

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

August 8, 2008

Thomas E. Robson, Registered Architect,
Robson & Associates Architects - Planners
2301 Juan Tabo NE, South Suite
Albuquerque, NM 87112

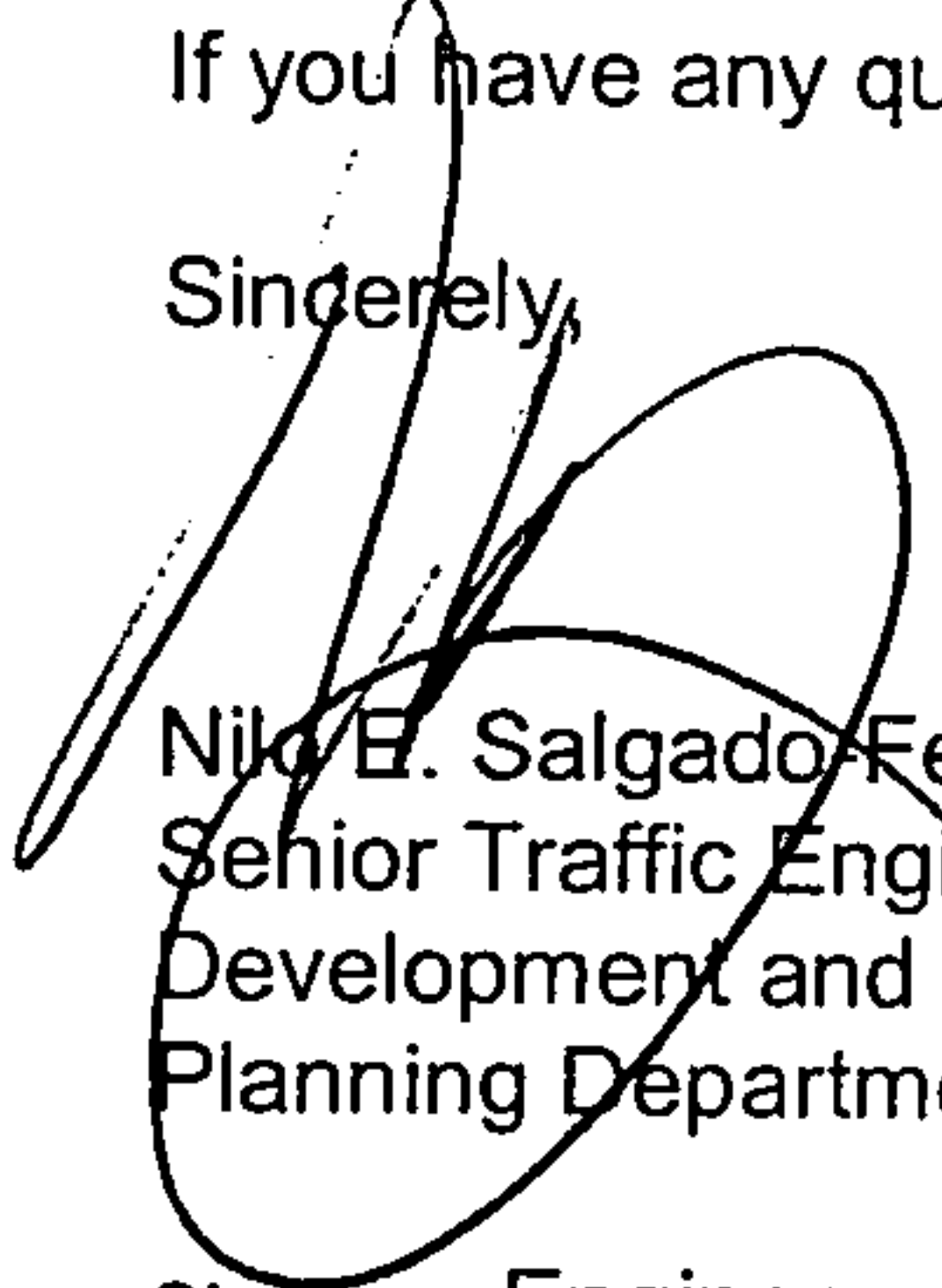
Re: Approval of Final Certificate of Occupancy (C.O.) for
Glass-Rite Warehouse, [L-14 / D037]
808 Gibson Blvd SE
Architect's Stamp Dated 07/25/08

Dear Mr. Robson:

The TCL/letter of certification submitted August 8, 2008 is sufficient for acceptance by this office for Final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

If you have any questions, please call me at 924-3630.

Sincerely,


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: GLASS RITE ADDITION, WAREHOUSE ZONE MAP: L-14/0037
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____
CITY ADDRESS: _____

ENGINEERING FIRM: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

OWNER: Bill Hoberg CONTACT: Bill
ADDRESS: 808 GIBSON SE PHONE: 515 3501
CITY, STATE: ALBQ NM ZIP CODE: 87102

ARCHITECT: Robson + Assoc. CONTACT: Tom
ADDRESS: 2301 JUAN TABO NE S. STE PHONE: 332 1176
CITY, STATE: ALBQ NM ZIP CODE: 87112

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: Bill Hoberg CONTACT: _____
ADDRESS: SAME AS ABOVE PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☒ OTHER (SPECIFY)
Resubmit letter
for TCL package

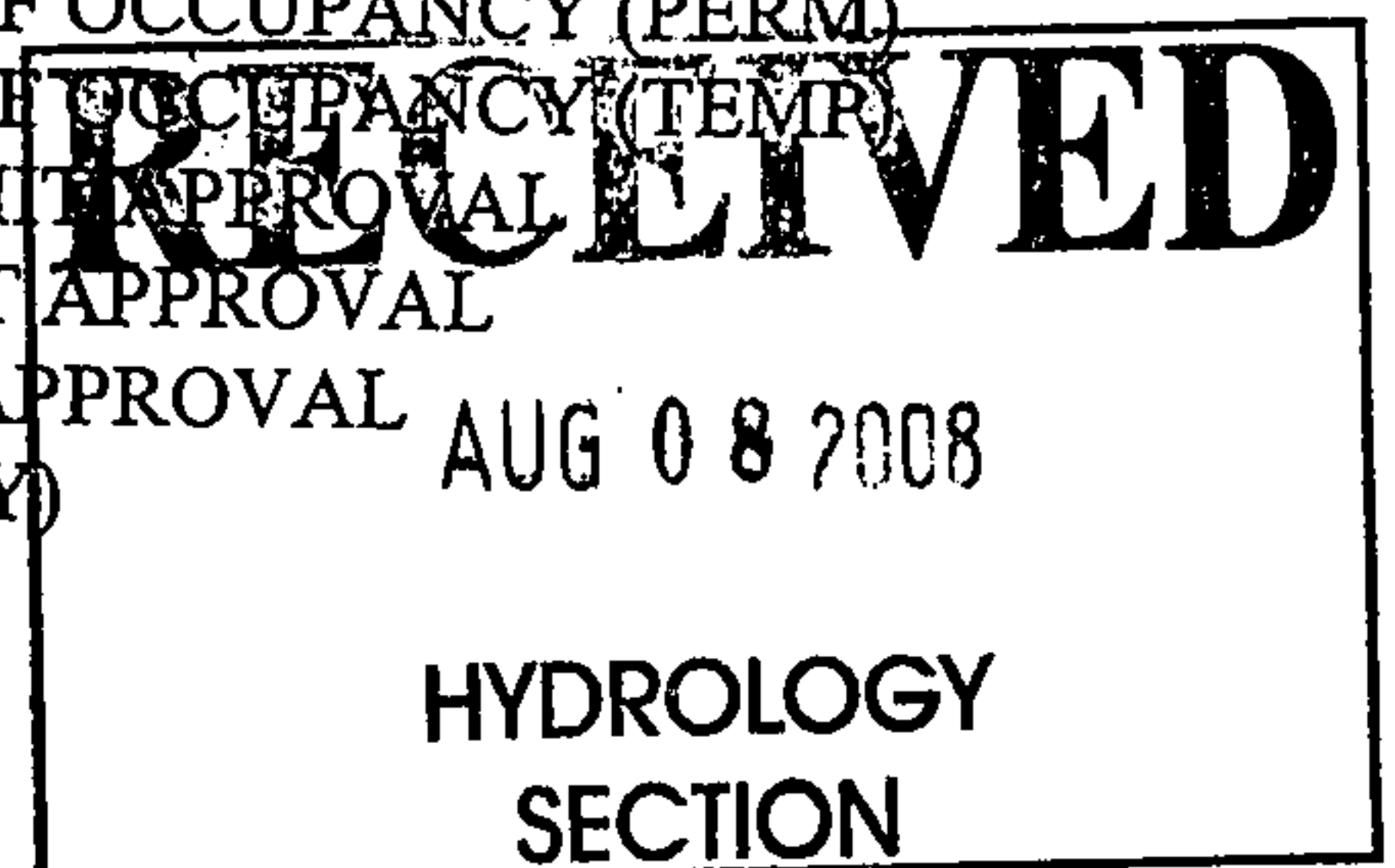
CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:
☐ YES
☐ NO
☐ COPY PROVIDED

