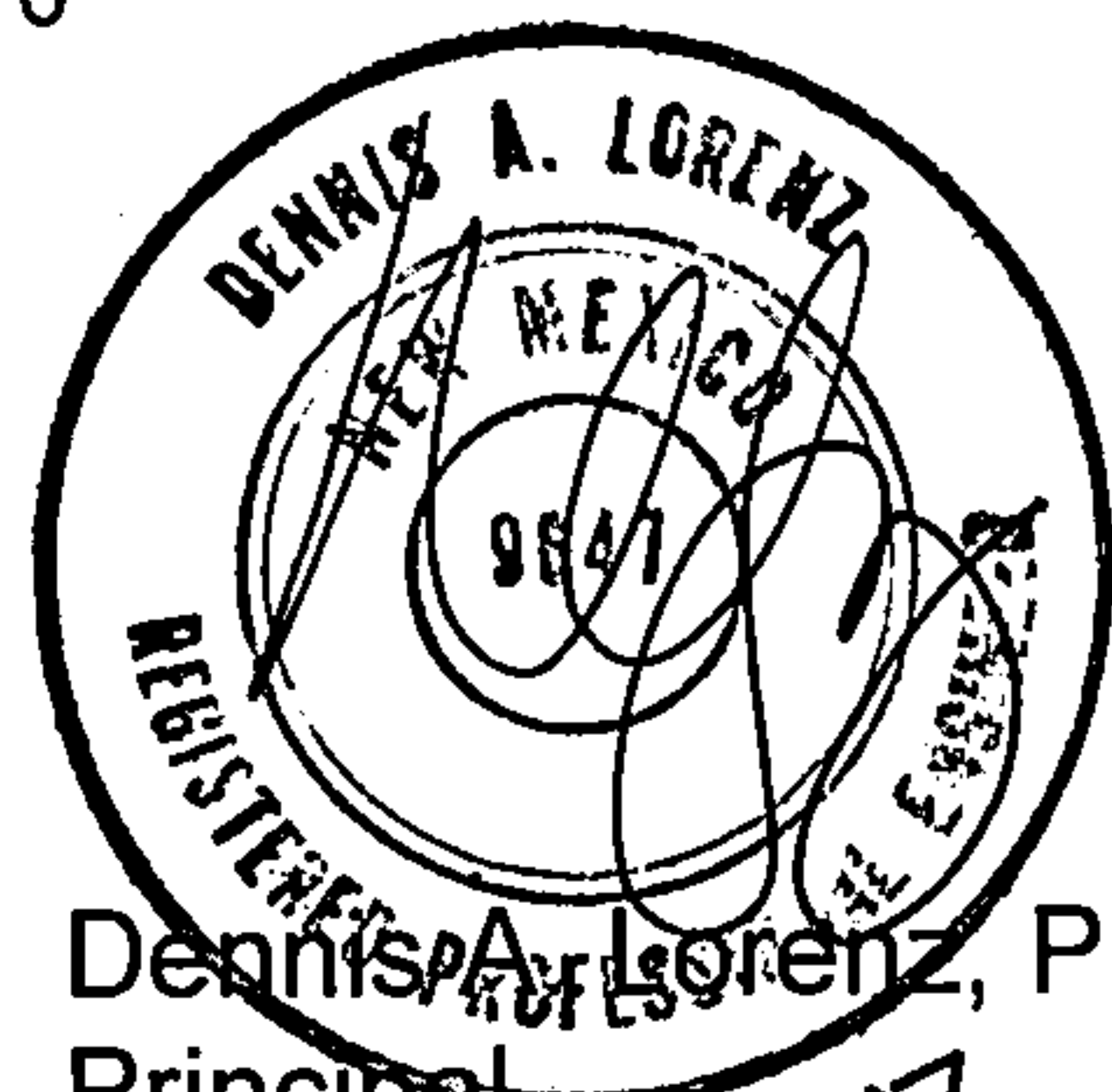
Prepared For:

MIKE GONZALES
1502 Fourth Street NW
Albuquerque, New Mexico 87102

Prepared by:



BRASHER AND LORENZ, INC.
Consulting Engineers
2201 San Pedro NE, Building 1, Suite 1300
Albuquerque, New Mexico 87110



Dennis A. Lorenz, PE
Principal

5.11.07

MAY 2007

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CHANNEL	
AHYMO	
EXHIBITS (Located in back pocket)	
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PAVING DETAILS, SHEET 3	
WALL & DRAINAGE DETAILS, SHEET 4	

PURPOSE AND SCOPE

Pursuant to City of Albuquerque Development Process Manual, this Drainage Report is presented to outline the drainage management criteria for controlling developed runoff generated by the project site, and to identify the storm drainage infrastructure recommended to protect the site from off-site runoff. A residential development is proposed on the existing 1.16-acre site. Access, landscaping, grading, drainage and utility improvements will be provided to support the development. This Drainage Report is presented to support a Preliminary Plat request, including Infrastructure List and Grading Plan approval by the Development Review Board, and subsequent building permit application.

SITE DESCRIPTION

Presently, the 1.16-acre project site is partially developed and is located at 1423 Fourth Street SW in Albuquerque, New Mexico (see the Vicinity Map). The project site slopes from east to west at approximately 0.3 percent. The site is bounded by developed commercial properties on all sides. The site has historically been used for residential purposes. All existing structures have been demolished except for the existing building that is located at the southeast corner.

EXISTING DRAINAGE CONDITIONS

On-site runoff flows south onto Simpier Lane S.W. and west onto Eighth Street S.W. The site is not impacted by any off-site flows from the north, south, east or west. All flows from the east are collected by the drainage improvements in Fourth Street S.W.

As shown by the FIRM Panel for this area, this property is located within a Zone X (500 year) flood zone.

PROPOSED CONDITIONS

As shown by the Plan, the project consists of the development of the property into residential homes. Paving, water, sanitary sewer, and drainage improvements will be constructed as necessary to support the project. The Plan shows the elevations and details required to properly grade and construct the recommended improvements. The direction of the drainage flows are given by flow arrows.

The Proposed Basin Map (Figure 3), illustrates the on-site drainage basins that will impact the project site. Each on-site basin is described as follows:

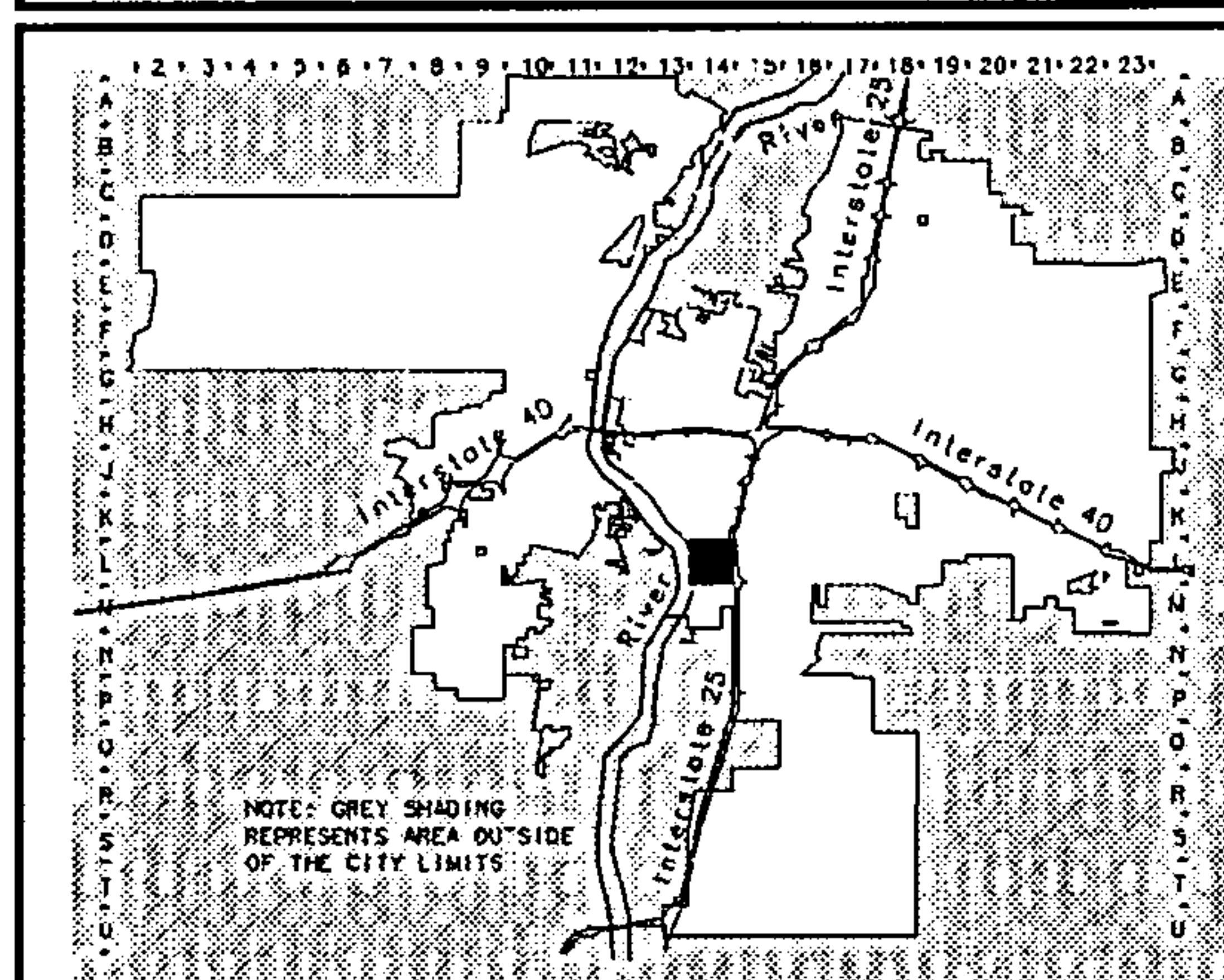
Basin A – the historic flows located in this basin will continue to drain west to Eighth Street SW where it will be collected by existing drainage improvements.

Basin B – the historic flows located in this basin will continue to drain south to Simpier Lane SW where it will be collected by

existing drainage improvements.


TEMPORARY EROSION CONTROL

As required by the City of Albuquerque and the Environmental Protection Agency a detailed Storm Water Pollution Prevent Plan (SWPPP) will be prepared to outline criteria for the management of storm water flows and the discharge of potential pollutants, both during the construction phase and long term life of the project. The SWPPP will be completed and available for inspection prior to construction commencement.



GRAPHIC SCALE IN FEET

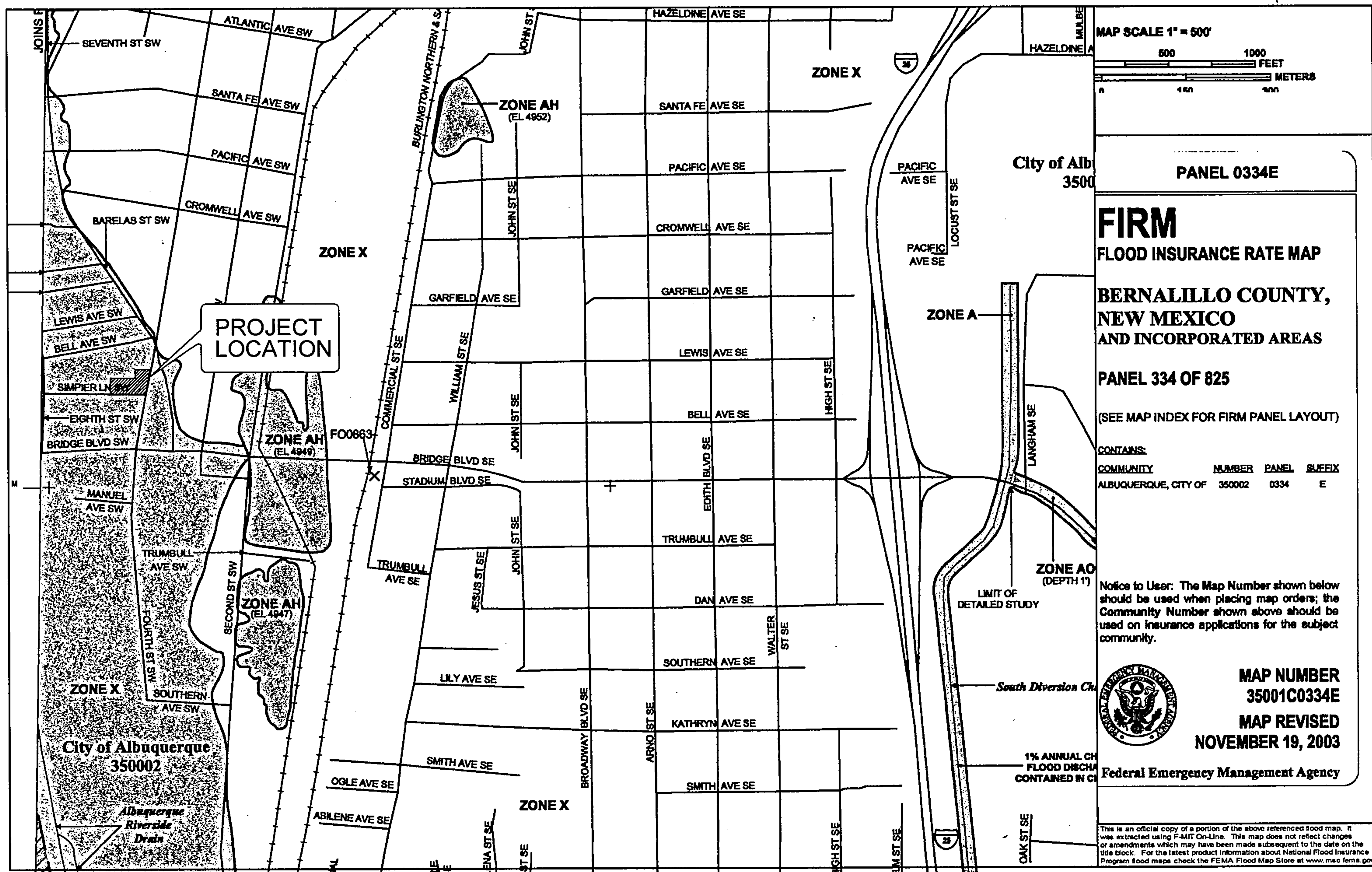
250 0 750 1000



L-14-Z

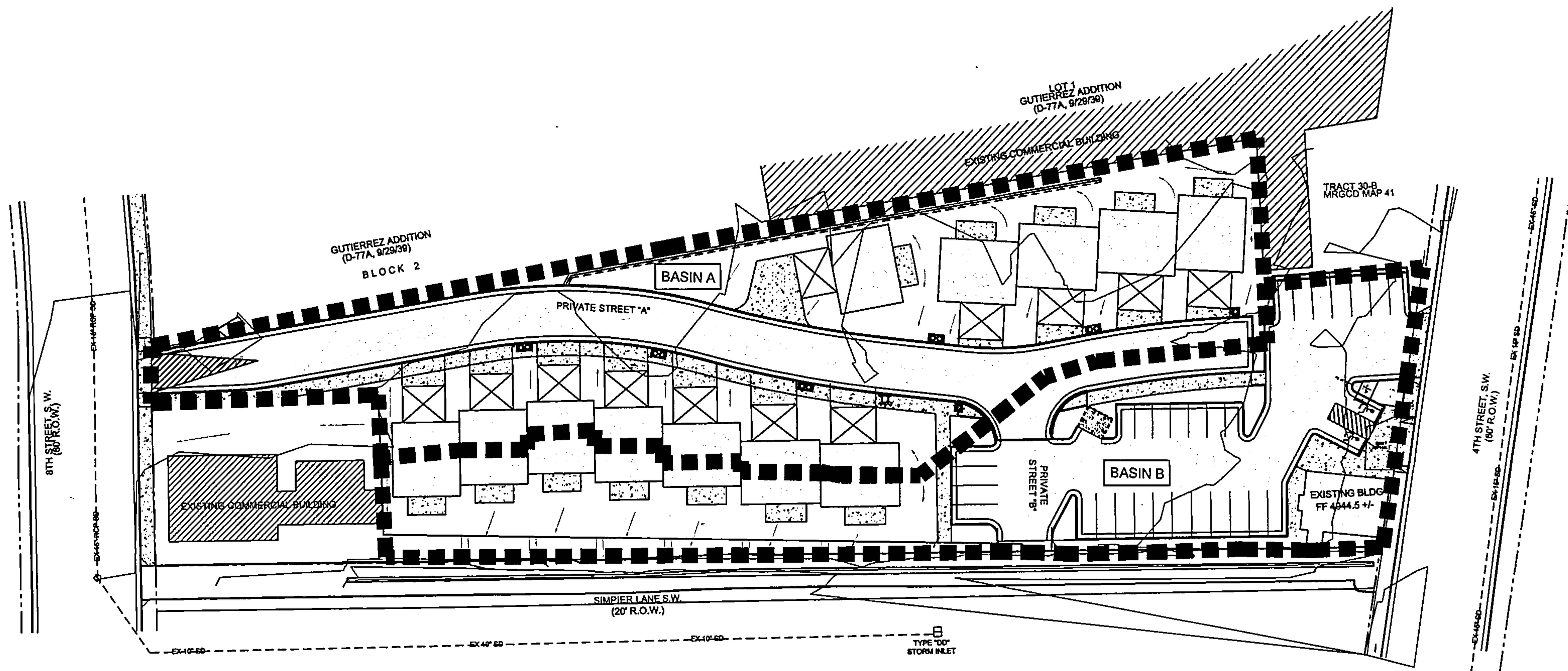
Map Amended through November 01, 2003

FIGURE 1



FIRM PANEL

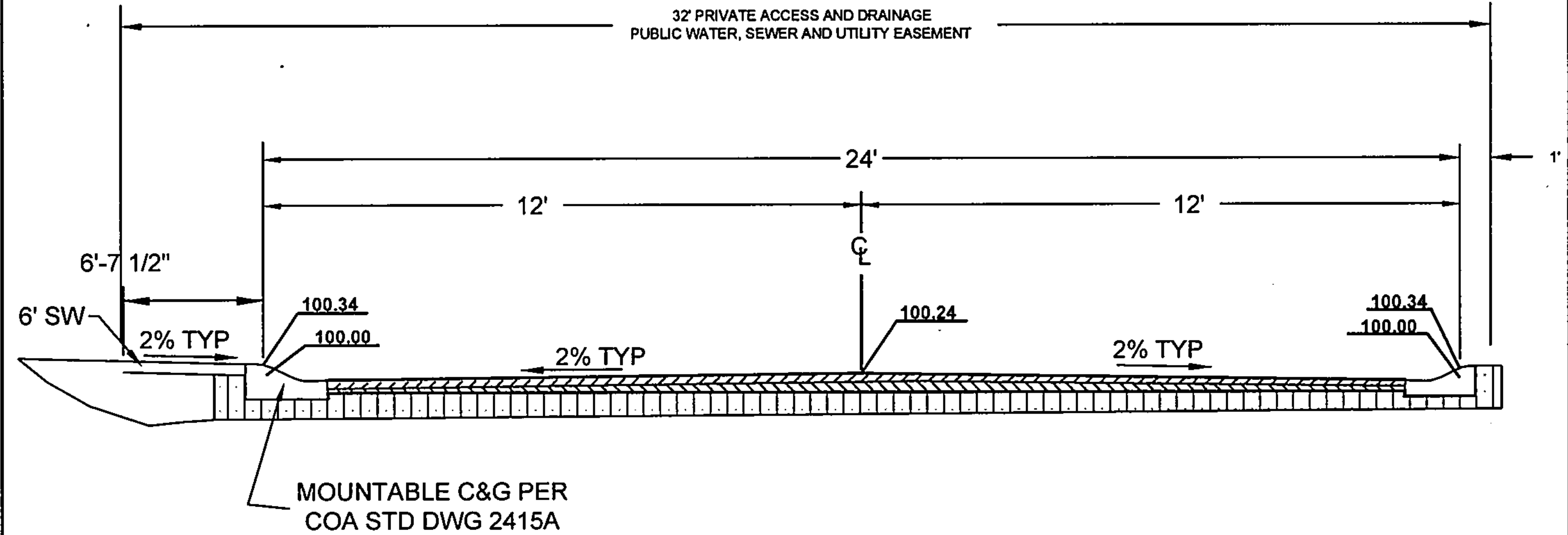
FIGURE 2



PROPOSED BASIN MAP

FIGURE 3

BARELAS TOWN HOMES					06503	
STREET DEPTH					05-07	
FOR STREET: NATURAL CHANNELS						
Y - FLOW ELEVATION, Q - FLOWRATE, S - CHANNEL SLOPE						
GIVEN: Q = 3.7 cfs		DIST (ft)	ELEV (ft)	COEFF		
S = 0.005 ft/ft		0	100.34	0.017		
		0	100.00	0.017		
		12	100.24	0.017		
		24	100.00	0.017		
		24	100.34	0.017		
OUTPUT: Y = 100.23 ft, V = 1.45 fps, Fr = 0.76 (SUB-CRITICAL FLOW)						



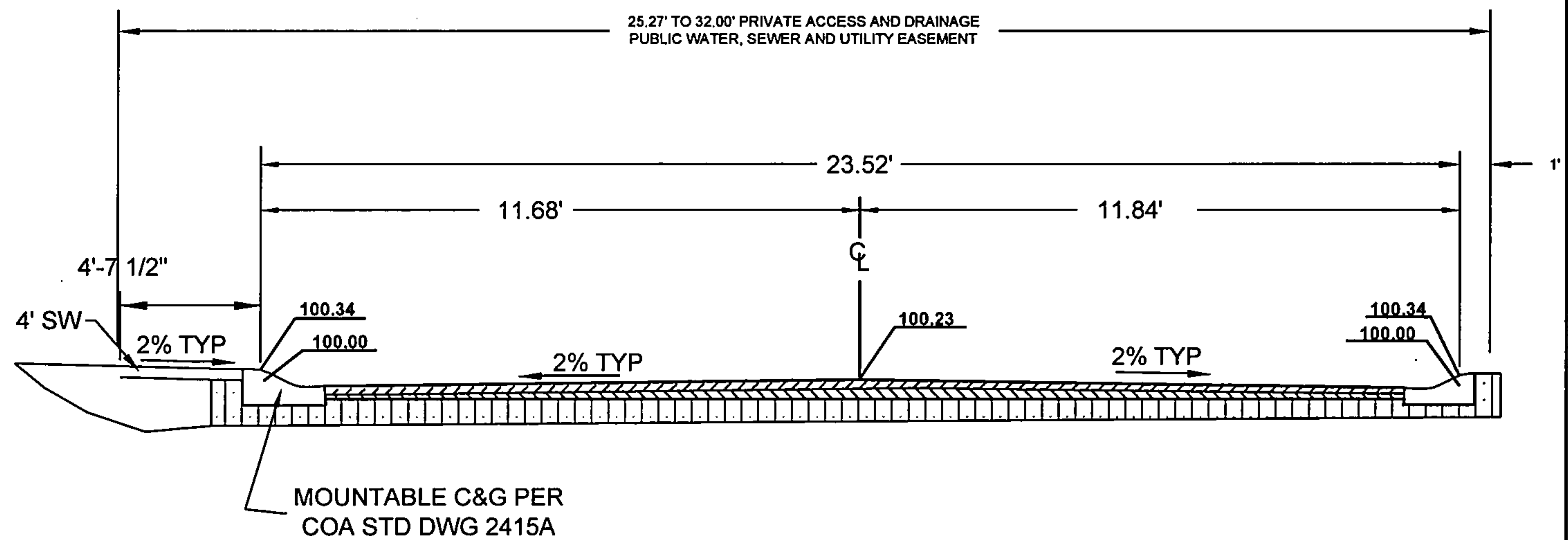
	BARELAS TOWN HOMES	06503	
	STREET DEPTH	05-07	

FOR STREET: NATURAL CHANNELS

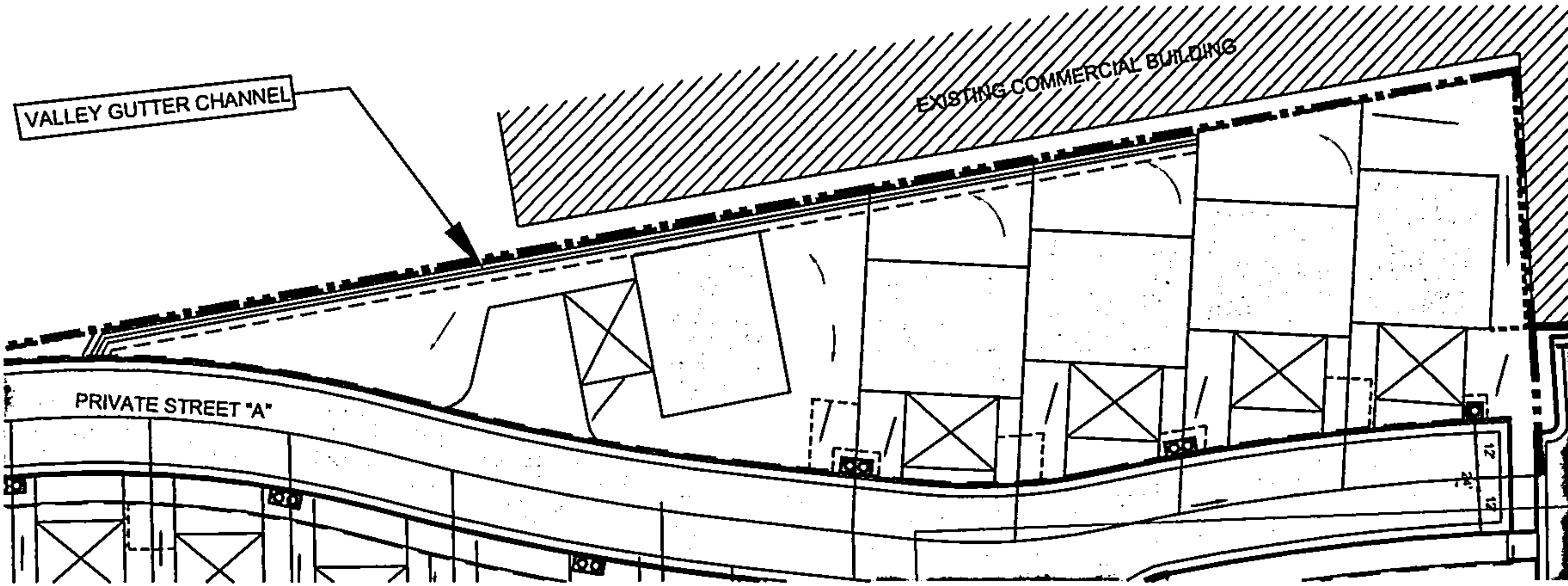
Y - FLOW ELEVATION, Q - FLOWRATE, S - CHANNEL SLOPE

GIVEN: Q = 3.7 cfs	DIST (ft)	ELEV (ft)	COEFF	
S = 0.005 ft/ft	0	100.34	0.017	
	0	100.00	0.017	
	11.68	100.23	0.017	
	23.52	100.00	0.017	
	23.52	100.34	0.017	

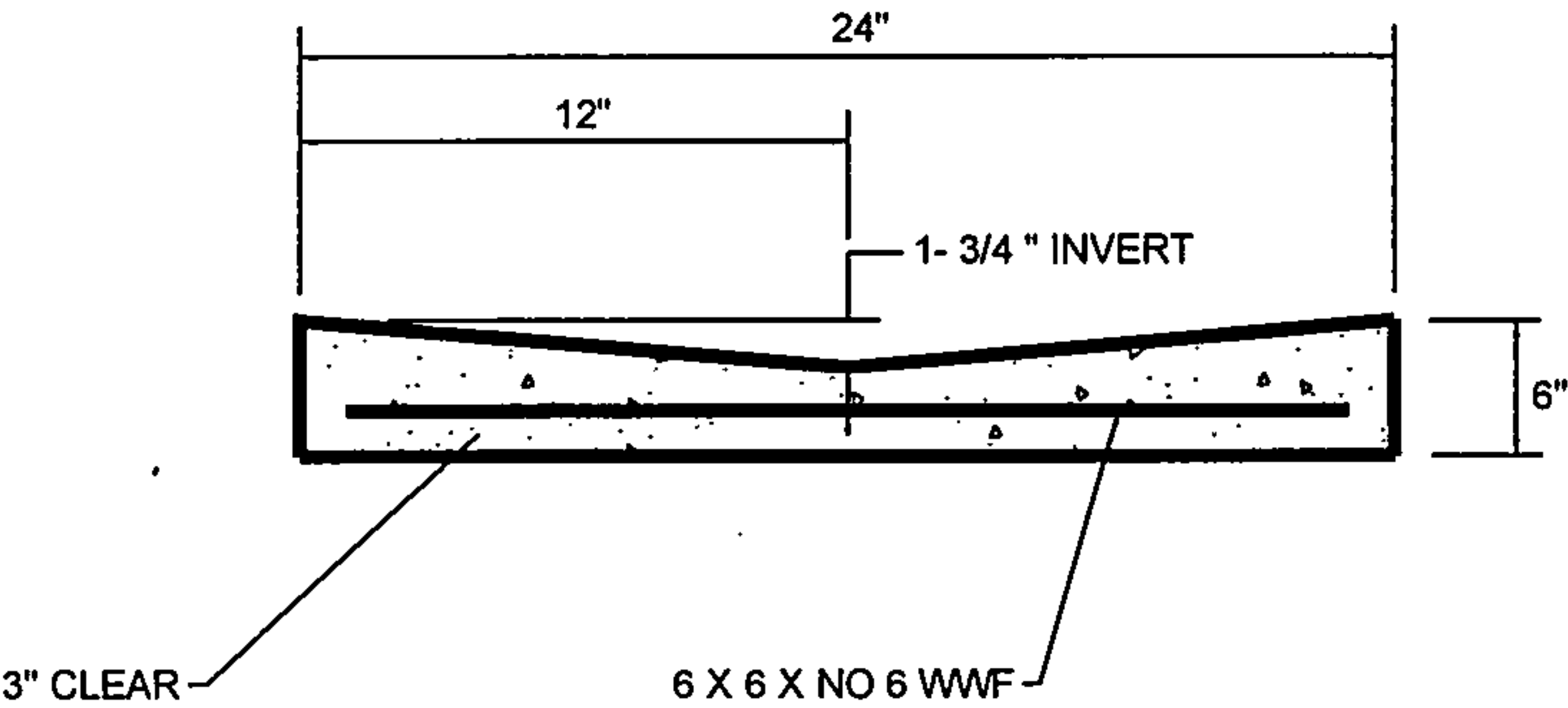
OUTPUT: Y = 100.22 ft, V = 1.44 fps, Fr = 0.76 (SUB-CRITICAL FLOW)