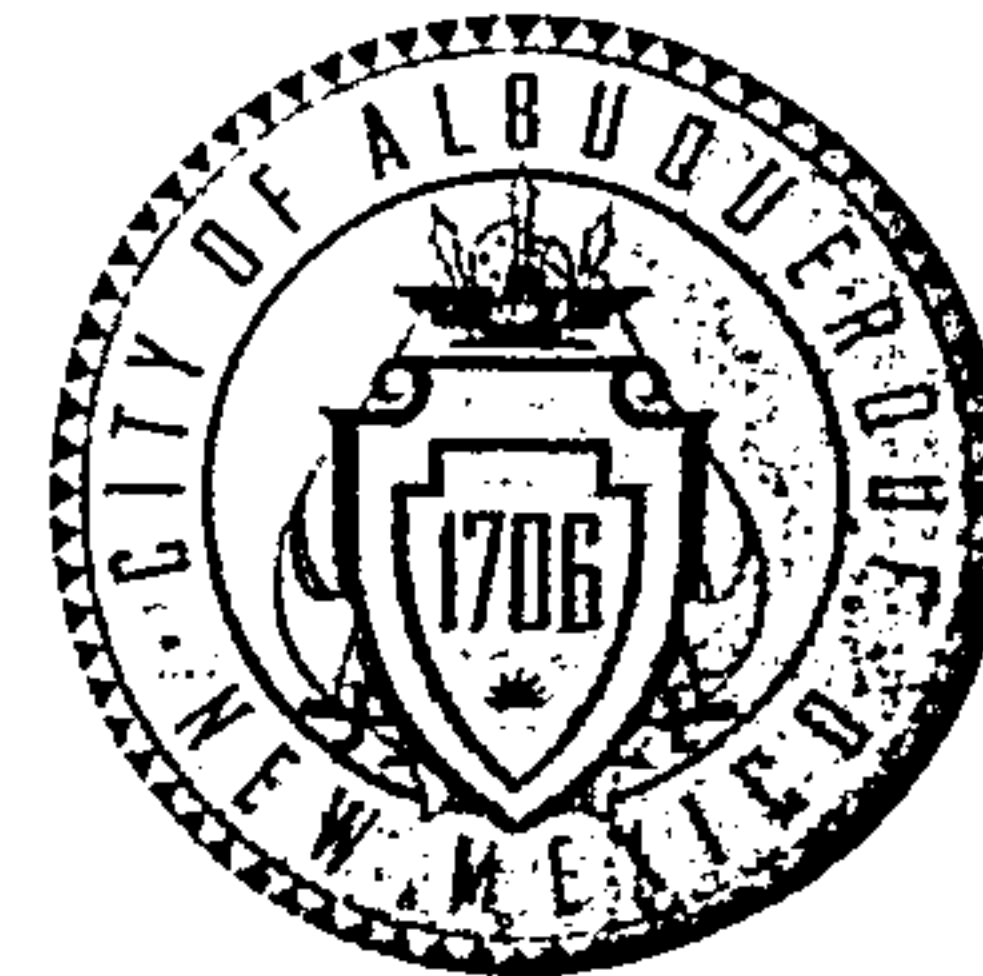
DATE SUBMITTED: 8/8/08 BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF ALBUQUERQUE



*Planning Department
Transportation Development Services Section*

August 5, 2008

Thomas E. Robson, Registered Architect,
Robson & Associates Architects - Planners
2301 Juan Tabo NE, South Suite
Albuquerque, NM 87112

Re: Approval of Temporary Certificate of Occupancy (C.O.) for
Glass-Rite Warehouse, [L-14 / D037]
808 Gibson Blvd SE
Architect's Stamp Dated 07/25/08

Dear Mr. Robson:

Based on the information provided on your submittal dated August 5, 2008, the above referenced project is approved for a 90-day Temporary C.O.

A Temporary C.O. has been issued allowing the outstanding Language on letter of certification (see attached sample letter for appropriate language) issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an exact copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: GLASS-RITE BLDG. ADDITION

ZONE MAP/DRG. FILE #: L-14 / D037

DRB #: _____ EPC #: _____

WORK ORDER #: _____

LEGAL DESCRIPTION: LOT 6-A-1, BLOCK B, TORREON ADDITION

CITY ADDRESS: _____

ENGINEERING FIRM: MCDOWELL ENGINEERING, INC.

ADDRESS: 7820 BEVERLY HILLS AVE. NE

CITY, STATE: ALBUQUERQUE, NM

CONTACT: JACKIE S. MCDOWELL

PHONE: (505) 828-2430

ZIP CODE: 87122

OWNER: BILL HOBERG

ADDRESS: 808 GIBSON BLVD. SE

CITY, STATE: ALBUQUERQUE, NM

CONTACT: BILL HOBERG

PHONE: (505) 764-9899

ZIP CODE: 87102

ARCHITECT: ROBSON + ASSOC.

ADDRESS: 2301 JUAN TABO NE S. STE

CITY, STATE: ALBU NM 87112

CONTACT: Tom Robson

PHONE: 332 1176

ZIP CODE: 87112

SURVEYOR: Geosurvco, Inc.

ADDRESS: P.O. Box 65717

CITY, STATE: ALBUQUERQUE, NM

CONTACT: JOHN GALLEGOS

PHONE: (505) 975-4567

ZIP CODE: 87193

CONTRACTOR: Bill Hoberg

ADDRESS: 808 GIBSON SE

CITY, STATE: ALBU NM

CONTACT: Bill Hoberg

PHONE: 515-3501 610-2131

ZIP CODE: 87102

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR / LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEER'S CERTIFICATION (TCL)
- ☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