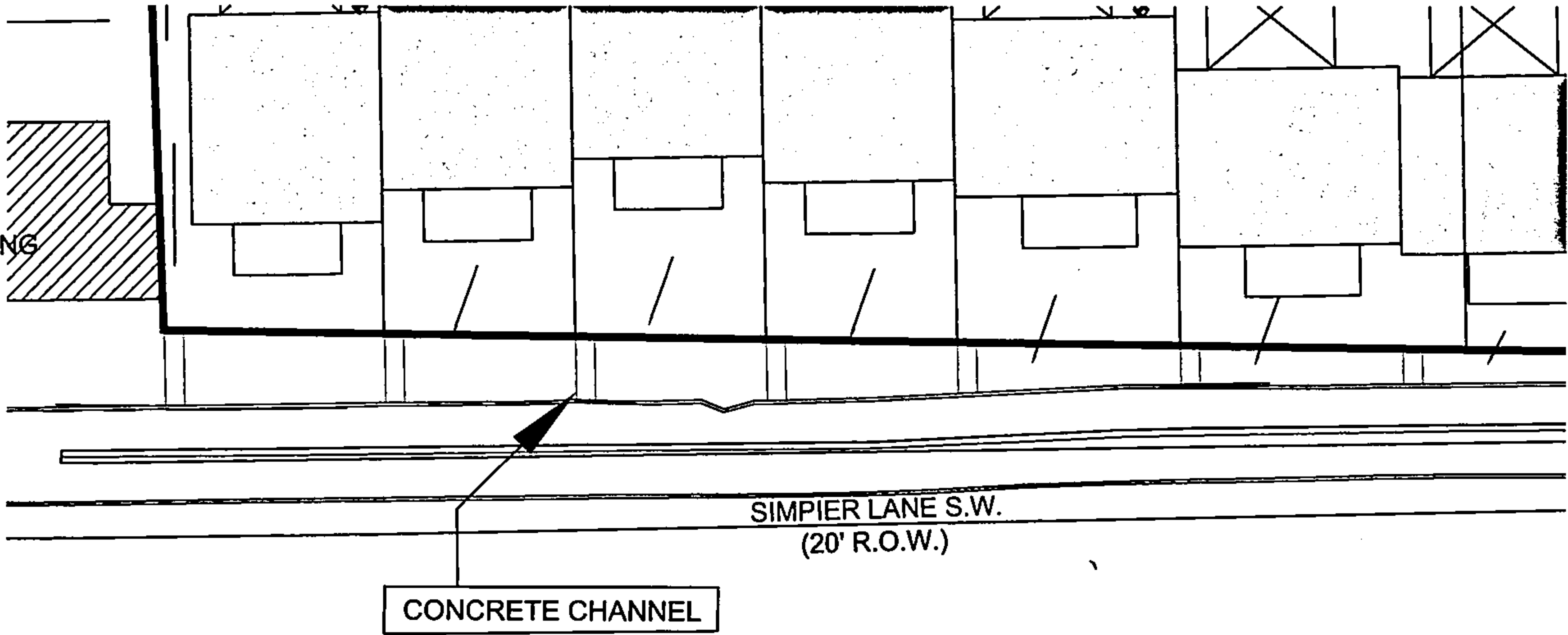
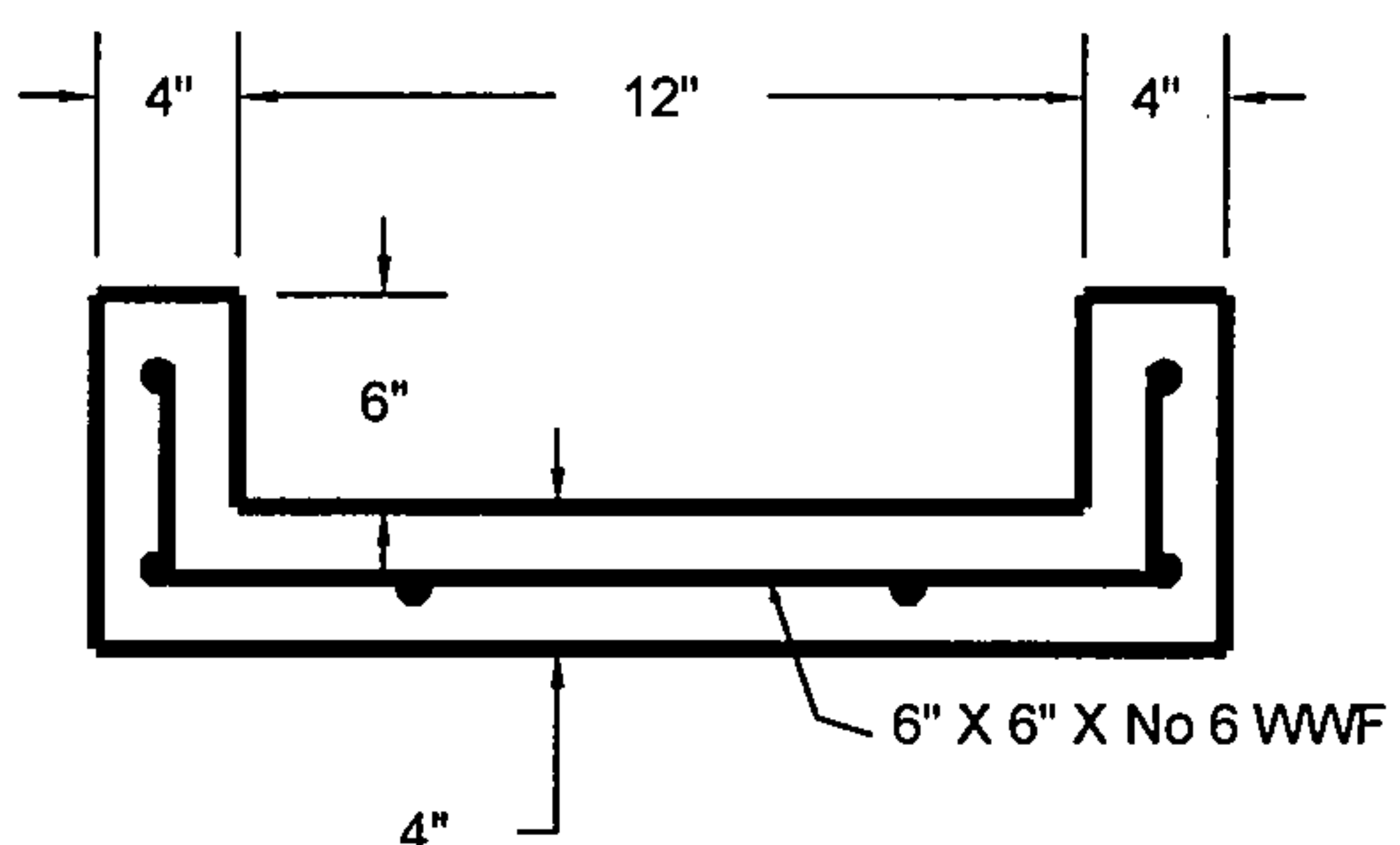
	BARELAS TOWN HOMES	06503	
	CHANNEL: VALLEY GUTTER	05-07	
FOR REAR LOT: MANNING EQUATION			
Y - FLOW ELEVATION, Q - FLOWRATE, S - LONGITUDINAL CHANNEL SLOPE			
n - MANNING'S COEFFICIENT, L - LENGTH OF CHANNEL, R - HYDRAULIC RADIUS			
A - AREA OF CHANNEL, P - WETTED PERIMETER			
GIVEN: L = 242.30 ft, n = 0.012, Q ₁₀₀ = 0.43 cfs, Elevations: 44.90 ft and 42.49 ft			
FIND: Q			
1-3/4" = 0.1458 ft			
$Q = (1.49AR^{2/3}S^{1/2})/n$			
$A = 6.85(0.1458)^2 = 0.255 \text{ ft}$			
$Q = (1.49 \cdot 0.255 \cdot (0.1275)^{2/3} \cdot (0.0099)^{1/2}) / 0.012$			
$P = 2 \cdot 0.1458 \cdot (1 + (6.85)^2)^{1/2} = 2.0 \text{ ft}$			
$Q = 0.80 \text{ cfs}$			
$R^{2/3} = A/P^{2/3} = 0.255/2^{2/3} = 0.1275^{2/3}$			
$S = (44.90 - 42.49)/242.30 = 0.0099$			
Q ₁₀₀ = 0.43 cfs is less than Q = 0.80 cfs. good			



CONCRETE VALLEY GUTTER SECTION - NTS




2' CONCRETE VALLEY GUTTER DETAIL - NTS

	BARELAS TOWN HOMES	06503	
	CHANNEL: REAR LOT	05-07	
	FOR REAR LOT: MANNING EQUATION		
	Y - FLOW ELEVATION, Q - FLOWRATE, S - LONGITUDINAL CHANNEL SLOPE		
	n - MANNING'S COEFFICIENT, L - LENGTH OF CHANNEL, R - HYDRAULIC RADIUS		
	A - AREA OF CHANNEL, P - WETTED PERIMETER		
	GIVEN: L = 10.08 ft, n = 0.012, Q ₁₀₀ = 0.13 cfs, Elevations: 43.10 ft and 42.77 ft		
	FIND: Q	A = 1*0.5 = 0.5 ft ² , P = 1 + 2*0.5 = 2 ft	
	$Q = (1.49AR^{2/3}S^{1/2})/n$		$R^{2/3} = A/P^{2/3} = 0.5/2^{2/3} = 0.25^{2/3}$
	$Q = (1.49*0.5*(0.25)^{2/3}*(0.032)^{1/2})/0.012$		$S = (43.10 - 42.77)/10.08 = 0.032$
	Q = 4.43 cfs		
	Q ₁₀₀ = 0.13 cfs is less than Q = 4.43 cfs. good		
			
	CONCRETE CHANNEL SECTION - NTS		
			
	CONCRETE CHANNEL DETAIL - NTS		
	BRASHER & LORENZ, INC.		

PROJECT HYDROLOGY							06503	
AHYMO							05-07	
ZONE:	2	BARELAS TOWN HOMES						
P ₆ HOUR	2.35"							
P ₁₀ DAY	3.95"							
UNDEVELOPED:								
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac - ft)
A	1.16	0.00	0.00	1.10	0.06	1.37	3.7	0.132
B	0.42	0.00	0.00	0.07	0.36	0.96	1.9	0.069
DEVELOPED:								
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac - ft)
A	0.90	0.00	0.00	0.36	0.54	1.72	3.7	0.129
B	0.68	0.00	0.00	0.20	0.48	1.83	2.9	0.104

BRASHER & LORENZ, INC.



ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME Bavelas Townhomes
AGENT Brasher & Lorenz
ADDRESS 2201 San Pedro N.E.
PROJECT & APP # _____
PROJECT NAME Bavelas T.H.

\$ _____ 441032/3424000 Conflict Management Fee
\$ _____ 441006/4983000 DRB Actions
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ 50.⁰⁰ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan (☒) Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 50.⁰⁰ TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

BRASHER & LORENZ, INC.

CONSULTING ENGINEERS
2201 SAN PEDRO NE BUILDING 1 SUITE 1200
ALBUQUERQUE, NM 87110
(505) 888-6088

NEW MEXICO BANK & TRUST
ALBUQUERQUE, NM 87103
95-654-1070

PAY TO THE
ORDER OF

CITY OF ALBUQUERQUE

\$ 50.⁰⁰

Fifty Dollars and 00/100

DUPLICATE

City of Albuquerque

Treasury Division

DOLLARS

MEMO

06503 C+H

5/11/2007 1:59PM LOC: ANN
RECEIPT# 00076547 WSH 006 TRANSH 0039
Account 441006 Fund 0110
Activity 4983000 TRSCXG
Trans Amt \$50.00
J24 Misc \$50.00
CHANGE \$0.00

007416 107006541 610 4305 011

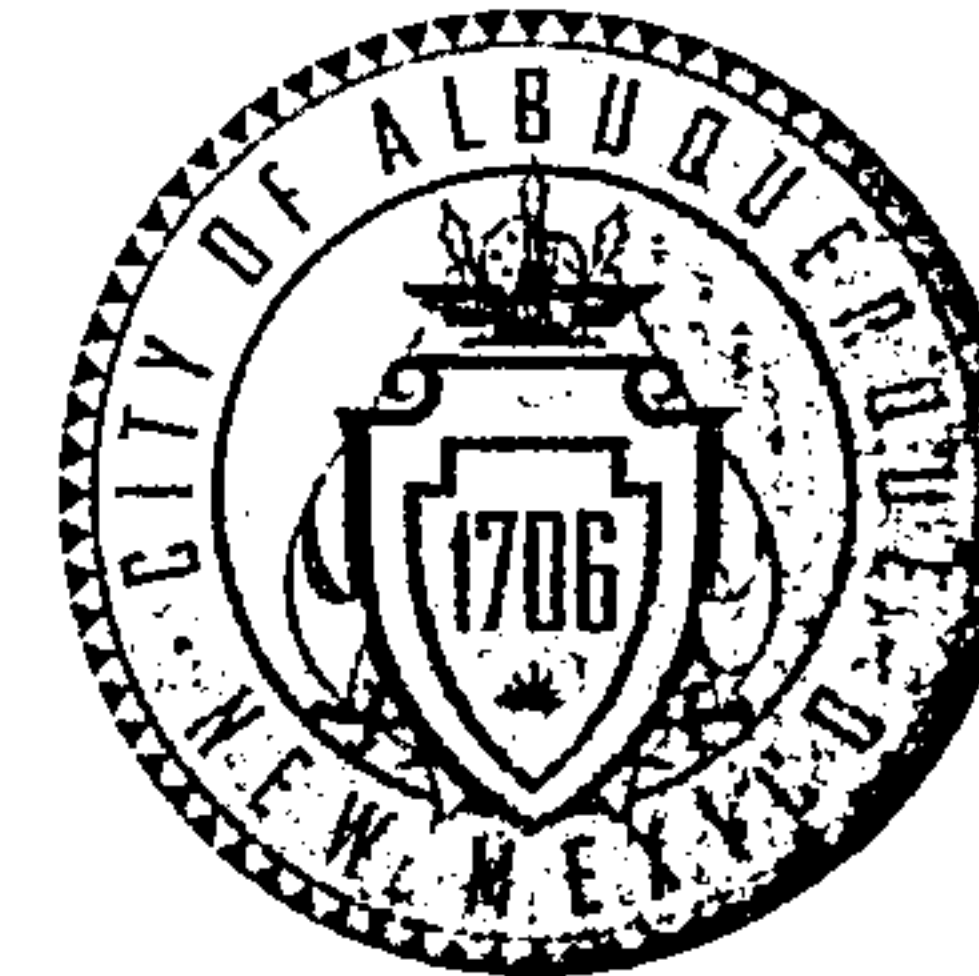
Thank You

7416

5.11.07

Details on back
Security Features Included

CITY OF ALBUQUERQUE



October 1, 2008

Steven K. Marrow, P.E.
Brasher & Lorenz Consulting Engineers
2201 San Pedro NE Bldg 1 Ste. 1300
Albuquerque, NM 87110