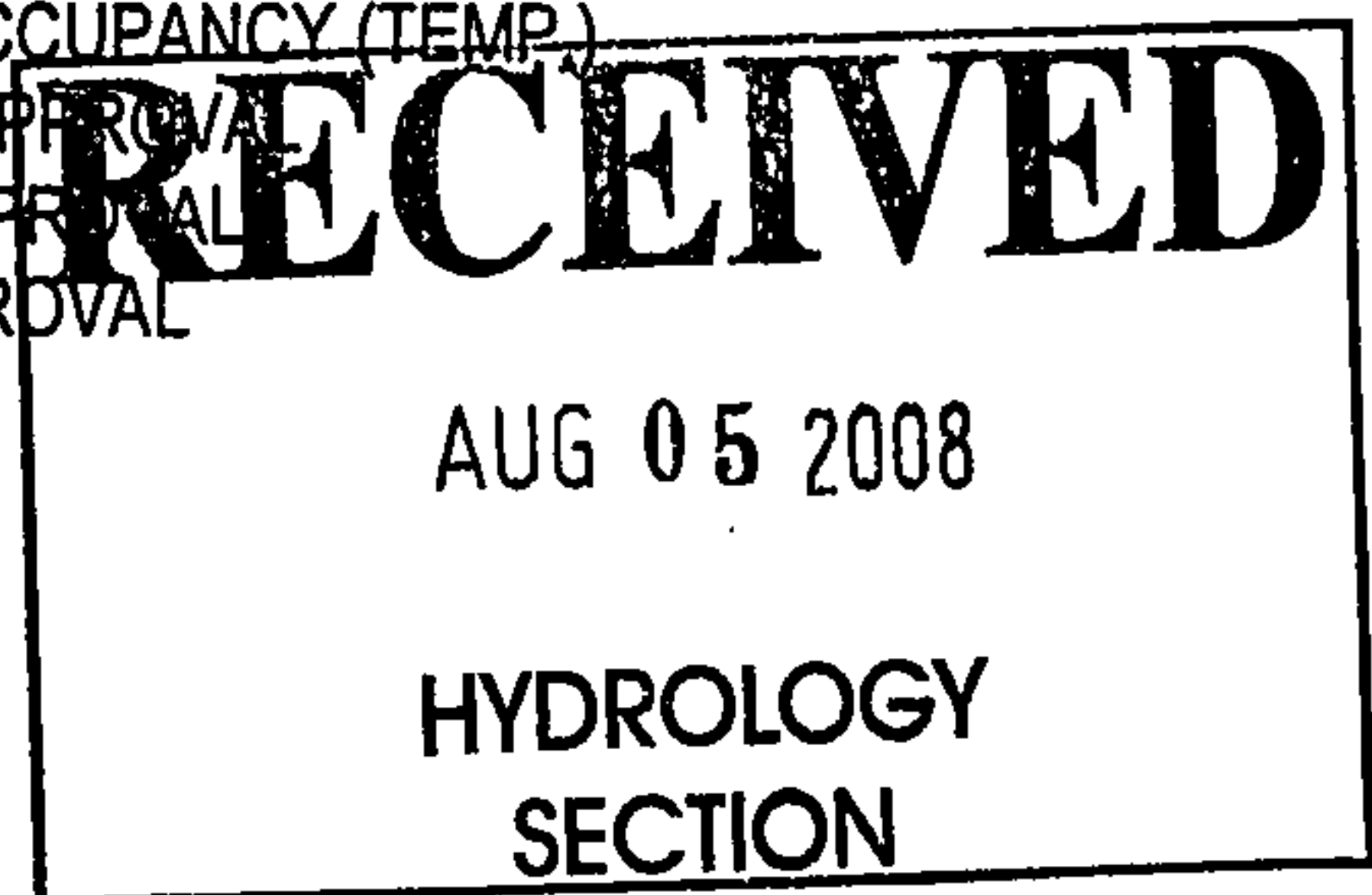
- ☐ YES
- ☒ NO
- ☐ DON'T REMEMBER

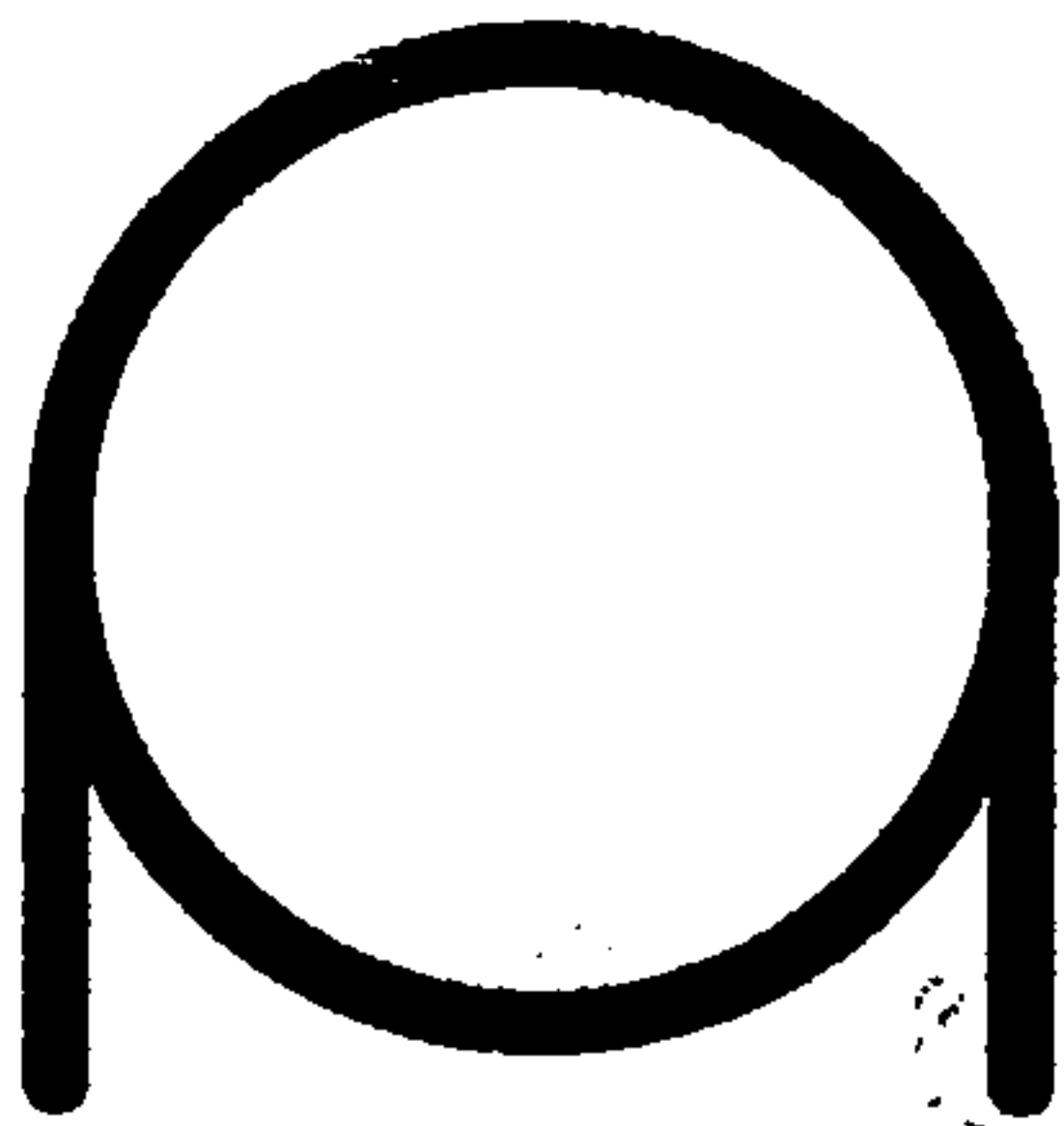
DATE SUBMITTED: 8/5/08

BY: Bill Hoberg

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope of the proposed development defines the degrees of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five acres.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits, and site plans less than five acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five acres or more.