RE: Barelas Town Homes, (L-14/D033)
Engineers Certification for Release of Financial Guaranty
Engineers Stamp dated 5/11/2007
Engineers Certification dated 09/30/2008

Mr. Marrow,

PO Box 1293

Albuquerque

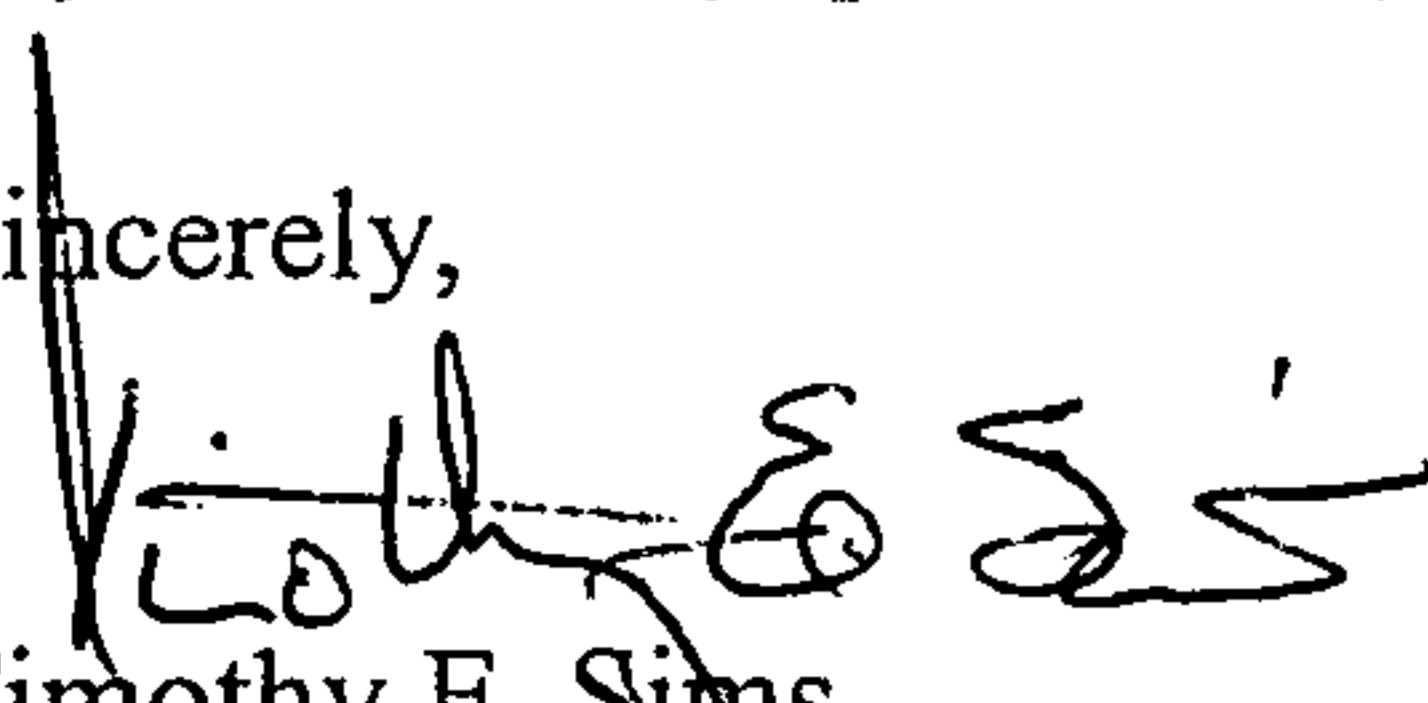
Based upon the information provided in your Engineer's Certification submittal dated 09/30/2008, the above referenced plan is adequate to satisfy the Grading and Drainage Certification for Release of Financial Guaranty; as well as, release of Permanent Certificate of Occupancy by Hydrology.

NM 87103

www.cabq.gov

— If you have any questions, you can contact me at 924-3982. —

Sincerely,


Timothy E. Sims
Plan Checker, Planning Dept. - Hydrology
Development and Building Services

C: Marilyn Maldonado, COA# 623582
CO Clerk—Katrina Sigala
File

06503.

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 06/22/2005)

PROJECT TITLE: BARELAS TOWN HOMES ZONE MAP/DRG. FILE # L-14 / D33
 DRB#: 1003857 EPC#: — WORK ORDER#: — 625582

LEGAL DESCRIPTION: TRACT 'B' BARELAS COFFEE HOUSE
 CITY ADDRESS: 1423 FOURTH ST SW

ENGINEERING FIRM: BRASHER + LORENZ
 ADDRESS: 2201 SAN PEDRO NE
 CITY, STATE: ALBQ, NM

CONTACT: D. LORENZ
 PHONE: 888-6088
 ZIP CODE: 87110

OWNER: MIKE GONZALES
 ADDRESS: 1502 FOURTH ST SW
 CITY, STATE: ABQ, NM

CONTACT: M. GONZALES
 PHONE: 843-7577
 ZIP CODE: 87102

ARCHITECT: RICK BENNETT
 ADDRESS: 1104 PARK AVENUE SW
 CITY, STATE: ABQ, NM

CONTACT: RICK BENNETT
 PHONE: 242-6630
 ZIP CODE: 87102

SURVEYOR: PRECISION SURVEYS
 ADDRESS: 8414-D JEFFERSON NE
 CITY, STATE: ABQ, NM

CONTACT: L. MEDRANO
 PHONE: 856-5700
 ZIP CODE: 87113

CONTRACTOR: SALIS BROTHERS
 ADDRESS: 7301 READING AVE SE
 CITY, STATE: ALBUQUERQUE, NM

CONTACT: HUA ZHANG
 PHONE: 873-8780
 ZIP CODE: 87105

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☒ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER

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☐ PRELIMINARY PLAT APPROVAL
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☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

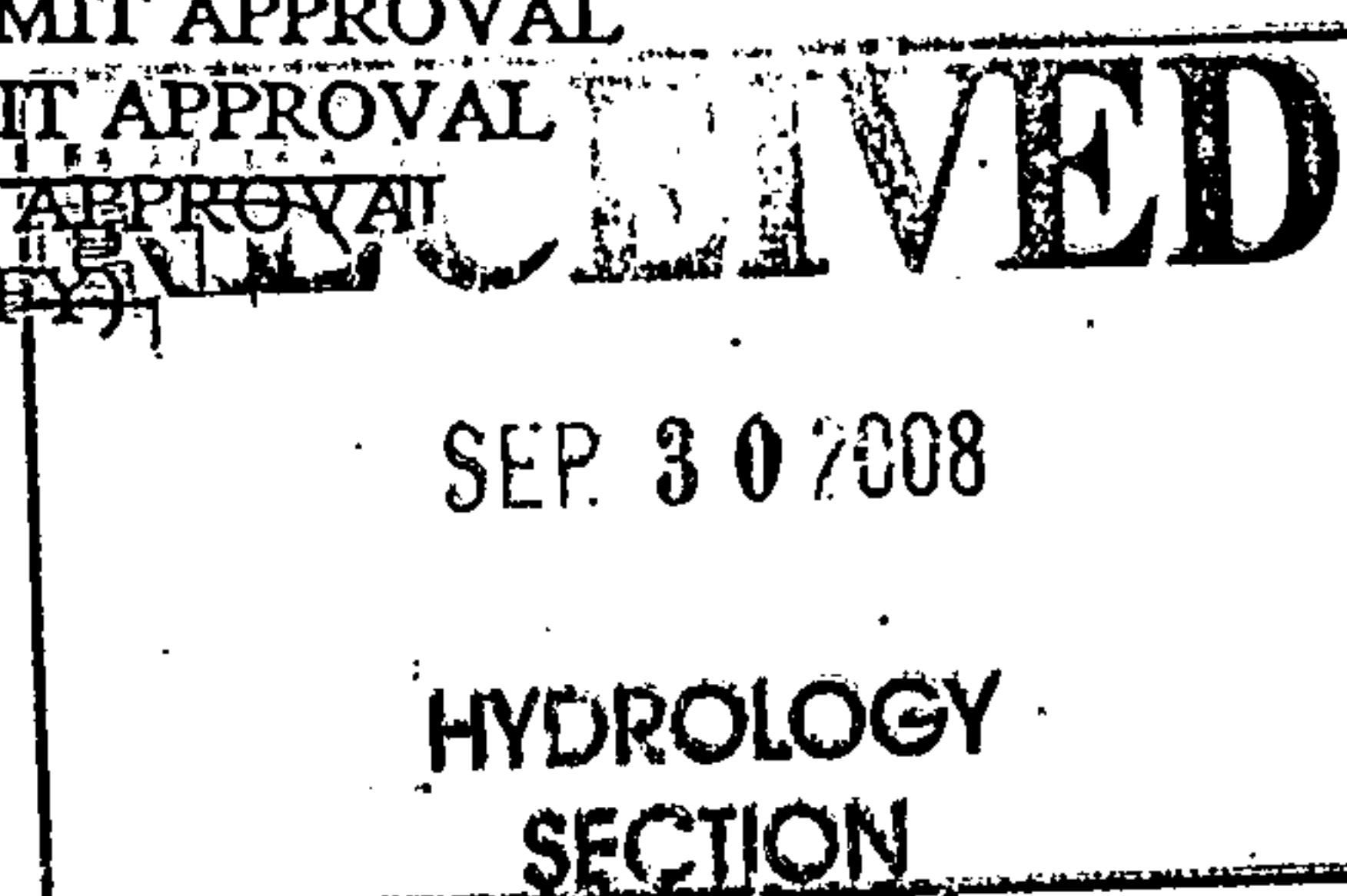
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: STEVE MORROW DATE: 9-30-08

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11/15

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 06/22/2005)

PROJECT TITLE: BARELAS TOWN HOMES ZONE MAP/DRG. FILE # L-14 / D33
DRB#: 1003857 EPC#: — WORK ORDER#: —

LEGAL DESCRIPTION: TRACT 'B' BARELAS COFFEE HOUSE
CITY ADDRESS: 1423 FOURTH ST SW

ENGINEERING FIRM: BRASHER + LORENZ
ADDRESS: 2201 SAN PEDRO NE
CITY, STATE: ALBQ, NM

CONTACT: D. LORENZ
PHONE: 888-6088
ZIP CODE: 87110

OWNER: MIKE GONZALES
ADDRESS: 1502 FOURTH ST SW
CITY, STATE: ABQ, NM

CONTACT: M. GONZALES
PHONE: 843-7577
ZIP CODE: 87102

ARCHITECT: RICK BENNETT
ADDRESS: 1104 PARK AVENUE SW
CITY, STATE: ABQ, NM

CONTACT: RICK BENNETT
PHONE: 242-6630
ZIP CODE: 87102

SURVEYOR: PRECISION SURVEYS
ADDRESS: 8414-D JEFFERSON NE
CITY, STATE: ABQ, NM

CONTACT: L. MEDRANO
PHONE: 856-5700
ZIP CODE: 87113

CONTRACTOR: NA
ADDRESS: —
CITY, STATE: —

CONTACT: —
PHONE: —
ZIP CODE: —

TYPE OF SUBMITTAL:

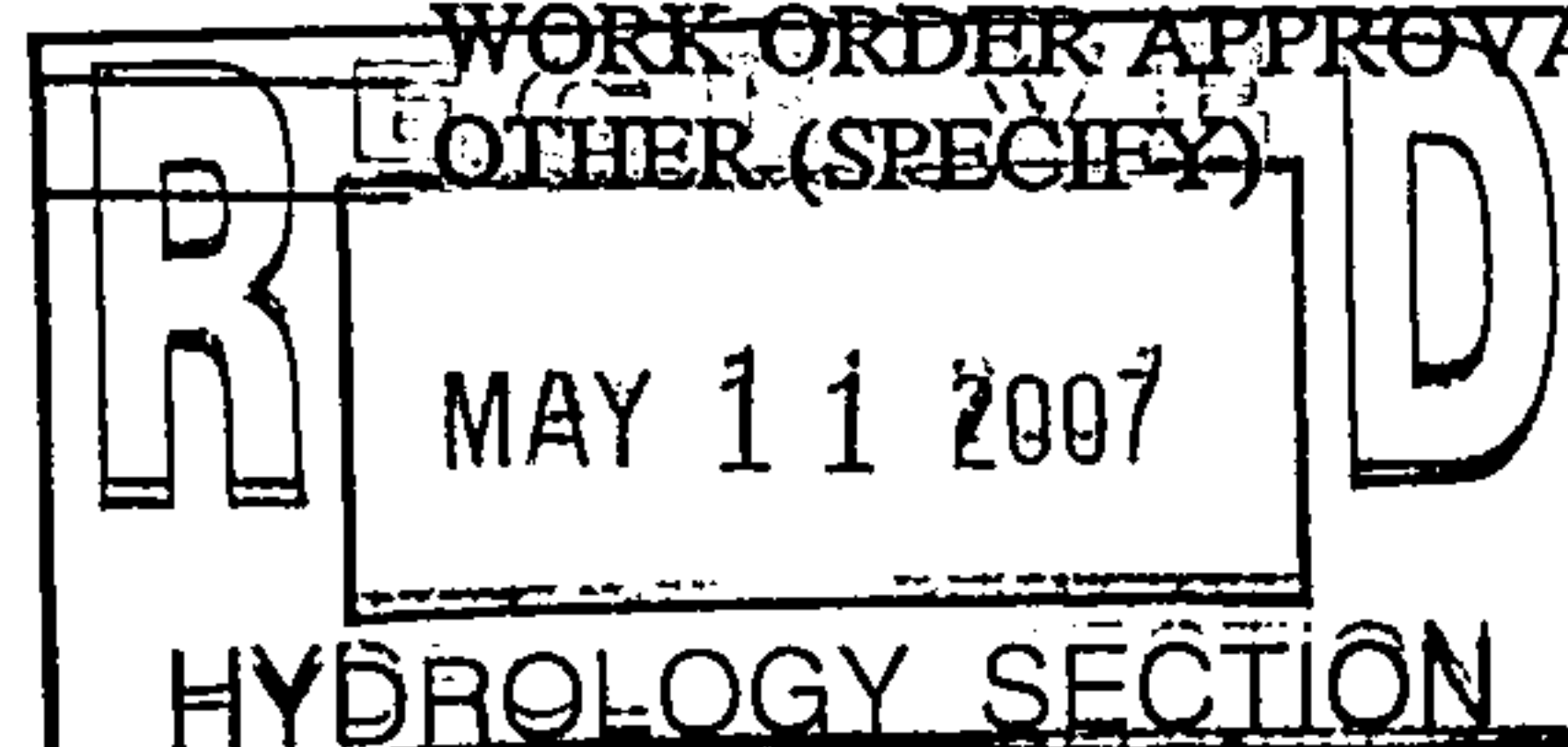
- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☒ SIA/FINANCIAL GUARANTEE RELEASE
☒ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
☐ NO
☐ COPY PROVIDED