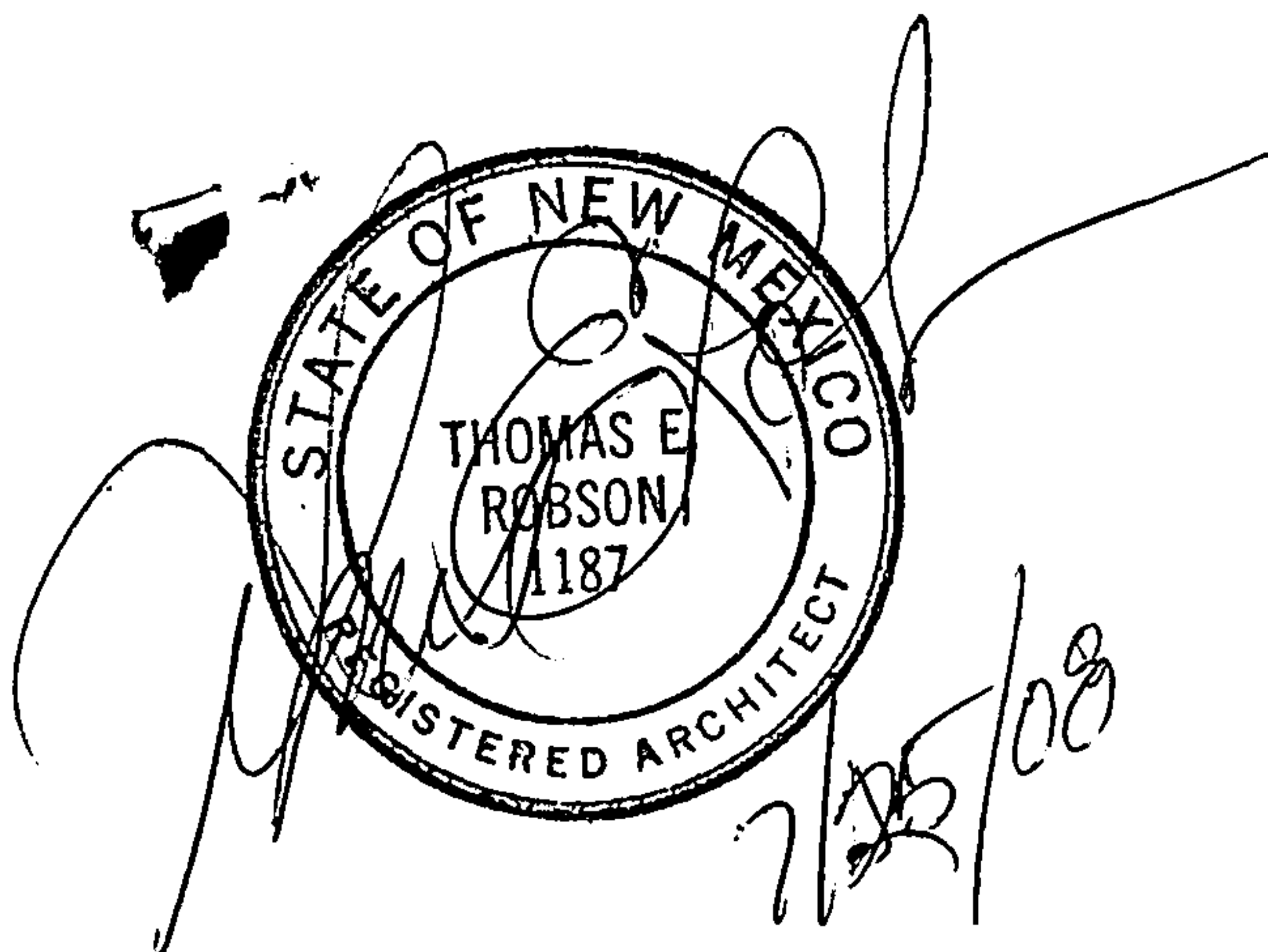


**ROBSON & ASSOCIATES**

ARCHITECTS - PLANNERS

2301 JUAN TABO N.E. SOUTH SUITE ♦ ALBUQUERQUE, N.M. 87112

Phone 505-332-1176

**ARCHITECT CERTIFICATE
GLASS-RITE WAREHOUSE**

I have inspected the Glass-rite Warehouse Addition located at 808 Gibson Blvd. S.E. in Albuquerque, New Mexico and hereby certify that the development has been built in accordance with the drawings and specifications prepared by Robson & Associates Architects.

Base on this inspection, to the best of my knowledge and belief, the development has been constructed in conformance with all local, state and federal laws designated as the development standard for the project. This includes, but is not limited to, all local health, safety and building codes.

Signed: 

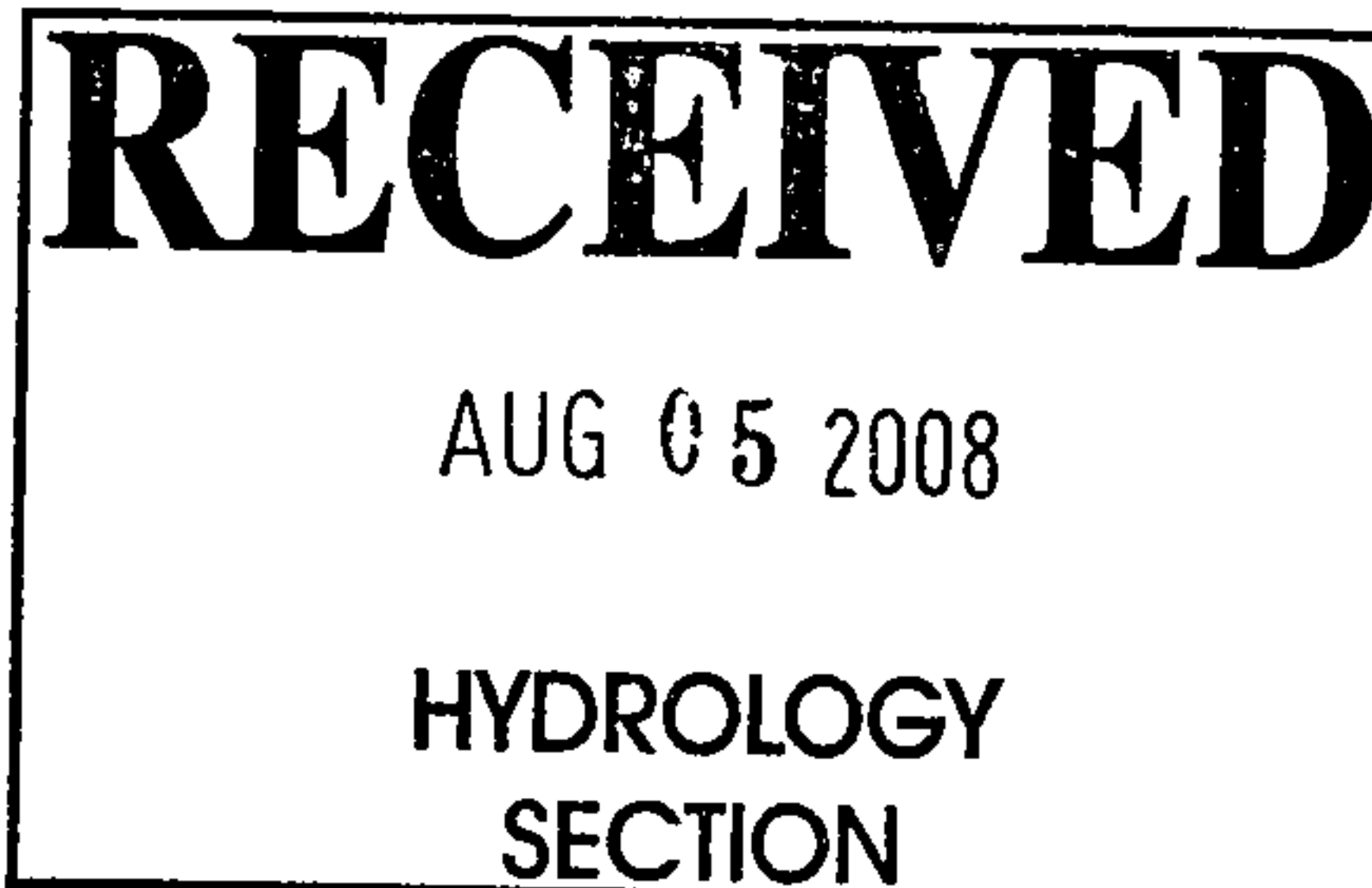
Thomas E. Robson, Architect

Date: 7/25/08

Based on the foregoing representations by the Architect, the owner certifies that the development has been constructed in accordance with the requirements set forth above.

Signed: 

Owner

Date: 7/25/08

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

April 30, 2008

Thomas E. Robson, Registered Architect
Robson & Associates
2301 Juan Tabo NE South Suite
Albuquerque, NM 87112

Re: Approval of Temporary Certificate of Occupancy (C.O.) for
Glass-Rite Warehouse Building Addition, [L-14 / D037]
808 Gibson Blvd SE
Architect's Stamp Dated 04/28/08

Dear Mr. Robson:

Based on the information provided on your submittal dated April 29, 2008, the above referenced project is approved for a 90-day Temporary C.O.

A Temporary C.O. has been issued allowing the outstanding letter of Certification (see attachment for sample letter) issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an exact copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets — the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: GLASS-RITE BLDG. ADDITION

ZONE MAP/DRG. FILE #: L-14

DRB #:

EPC #:

WORK ORDER #:

LEGAL DESCRIPTION: LOT 6-A-1, BLOCK B, TORREON ADDITION

CITY ADDRESS:

ENGINEERING FIRM: MCDOWELL ENGINEERING, INC.