SUBMITTED BY: DENNIS LORENZ DATE: 5.14.07

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

September 20, 2006

Dennis Lorenz, PE
Brasher & Lorenz
2201 San Pedro NE, Building 1 Ste 1200
Albuquerque, NM 87110

**Re: 1423 Fourth Street SW, Barel's Coffee House, Traffic Circulation
Layout, Engineer's Stamp dated 08-30-06 (L14-D33)**

Dear Mr. Lorenz,

Based upon the information provided in your submittal received 09-06-06, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Remove all hydrology information on the plan.
2. Please provide a copy of the cross lot access easement and the sidewalk easement.
3. A ramp should be located at the eastern end of the van access aisle. Where is the ADA compliant path to the site? Will the flat work serve as the pedestrian path? Please provide more information.
4. Where is the refuse container located? Provide solid waste approval.
5. What is the width of the alley?
6. Provide the width of the drive pad at the property line and the width of the sidewalk along 4th St. Is this sidewalk existing or proposed?
7. Note 13 indicates you will be removing and replacing existing curb; clarify the extents of this removal. You will also need to replace the sidewalk in this area.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal Metro, P.E.
Senior Engineer
Development and Building Services
C: file

CITY OF ALBUQUERQUE



July 21, 2006

Dennis Lorenz, P.E.
Brasher & Lorenz
2201 San Pedro NE, Building 1 Suite 1200
Albuquerque, NM 87110

**Re: Barelas Coffee House, 1423 Fourth Street SW, Traffic Circulation
Layout**

Engineer's Stamp dated 7-18-06 (L14-D33)

Dear Mr. Lorenz,

Based upon the information provided in your submittal received 7-18-06,
the above referenced plan cannot be approved for Building Permit until the
following comments are addressed:

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

1. To accommodate ADA standards, all driveways must have a 3-foot wide pedestrian access path. This path must have a cross slope of no greater than 2%.
2. Compact car spaces must be 8 feet wide by 15 feet in length.
3. Explain your parking calculations. How can there be zero required parking spaces?
4. If you are replacing the curb in this area, you will also need to replace the sidewalk.
5. The vicinity map is illegible. Show a smaller area at a larger scale.
6. Are you taking site access off of the alley? Please clarify this, and provide additional information.
7. Label the compact parking spaces by placing the words "compact" on the pavement of each space.
8. Include two copies of the traffic circulation layout at the next submittal.
9. Please note that the 2-foot overhang allowed for parking spaces may not encroach on the alley.
10. Since 4th Street is an arterial in this area, increase the drivepad width to 30 feet.
11. This site appears to consist of two separate properties. Is there a cross lot access easement?
12. Define the width of all sidewalks.
13. Please ensure all ramps are ADA compliant.

CITY OF ALBUQUERQUE



14. When the premises contain more than 20 spaces, up to 25% of those spaces can be compact car spaces. You have closer to 30%.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



September 20, 2006

Dennis Lorenz, PE
Brasher & Lorenz
2201 San Pedro NE, Building 1 Ste 1200
Albuquerque, NM 87110

**Re: 1423 Fourth Street SW, Barel's Coffee House, Traffic Circulation
Layout, Engineer's Stamp dated 08-30-06 (L14-D33)**

Dear Mr. Lorenz,

Based upon the information provided in your submittal received 09-06-06, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Remove all hydrology information on the plan.
2. Please provide a copy of the cross lot access easement and the sidewalk easement.
3. A ramp should be located at the eastern end of the van access aisle. Where is the ADA compliant path to the site? Will the flat work serve as the pedestrian path? Please provide more information.
4. Where is the refuse container located? Provide solid waste approval.
5. What is the width of the alley?
6. Provide the width of the drive pad at the property line and the width of the sidewalk along 4th St. Is this sidewalk existing or proposed?
7. Note 13 indicates you will be removing and replacing existing curb; clarify the extents of this removal. You will also need to replace the sidewalk in this area.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal Metro, P.E.
Senior Engineer
Development and Building Services
C: file

PROVIDE A COPY of the easements, x-lot, S.W.

A ramp should be located at the eastern end of the van access aisle
- need a ~~path~~ path
- is flat work ~~the same~~ a pathway?

What is the width of the alley?

Provide copy of solid waste approval - where is the refuse container?

Call out the width of the drivepad at the property line

Provide a copy of the cross lot access esmt and the sidewalk easement

Note 13 indicates you will be removing and replacing existing curb - you will have to replace the SW in this area as well - clarify the extents of this work



BRASHER & LORENZ, INC.
CONSULTING ENGINEERS

2201 San Pedro NE Bldg 1 Suite 1200 • Albuquerque, NM 87110 • Phone (505) 888-6088 • Fax (505) 888-6188 • www.brasherlorenz.com

L-14/D33

Barelas Coffee House

September 4, 2006

Kristal D. Metro, PE
Development and Building Services
Plaza Del Sol
Albuquerque, New Mexico 87102

SUBJECT: BARELAS TOWNHOMES
Tract 31-B-1, MRGCD Map 41
Tracts C-1, C-2 and D, Lands of Bromo Gonzales
Map Zone L-14

Dear Kristal:

Submitted herewith for review and approval are two copies of the revised Traffic Circulation Layout Plan. The Plan is revised to address your comments dated July 21, 2006. Specifically, your comments are addressed as follows;

1. All driveways meet ADA standards.
2. The compact car spaces are 8' x 15' and are labeled "COMPACT".
3. Parking calculations are provided based on the proposed Café.
4. All curbs will be replaced per City Specs.
5. The location map scale is larger.
6. We are taking access from Simpier Lane as shown.
7. The 2-foot overhang does not encroach into the alley.
8. The project entry from 4th Street is increased to 30' and returns are provided.
9. A cross access easement is being prepared by the Project Surveyor and will be submitted separately.
10. Sidewalks are labeled.
11. All ramps are ADA compliant.
12. The compact car caluculation is within code.

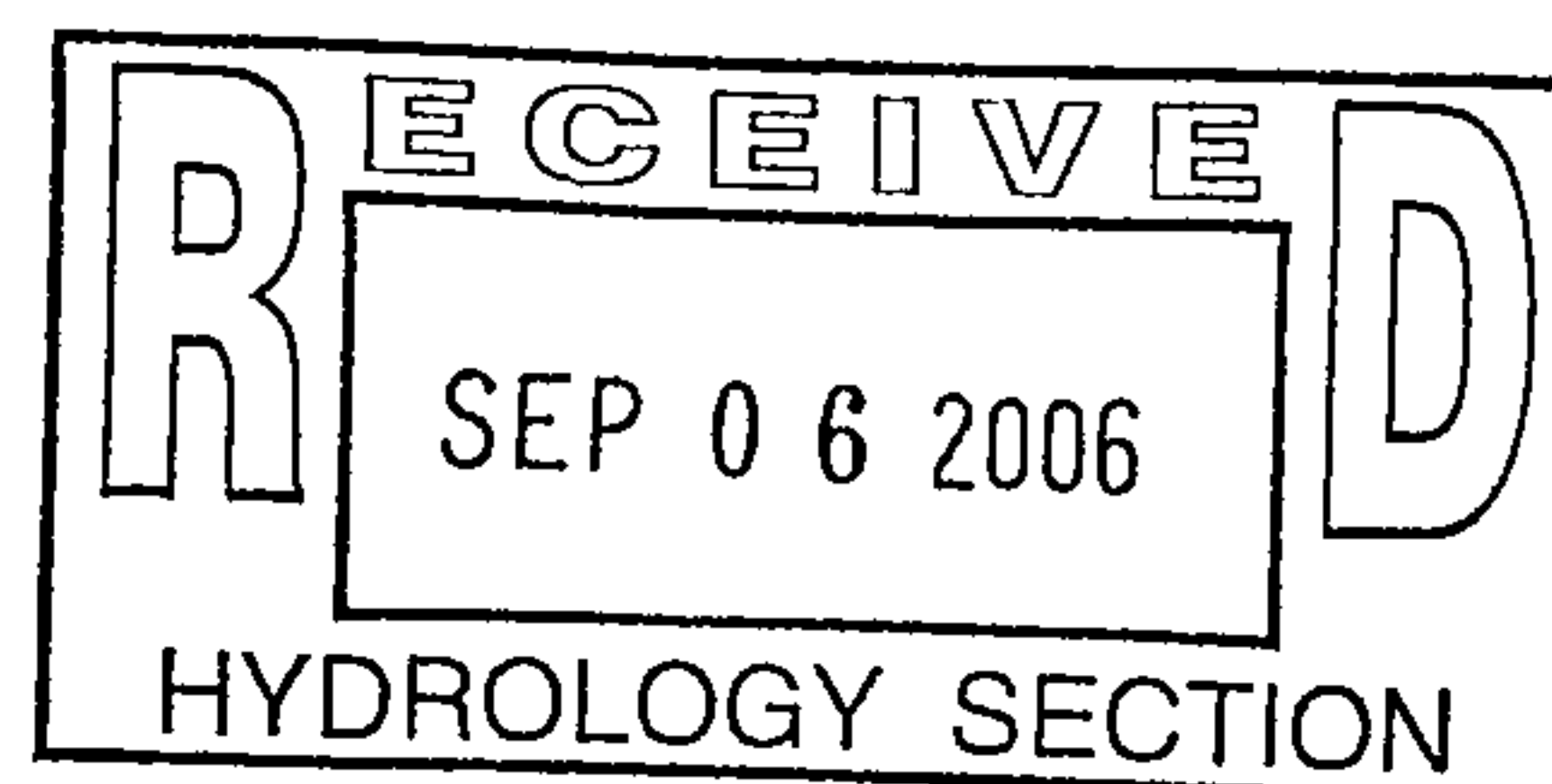
If you have any questions, or if I can be of any assistance, please feel free to call.

Sincerely,

BRASHER & LORENZ, INC.


Dennis A. Lorenz, PE
Principal

/dl/06503
encl





BRASHER & LORENZ, INC.
CONSULTING ENGINEERS

2201 San Pedro NE Bldg 1 Suite 1200 • Albuquerque, NM 87110 • Phone (505) 888-6088 • Fax (505) 888-6188 • www.brasherlorenz.com

September 4, 2006

Curtis A. Cheme, EIT
Development and Building Services
Plaza Del Sol
Albuquerque, New Mexico 87102

SUBJECT: BARELAS TOWNHOMES
Tract 31-B-1, MRGCD Map 41
Tracts C-1, C-2 and D, Lands of Bromo Gonzales
Map Zone L-14

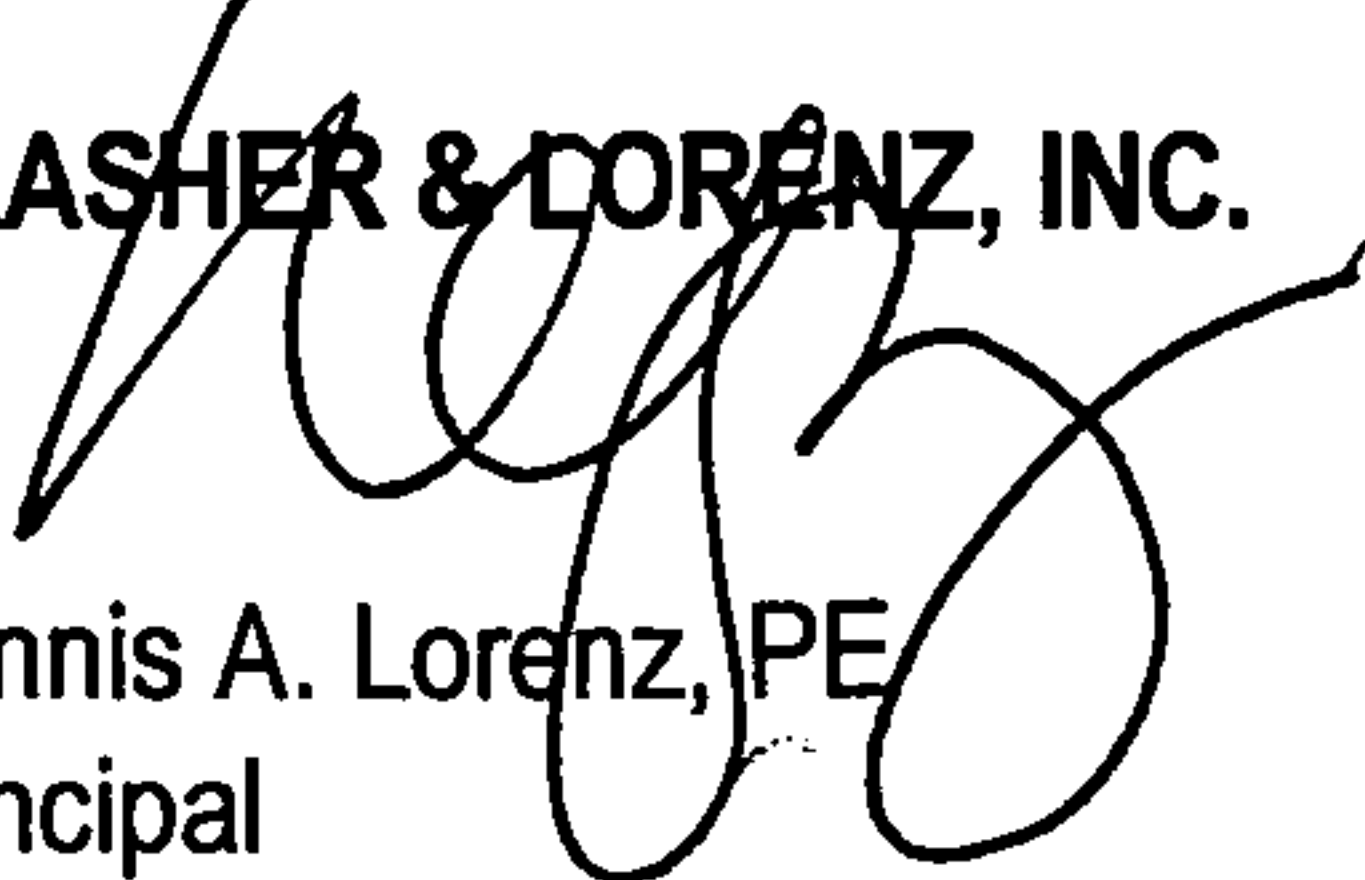
Dear Curtis:

Submitted herewith for review and approval are two copies of the revised Grading and Drainage Plan for the subject project. The Plan has been revised to address comments issued by Transportation. No significant grading and drainage changes were made.