ADDRESS: 7820 BEVERLY HILLS AVE. NE

CITY, STATE: ALBUQUERQUE, NM

CONTACT: JACKIE S. MCDOWELL

PHONE: (505) 828-2430

ZIP CODE: 87122

OWNER: BILL HOBERG

ADDRESS: 808 GIBSON BLVD. SE

CITY, STATE: ALBUQUERQUE, NM

CONTACT: BILL HOBERG

PHONE: (505) 764-9899

ZIP CODE: 87102

ARCHITECT: ROBSON + ASSOC

ADDRESS: 2301 JUAN TABO NE S. STE

CITY, STATE: ALBQ NM 87112

CONTACT: TOM ROBSON

PHONE: 505 332 1176

ZIP CODE:

SURVEYOR: Geosurvco, Inc.

ADDRESS: P.O. Box 65717

CITY, STATE: ALBUQUERQUE, NM

CONTACT: JOHN GALLEGOS

PHONE: (505) 975-4567

ZIP CODE: 87193

CONTRACTOR: BILL HOBERG

ADDRESS: 808 GIBSON SE

CITY, STATE: ALBQ NM

CONTACT: BILL HOBERG

PHONE: 505 3501 610 7131 C

ZIP CODE: 87102

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR / LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERTIFICATION (TCL)
- ☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ DON'T REMEMBER

DATE SUBMITTED: 4/29/08

BY: BILL HOBERG

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope of the proposed development defines the degrees of drainage detail. One or more of the following levels of submittal may be required based on the following:

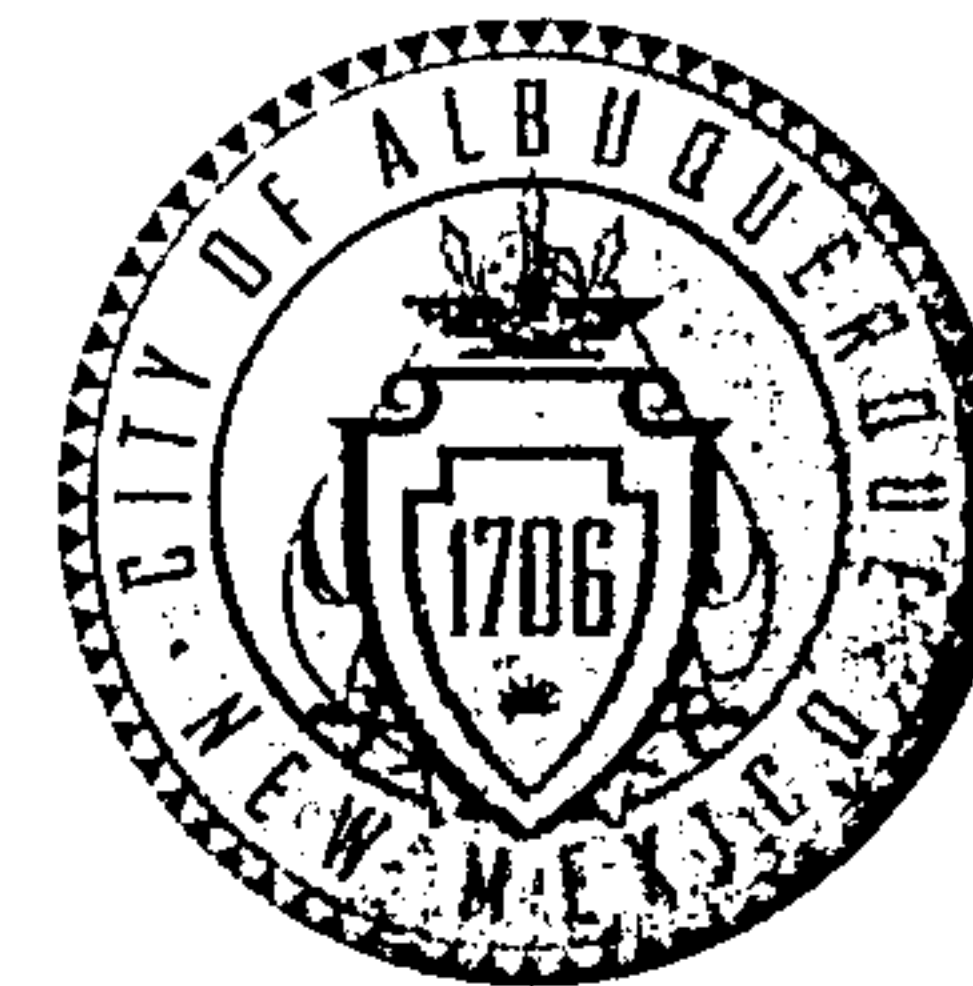
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RECEIVED

APR 29 2008

HYDROLOGY
SECTION

CITY OF ALBUQUERQUE



May 22, 2008

Jackie S. McDowell, P.E.
McDowell Engineering, Inc.
7820 Beverly Hills Ave. NE
Albuquerque, NM 87122

**Re: Glass-Rite Building Addition,
808 Gibson Blvd. SE,
Reject of Request for Permanent Certificate of Occupancy (C.O.)
Engineer's Stamp dated 09/11/2007 (L-14/D037)
Certification dated 05/19/2008**

PO Box 1293

Ms. McDowell,

Albuquerque

Based upon the information provided on 5/21/2008, the above referenced certification can not be approved for Permanent Certificate of Occupancy by Hydrology.

NM 87103

After a recent site visit the "2'-wide curb opening to drain swale" was not constructed. Now the addition drains across the handicapped ramp; this is unacceptable. Please correct this issue and resubmit for a permanent Certificate of Occupancy.

If you have any questions, you can contact me at 924-3982.

www.cabq.gov

Sincerely,

Timothy Sims
Plan Checker, Hydrology
Development and Building Services

C:  Bradley L. Bingham
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: GLASS-RITE BLDG. ADDITION

ZONE MAP/DRG. FILE #: L-14 / D037

DRB #: _____

EPC #: _____

WORK ORDER #: _____

LEGAL DESCRIPTION: LOT 6-A-1, BLOCK B, TORREON ADDITION

CITY ADDRESS: 808 GIBSON SE,

ENGINEERING FIRM: MCDOWELL ENGINEERING, INC.

ADDRESS: 7820 BEVERLY HILLS AVE. NE

CITY, STATE: ALBUQUERQUE, NM

CONTACT: JACKIE S. MCDOWELL

PHONE: (505) 828-2430

ZIP CODE: 87122

OWNER: BILL HOBERG

ADDRESS: 808 GIBSON BLVD. SE

CITY, STATE: ALBUQUERQUE, NM

CONTACT: BILL HOBERG

PHONE: (505) 764-9899

ZIP CODE: 87102

ARCHITECT: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

SURVEYOR: Geosurvco, Inc.