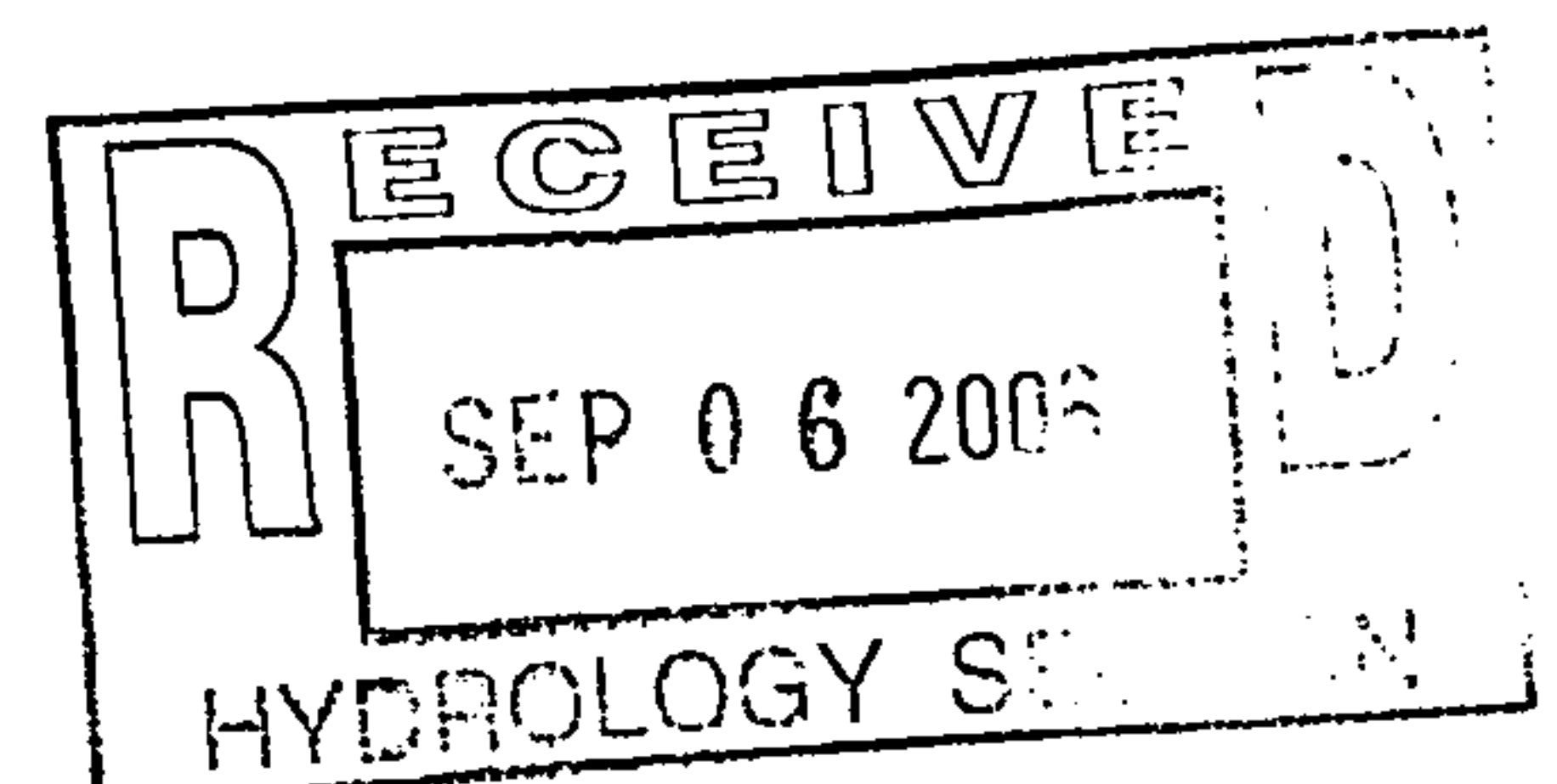
If you have any questions, or if I can be of any assistance, please feel free to call.

Sincerely,

BRASHER & LORENZ, INC.


Dennis A. Lorenz, PE
Principal

/dl/06503
encl



CITY OF ALBUQUERQUE



July 21, 2006

Dennis Lorenz, P.E.
Brasher & Lorenz
2201 San Pedro NE, Building 1 Suite 1200
Albuquerque, NM 87110

**Re: Barelaz Coffee House, 1423 Fourth Street SW, Traffic Circulation
Layout**

Engineer's Stamp dated 7-18-06 (L14-D33)

Dear Mr. Lorenz,

Based upon the information provided in your submittal received 7-18-06,
the above referenced plan cannot be approved for Building Permit until the
following comments are addressed:

1. To accommodate ADA standards, all driveways must have a 3-foot wide pedestrian access path. This path must have a cross slope of no greater than 2%.
- ✓ 2. Compact car spaces must be 8 feet wide by 15 feet in length.
- ✓ 3. Explain your parking calculations. How can there be zero required parking spaces?
4. If you are replacing the curb in this area, you will also need to replace the sidewalk.
- ✓ 5. The vicinity map is illegible. Show a smaller area at a larger scale.
6. Are you taking site access off of the alley? Please clarify this, and provide additional information.
- ✓ 7. Label the compact parking spaces by placing the words "compact" on the pavement of each space.
- ✓ 8. Include two copies of the traffic circulation layout at the next submittal.
- ✓ 9. Please note that the 2-foot overhang allowed for parking spaces may not encroach on the alley.
10. Since 4th Street is an arterial in this area, increase the drivepad width to 30 feet.
11. This site appears to consist of two separate properties. Is there a cross lot access easement?
12. Define the width of all sidewalks.
13. Please ensure all ramps are ADA compliant.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



- ✓ 14. When the premises contain more than 20 spaces, up to 25% of those spaces can be compact car spaces. You have closer to 30%.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 06/22/2005)

PROJECT TITLE: BARCELAS COFFEE HOUSE

DRB#:

EPC#:

ZONE MAP/DRG. FILE # L-14/D33

WORK ORDER#:

LEGAL DESCRIPTION: TRACTS C-1+C-2 LANDS OF BROMO GONZALES. PORTION TRACT
CITY ADDRESS: 1423 FOURTH ST SW 30.B.1 MRGCD
MAP 41

ENGINEERING FIRM: BRASHER + LORENZ

ADDRESS: 2201 SAN PEDRO NE

CITY, STATE: ALBUQUERQUE NM

CONTACT: D. LORENZ

PHONE: 888-6088

ZIP CODE: 87110

Stamp date 7-18-06

CONTACT: M. GONZALES

PHONE: 843 7577

ZIP CODE: 87102

OWNER: MIKE GONZALES

ADDRESS: 1502 FOURTH ST SW

CITY, STATE: ALBUQUERQUE NM

ARCHITECT: NA

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

SURVEYOR: PRECISION SURVEYS

ADDRESS: 8414-D JEFFERSON NE

CITY, STATE: ALBUQUERQUE NM

CONTACT: L. MEDRANO

PHONE: 856 5700

ZIP CODE: 87113

CONTRACTOR: NA

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☒ GRADING PERMIT APPROVAL
☒ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

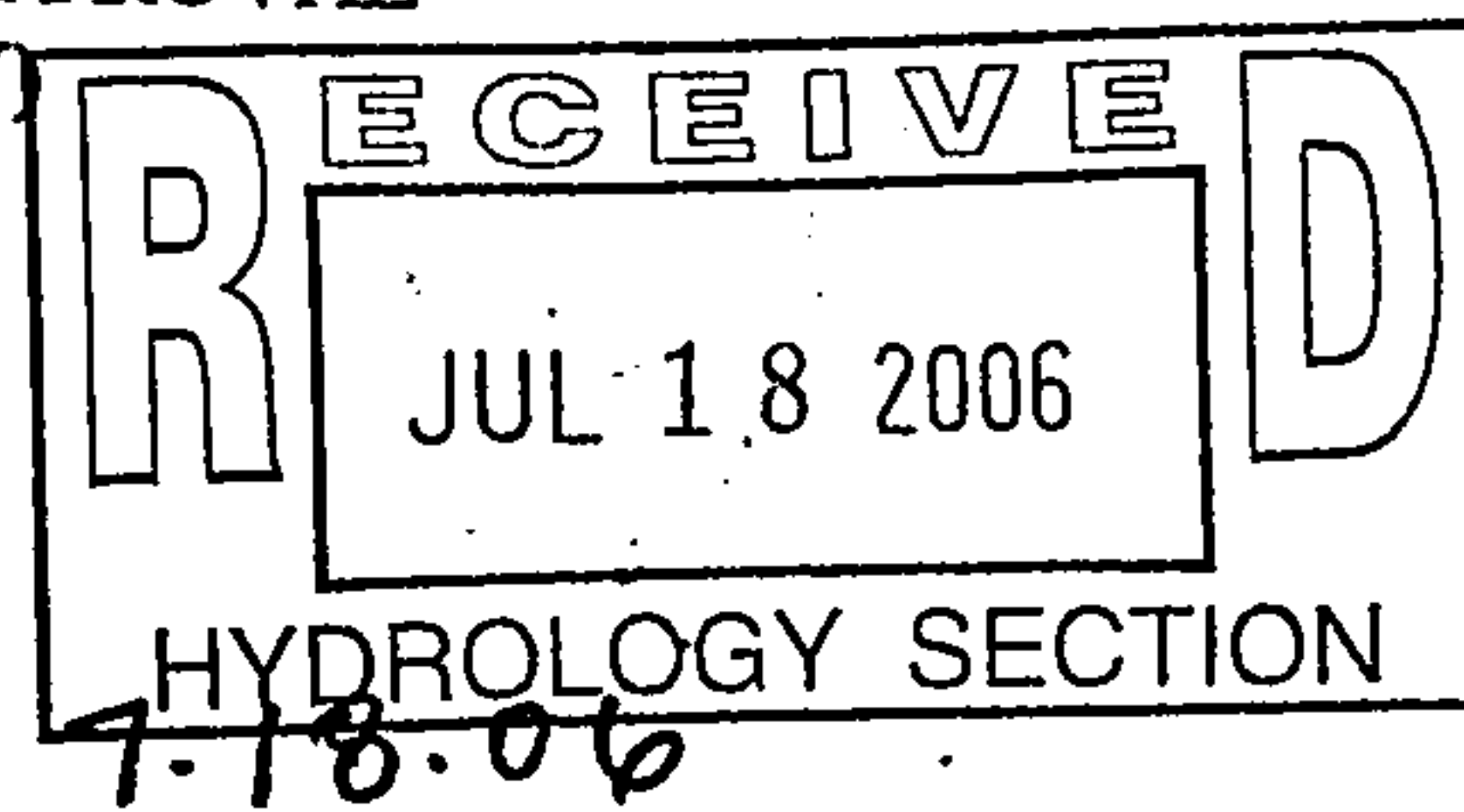
☒ YES

☐ NO

☐ COPY PROVIDED

SUBMITTED BY: DENNIS LORENZ

DATE: 7-18-06



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

Need 2 copies

Ramps must comply w/ ADA stds

How can you only have 0 reg. spaces?

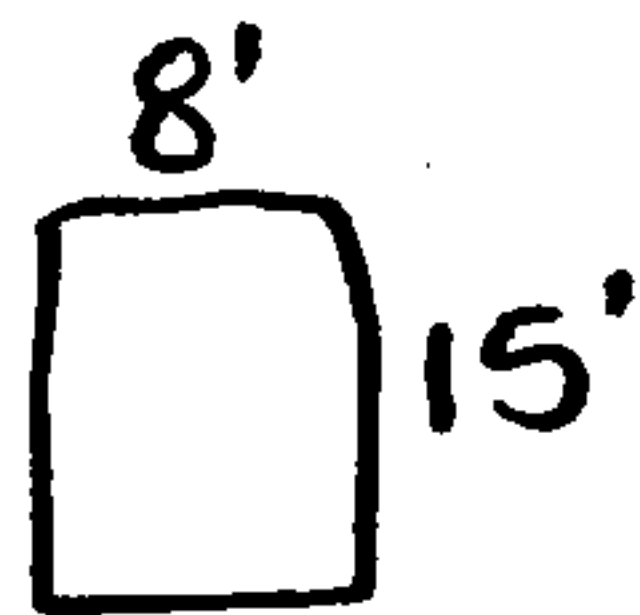
Enlarge ^{vicinity} map area

Are you trying to take access off alley?

Clarify

Width of SW

8' wide small car spaces



Up to 25% can be compact spaces

Label SC spaces "Compact"

4th St Arterial here - typically, reg
width — , can you get 30'?

do also 2 properties? Cross lot access?