ADDRESS: P.O. Box 65717

CITY, STATE: ALBUQUERQUE, NM

CONTACT: JOHN GALLEGOS

PHONE: (505) 975-4567

ZIP CODE: 87193

CONTRACTOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR / LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERTIFICATION (TCL)
- ☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
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- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ DON'T REMEMBER

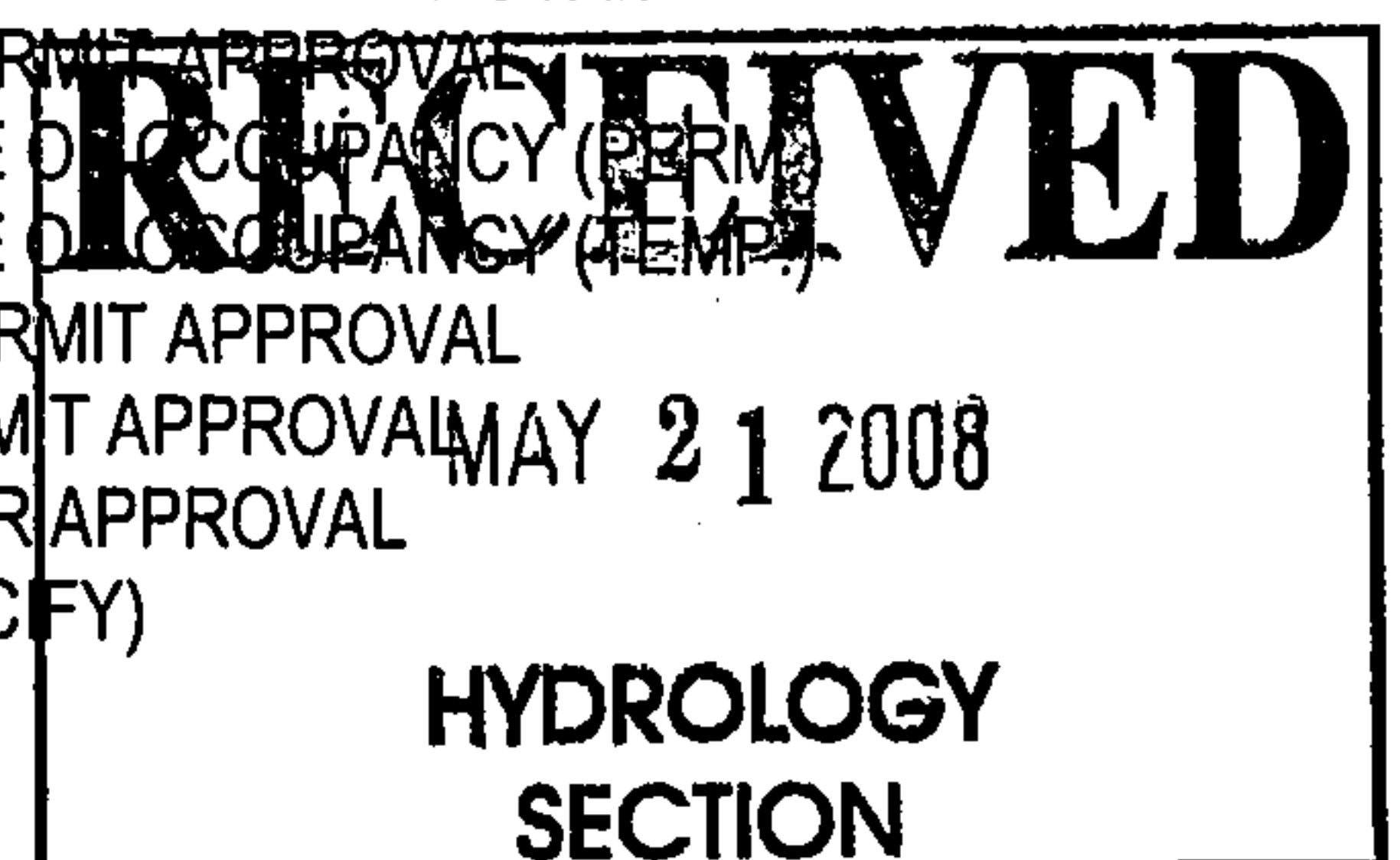
DATE SUBMITTED: 19-May-2008

BY: _____

Jackie S. McDowell

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope of the proposed development defines the degrees of drainage detail. One or more of the following levels of submittal may be required based on the following:

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2. **Drainage Plans:** Required for building permits, grading permits, paving permits, and site plans less than five acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five acres or more.





RECEIVED

MAY 21 2008

HYDROLOGY



RECEIVED

MAY 21 2008

HYDROLOGY
SECTION





RECEIVED

MAY 21 2008

HYDROLOGY
SECTION



RECEIVED
MAY 21 2008
HYDROLOGY
SECTION



McDowell Engineering, Inc.

7820 Beverly Hills Ave. NE

Albuquerque, NM 87122

Tele: 505-828-2430

Fax: 505-821-4857

LETTER OF TRANSMITTAL

TO: C.O.A.
Hydrology
1000 Second St.
Playa del Sol, main level
West

DATE: 5-19-08

PROJ. #: _____

RE: HUBERG - GLASS-RITE BLDG ADD'N

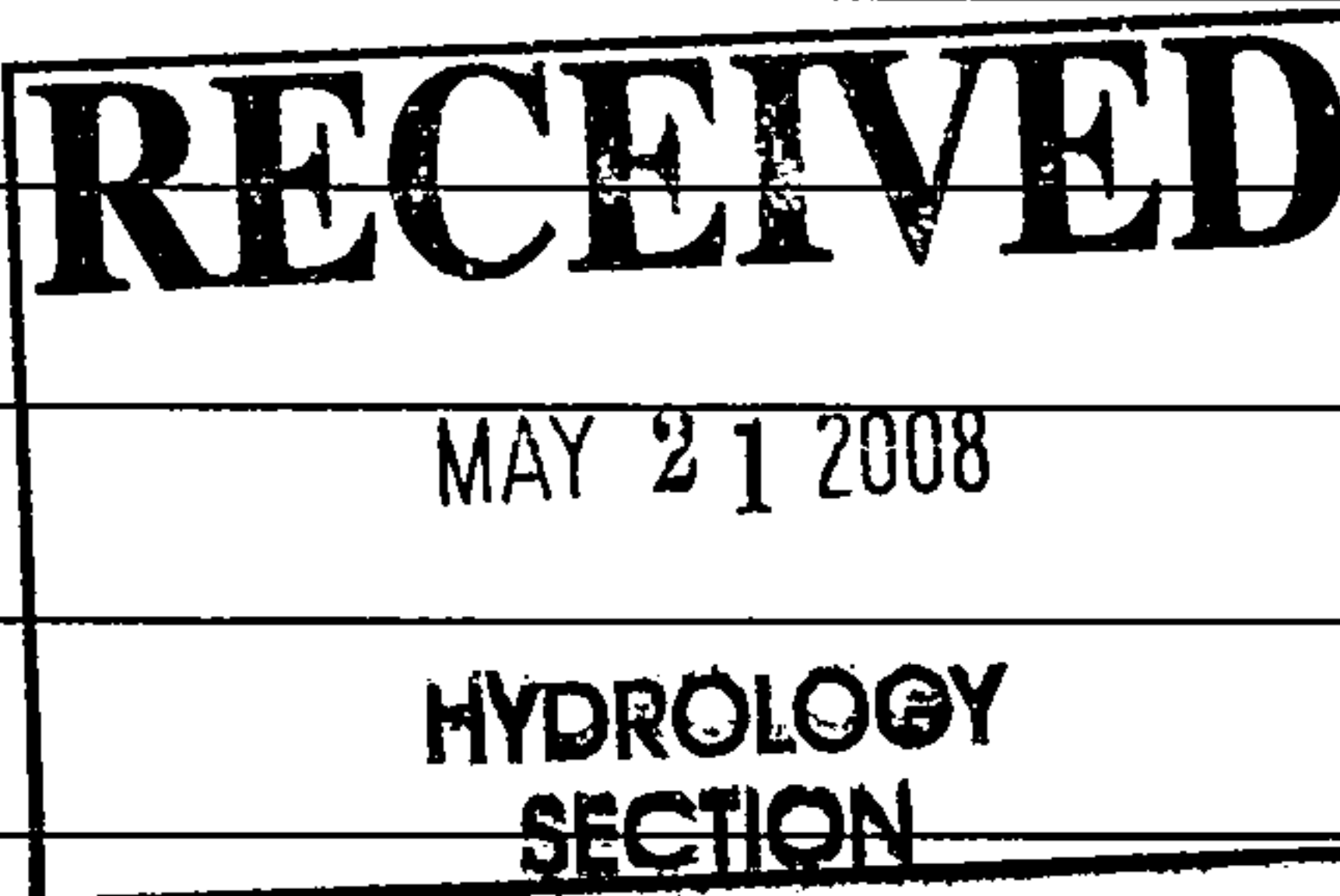
WE ARE SENDING YOU: ☒ Attached ☐ Under Separate Cover via delivery the following items:

COPIES	DATE	DESCRIPTION
1	5-19-08	As-Built / Engr. Cert. w/ Pictures
1		COA Drainage Imp. Sheet

THESE ARE TRANSMITTED as check below:

☒ For Approval ☐ For Your Use ☐ As Requested ☐ For Review & Comment
☐ Other _____

REMARKS: _____



COPY TO: file / Bill Huberg

SIGNED: Jackie S. McDowell

Jackie S. McDowell, P.E.