Width of all SW

Spaces cannot have 2' overhang into alley

if replacing curb, will need to replace
SW as well

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 06/22/2005)

PROJECT TITLE: BARCELAS COFFEE HOUSE ZONE MAP/DRG. FILE # L-14 D33
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACTS C-1, C-2 + 6 LANDS OF B. GONZALES. TR 31.12.1 PORTION OF MR 620 MAP 41
 CITY ADDRESS: 1423 FOURTH SW

ENGINEERING FIRM: BRASHER + LORENZ
 ADDRESS: 2201 SAN PEDRO NE
 CITY, STATE: ALBU, NM

CONTACT: D. LORENZ
 PHONE: 888-6088
 ZIP CODE: 87110

OWNER: MIKE GONZALES
 ADDRESS: 1423 FOURTH SW
 CITY, STATE: ALBU NM

CONTACT: M. GONZALES
 PHONE: 843-7577
 ZIP CODE: 87102

ARCHITECT: NA
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

SURVEYOR: PRECISION SURVEYING
 ADDRESS: 8414 D JEFFERSON NE
 CITY, STATE: ALBU NM 87113

CONTACT: L. MEDRANO
 PHONE: 856-5700
 ZIP CODE: 87113

CONTRACTOR: NA
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER

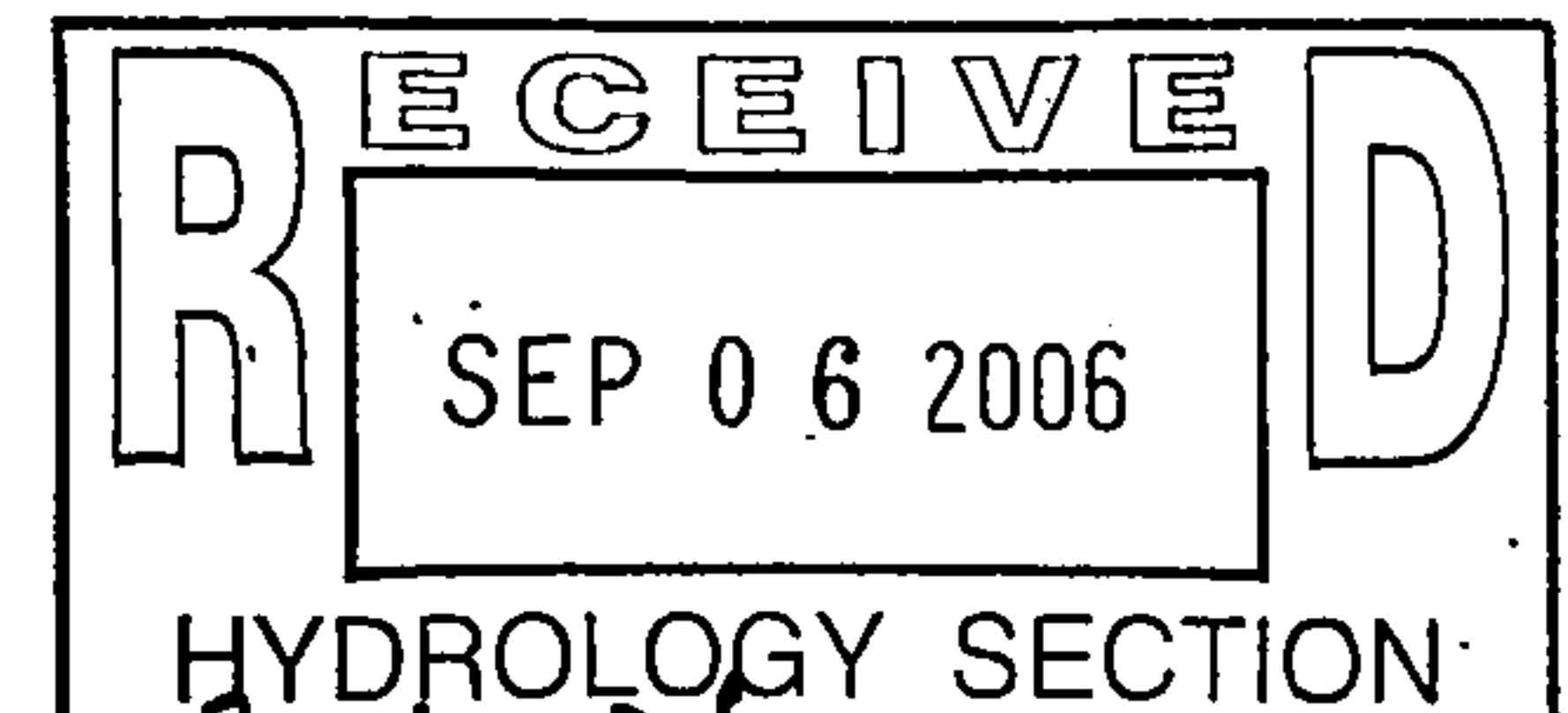
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☒ GRADING PERMIT APPROVAL
☒ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
☐ NO
☐ COPY PROVIDED

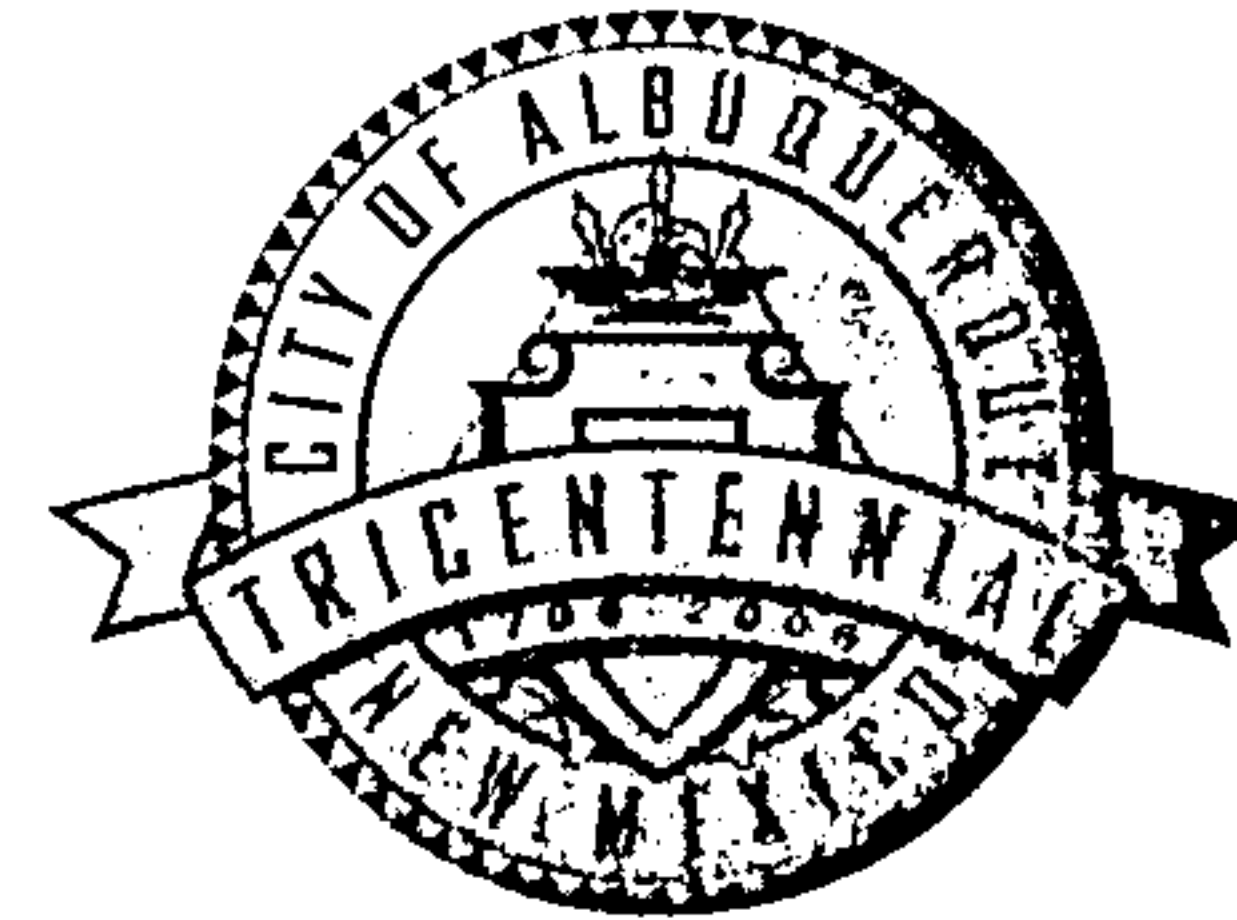
SUBMITTED BY: DENNIS LORENZ DATE: _____



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



September 8, 2006

Dennis A. Lorenz, P.E.
Brasher & Lorenz
2201 San Pedro NE
Albuquerque, NM 87110

**Re: Barelas Coffee House Parking Lot, Grading and Drainage Plan
Engineer's Stamp dated 8-30-06 (L14/D33)**

Dear Mr. Lorenz,

Based upon the information provided in your submittal dated 9-6-06, the above referenced plan is approved for Grading Permit and Paving Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

P.O. Box 1293

Upon completion of the project, please provide an Engineer Certification for our files.

Albuquerque

If you have any questions, you can contact me at 924-3695.

New Mexico 87103

Sincerely,

Curtis A. Cherne, E.I.
Engineering Associate, Planning Dept.
Development and Building Services

www.cabq.gov

C: file

CITY OF ALBUQUERQUE



July 21, 2006

Dennis A. Lorenz, P.E.
Brasher & Lorenz
2201 San Pedro NE
Albuquerque, NM 87110

**Re: Barelas Coffee House Parking Lot Grading and Drainage Plan
Engineer's Stamp dated 7-18-06 (L14/D33)**

Dear Mr. Lorenz,

Based upon the information provided in your submittal dated 7-18-06, the above referenced plan is approved for Grading Permit and Paving Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Upon completion of the project, please provide an Engineer Certification for our files.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, E.I.
Engineering Associate, Planning Dept.
Development and Building Services

But

C: file

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



January 31, 2007

Dennis Lorenz, P.E.
Brasher & Lorenz
2201 San Pedro NE, Building 1 Suite 1200
Albuquerque, NM 87110

**Re: Barelaz Coffee House, 1423 Fourth Street SW, Traffic Circulation Layout
Engineer's Stamp dated 1-22-07 (L14-D33)**

Dear Mr. Lorenz,

Based upon the information provided in your submittal received 1-23-07, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Define the width of all sidewalks.
2. Please provide a copy of the cross lot access easement and the sidewalk easement.
3. Since 4th Street is an arterial in this area, increase the drivepad width to 30 feet.
4. Where is the refuse container located? Provide a copy of solid waste approval.
5. A ramp should be located at the eastern end of the van access aisle. Where is the ADA compliant path to the site? Show the location of the building entrance.
6. What is the width of the alley? What is its condition?
7. Provide the width of the sidewalk along 4th St. Is this sidewalk existing or proposed?
8. Note 13 indicates you will be removing and replacing existing curb; you will also need to replace the sidewalk in this area. The way this area is drawn indicates the removal of a drivepad. Please clarify this.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 06/22/2005)

PROJECT TITLE: Barelas Coffee House ZONE MAP/DRG. FILE # L-14/D33
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Tracts C-1, C-2 + D Lands of B. Gonzales - Portion of TR 31-B-1,
 CITY ADDRESS: 1423 Fourth SW MRGED MAP 41

ENGINEERING FIRM: BRASHER + LORENZ
 ADDRESS: 2201 SAN PEDRO NE
 CITY, STATE: ALBU, NM
Dennis Lorenz - Stamp date
1-22-07

CONTACT: D. LORENZ
 PHONE: 888-6088
 ZIP CODE: 87110

OWNER: Mike Gonzales
 ADDRESS: 1423 Fourth SW
 CITY, STATE: Albu, NM

CONTACT: M. Gonzales
 PHONE: 843-7577
 ZIP CODE: 87102

ARCHITECT: N/A
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

SURVEYOR: Precision Surveying
 ADDRESS: 8414D Jefferson NE
 CITY, STATE: Albu, NM, 87113

CONTACT: L. Medrano
 PHONE: 856-5700
 ZIP CODE: 87113

CONTRACTOR: N/A
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☒ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

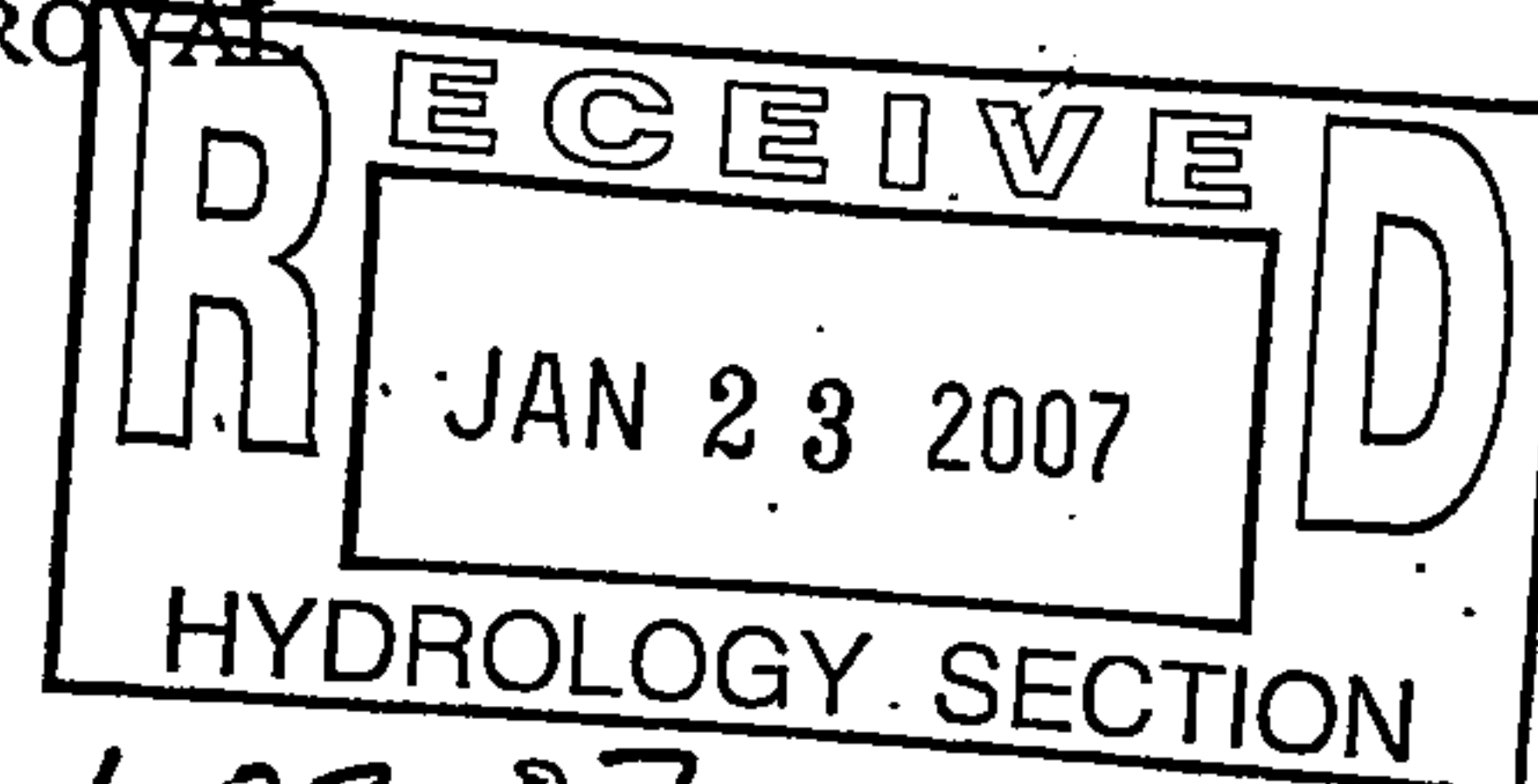
WAS A PRE-DESIGN CONFERENCE ATTENDED:

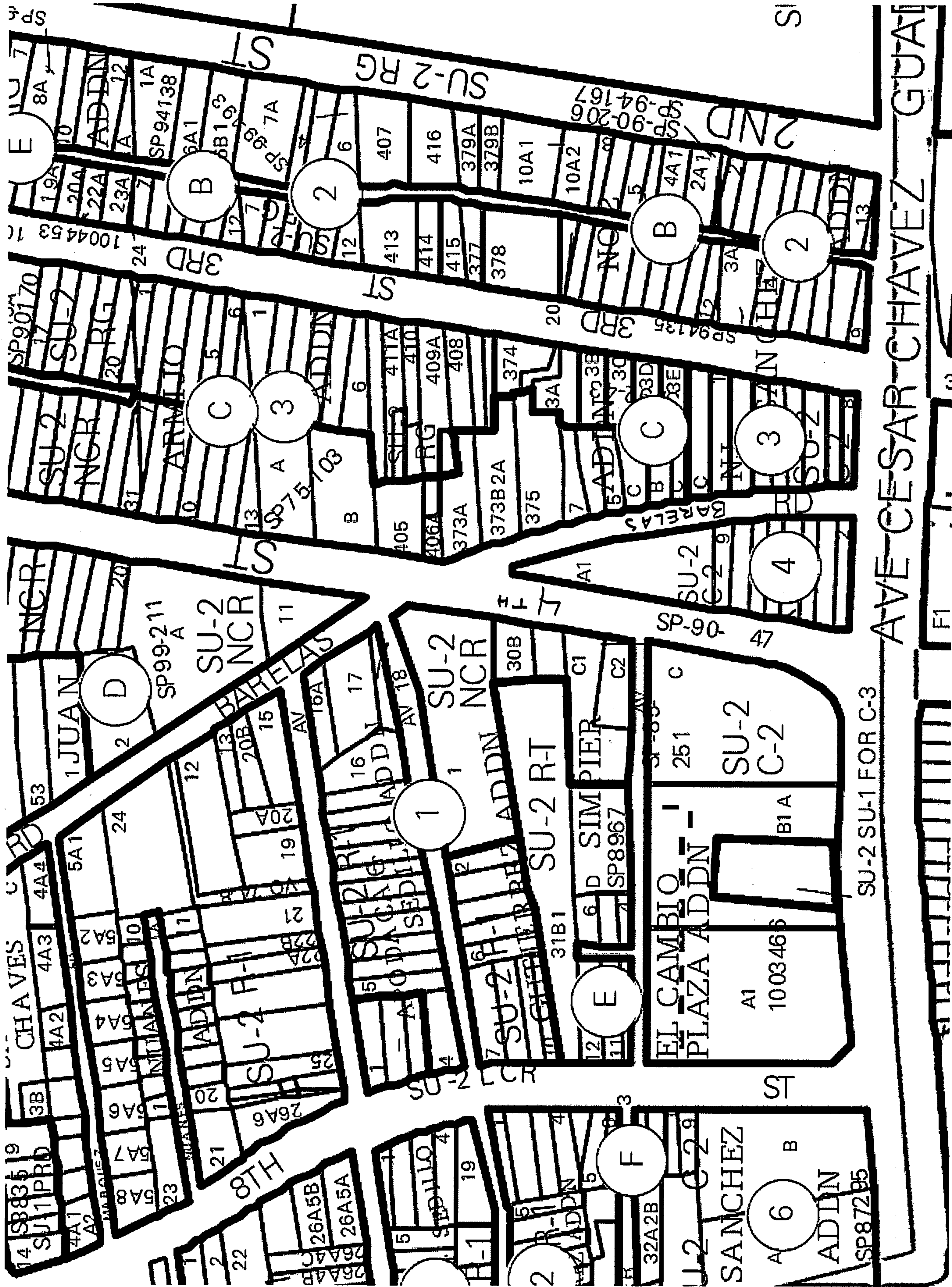
- ☐ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: DENNIS LORENZ DATE: 1-23-07

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.







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DRAINAGE INFORMATION SHEET

PROJECT TITLE: BARELAS COFFEE HOUSE ZONE ATLAS/DRNG. FILE #: L-14/D33

LEGAL DESCRIPTION: PORTION OF TRACTS "A" & "B", LANDS OF BROMO GONZALES

CITY ADDRESS: 1502 4TH STREET S.W.

ENGINEERING FIRM: W. REED EDGEL, P.E. CONTACT: MR. EDGEL
% RODRIGUEZ & ASSOCIATES MR. RODRIGUEZ

ADDRESS: 2500 GARFIELD S.E. #5 PHONE: 266-3830

OWNER: BROMO GONZALES CONTACT: MR. GONZALES

ADDRESS: 1502 4TH ST. S.W. (CITY) PHONE: 843-7577

ARCHITECT: BERRY LANGFORD CONTACT: MR. LANGFORD

ADDRESS: 324 AMHERST S.E. (CITY) PHONE: 256-7879

SURVEYOR: JOHN B. TORRES CONTACT: ~~MR. TORRES~~ MR. TORRES

ADDRESS: 1570 BRIDGE BLVD. S.W. (CITY) PHONE: 243-4854

CONTRACTOR: ? CONTACT: _____

ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☒ YES

☐ NO

☐ COPY OF CONFERENCE RECAP
SHEET PROVIDED

DRB NO. _____

EPC NO. _____

PROJ. NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☐ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☒ BUILDING PERMIT APPROVAL

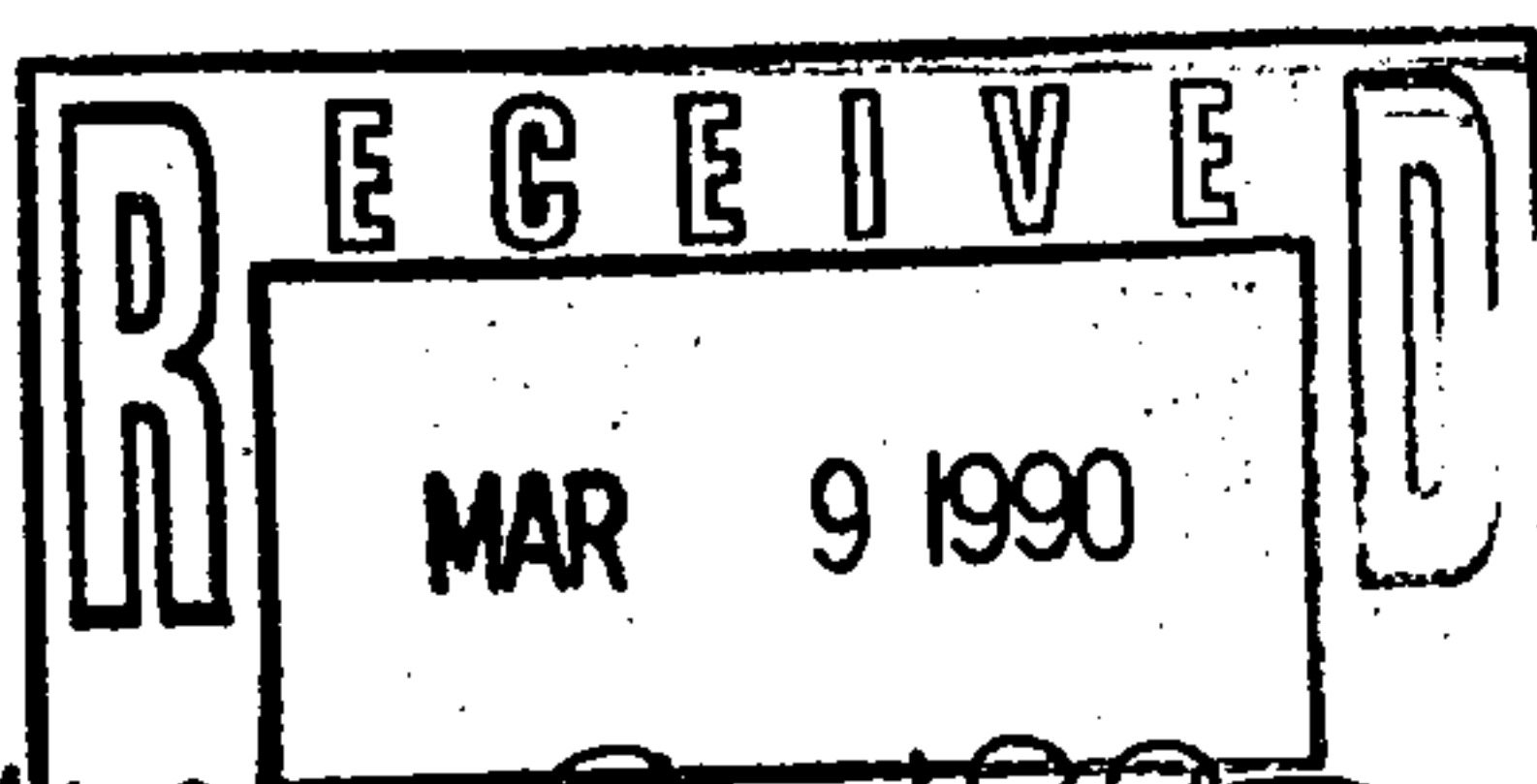
☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

☐ GRADING/PAVING PERMIT APPROVAL

☐ OTHER _____ (SPECIFY)

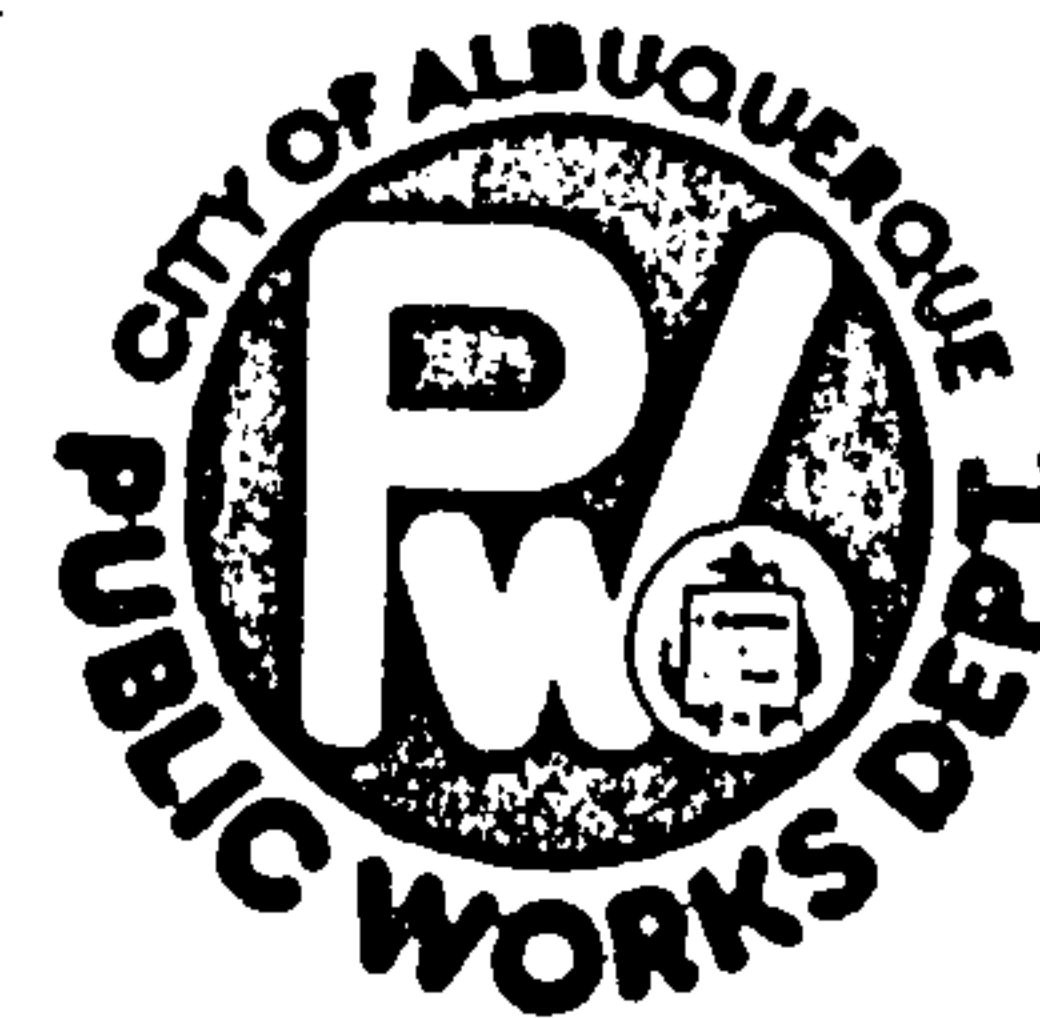


DATE SUBMITTED: MAR 9 1990

BY: RODRIGUEZ & ASSOC.

FILE COPY

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

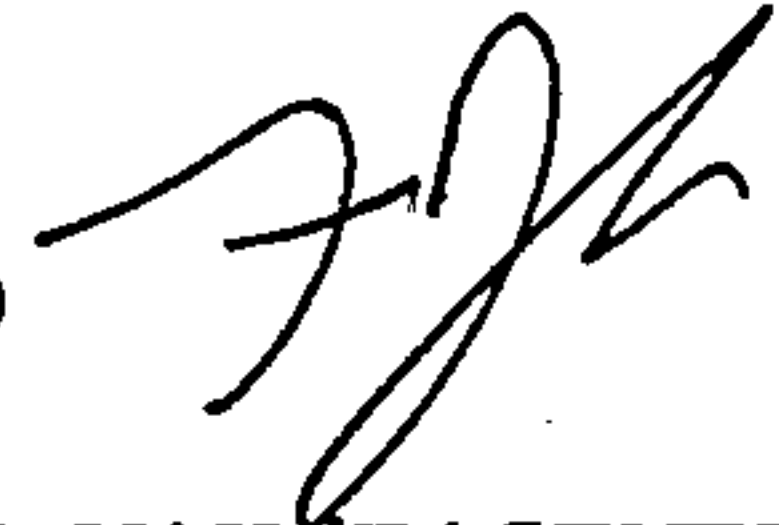


INTER-OFFICE CORRESPONDENCE

March 14, 1990

ENGINEERING GROUP

TO: Desiderio Salas; Street Maintenance Division

FROM: Fred J. Aguirre, Hydrologist; Engineering Group/PWD 

SUBJECT: PRIVATE DRAINAGE FACILITIES WITHIN PUBLIC RIGHTS-OF-WAY/EASEMENT
BARELAS COFFEE HOUSE - 1502 FOURTH STREET, SW (L-14/D33)

Transmitted herewith, is a copy of the approved drainage plan for the referenced project incorporating the S.O. #19 design.

In accordance with the new process, this plan is being submitted to you for permitting and inspection. Please provide this section with a signed-off copy per the signature block upon construction and acceptance by your office.

As you are aware, the signed-off S.O. #19 is required by this office for Certificate of Occupancy release; hence your expeditious processing of this plan would be greatly appreciated and would avoid any unnecessary delay in the release of the Certificate of Occupancy.

Thank you for your cooperation, and if you should have any questions and/or comments regarding the process, please feel free to call me at 768-2650.

FJA/bsj

Attachment

FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 14, 1990

W. Reed Edgel
Rodriguez & Associates
2500 Garfield Street, SE Suite #5
Albuquerque, New Mexico 87106

RE: DRAINAGE PLAN FOR BARELAS COFFEE HOUSE
(L-14/D33) ENGINEER'S STAMP DATED MARCH 9, 1990

Dear Mr. Edgel:

Based on the information provided on your submittal of March 9, 1990, the above referenced plan is approved for Building Permit.

Please be advised that a separate permit is required for construction within City right-of-way. A copy of this approval letter must be on hand when the contractor applies for the excavation permit.

Please attach a copy of this plan to the construction sets prior to sign-off by Hydrology.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

for Bernie J. Montoya
Fred J. Aguirre, P.E.
Hydrologist

BJM:FJA/bsj
(WP+1721)