If enclosures are not as noted, kindly notify us at once.

CITY OF ALBUQUERQUE



September 12, 2007

Jackie S. McDowell, P.E.
McDowell Engineering, Inc.
7820 Beverly Hills Ave NE
Albuquerque, NM 87122

**Re: Glass-Rite Bldg Addition, Lot 6A1 Block B Torreon Addition, Grading and
Drainage Plan**

Engineer's Stamp dated 9-11-07 (L14/D037)

Dear Ms. McDowell,

Based upon the information provided in your submittal dated 9-12-07, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

P.O. Box 1293

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque

If you have any questions, you can contact me at 924-3695.

New Mexico 87103

Sincerely,

Curtis A. Cherne, P.E.
Engineering Associate, Planning Dept.
Development and Building Services

www.cabq.gov

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: GLASS-RITE BLDG. ADDITION

ZONE MAP/DRG. FILE #: L-14

DRB #:

EPC #:

WORK ORDER #:

LEGAL DESCRIPTION: LOT 6-A-1, BLOCK B, TORREON ADDITION

CITY ADDRESS:

ENGINEERING FIRM: MCDOWELL ENGINEERING, INC.

ADDRESS: 7820 BEVERLY HILLS AVE. NE

CITY, STATE: ALBUQUERQUE, NM

CONTACT: JACKIE S. MCDOWELL

PHONE: (505) 828-2430

ZIP CODE: 87122

OWNER:

BILL HOBERG

ADDRESS: 808 GIBSON BLVD. SE

CITY, STATE: ALBUQUERQUE, NM

CONTACT: BILL HOBERG

PHONE: (505) 764-9899

ZIP CODE: 87102

ARCHITECT:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

SURVEYOR:

Geosurvco, Inc.

ADDRESS: P.O. Box 65717

CITY, STATE: ALBUQUERQUE, NM

CONTACT: JOHN GALLEGOS

PHONE: (505) 975-4567

ZIP CODE: 87193

CONTRACTOR:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

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- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR / LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERTIFICATION (TCL)
- ☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

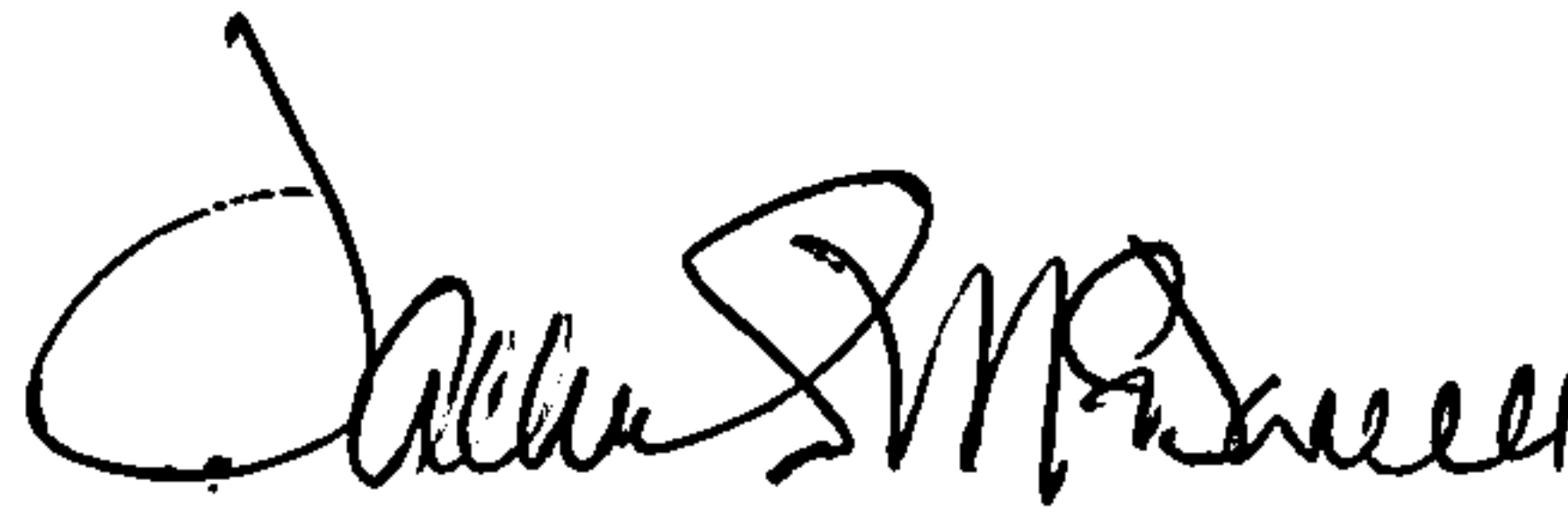
- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ DON'T REMEMBER

DATE SUBMITTED: 12-Sep-2007

BY:



Jackie S. McDowell

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope of the proposed development defines the degrees of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five acres.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits, and site plans less than five acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five acres or more.

McDowell Engineering, Inc.

7820 Beverly Hills Ave. NE

Albuquerque, NM 87122

Tele: 505-828-2430

Fax: 505-821-4857

LETTER OF TRANSMITTAL

TO: Curtis Chume
COA Hydrology
Playa del Sal

DATE: 9-12-07

PROJ. #: _____

RE: HUBERS - GLASSITE ADDN (L14/D037)

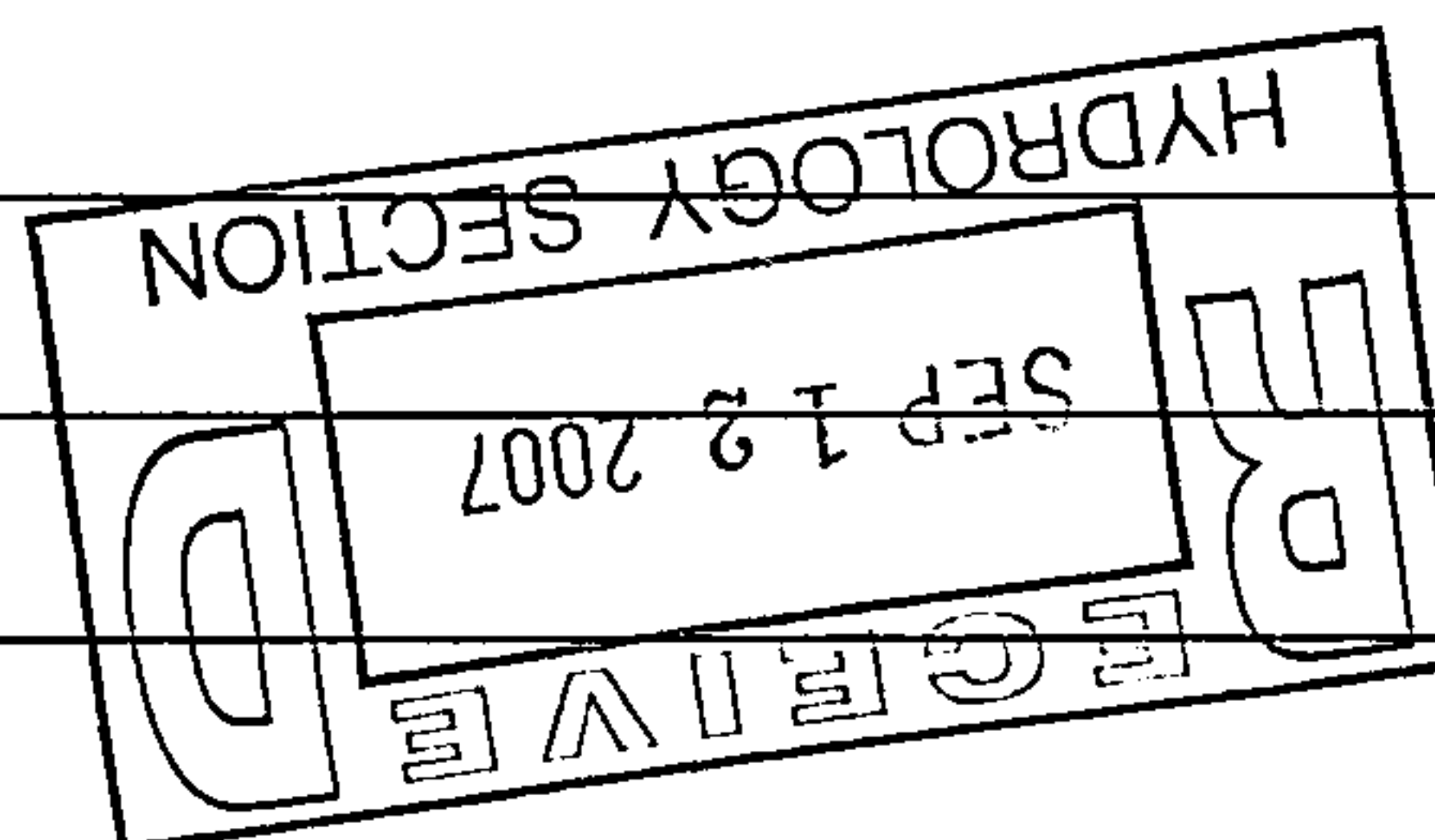
WE ARE SENDING YOU: ☒ Attached ☐ Under Separate Cover via delivery the following items:

COPIES	DATE	DESCRIPTION
<u>2</u>	<u>9/11/07</u>	<u>Revised Grading & Drainage Plan</u> ^{w/attach} <u>No. 2 - Calcs</u> <u>to include Bldg Addition ONLY</u> <u>NOT the Parking Lot FUTURE ADDN!</u>
<u>1</u>		<u>Information Sheet</u>

THESE ARE TRANSMITTED as check below:

☒ For Approval ☐ For Your Use ☐ As Requested ☐ For Review & Comment
☐ Other _____

REMARKS: _____



COPY TO: for Bill Hubers

SIGNED: Jackie S. McDowell
Jackie S. McDowell, P.E.

If enclosures are not as noted, kindly notify us at once.

ATTACHMENT NO. 2

SUPPLEMENTAL CALCULATIONS

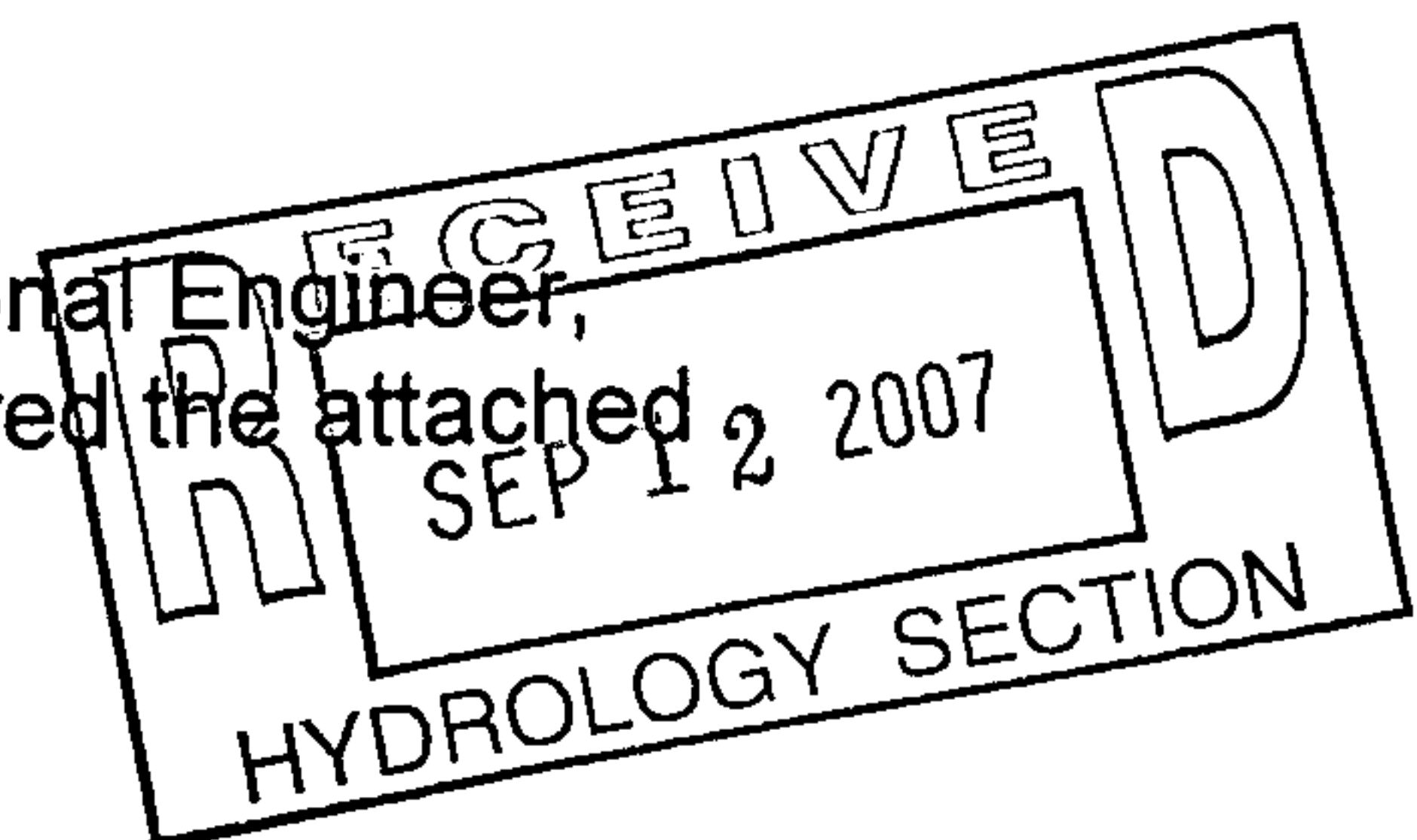
FOR

HOBERG – GLASS RITE BLDG. ADDITION

LOTS 6-A-1
BLOCK B
TORREON ADDITION

GRADING & DRAINAGE PLAN

I, Jackie S. McDowell, Registered Professional Engineer,
No. 10903, hereby certify that I have prepared the attached
calculations.




Jackie S. McDowell, P.E. 10903



9-12-07

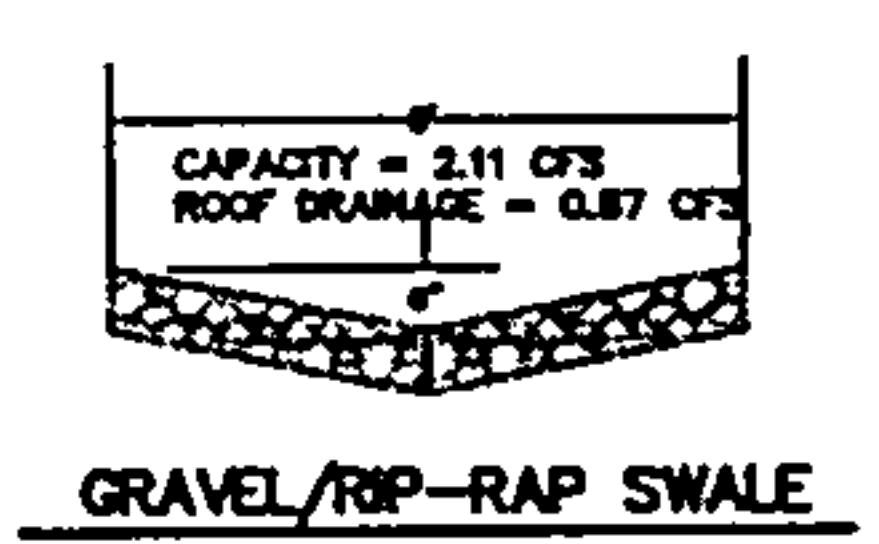
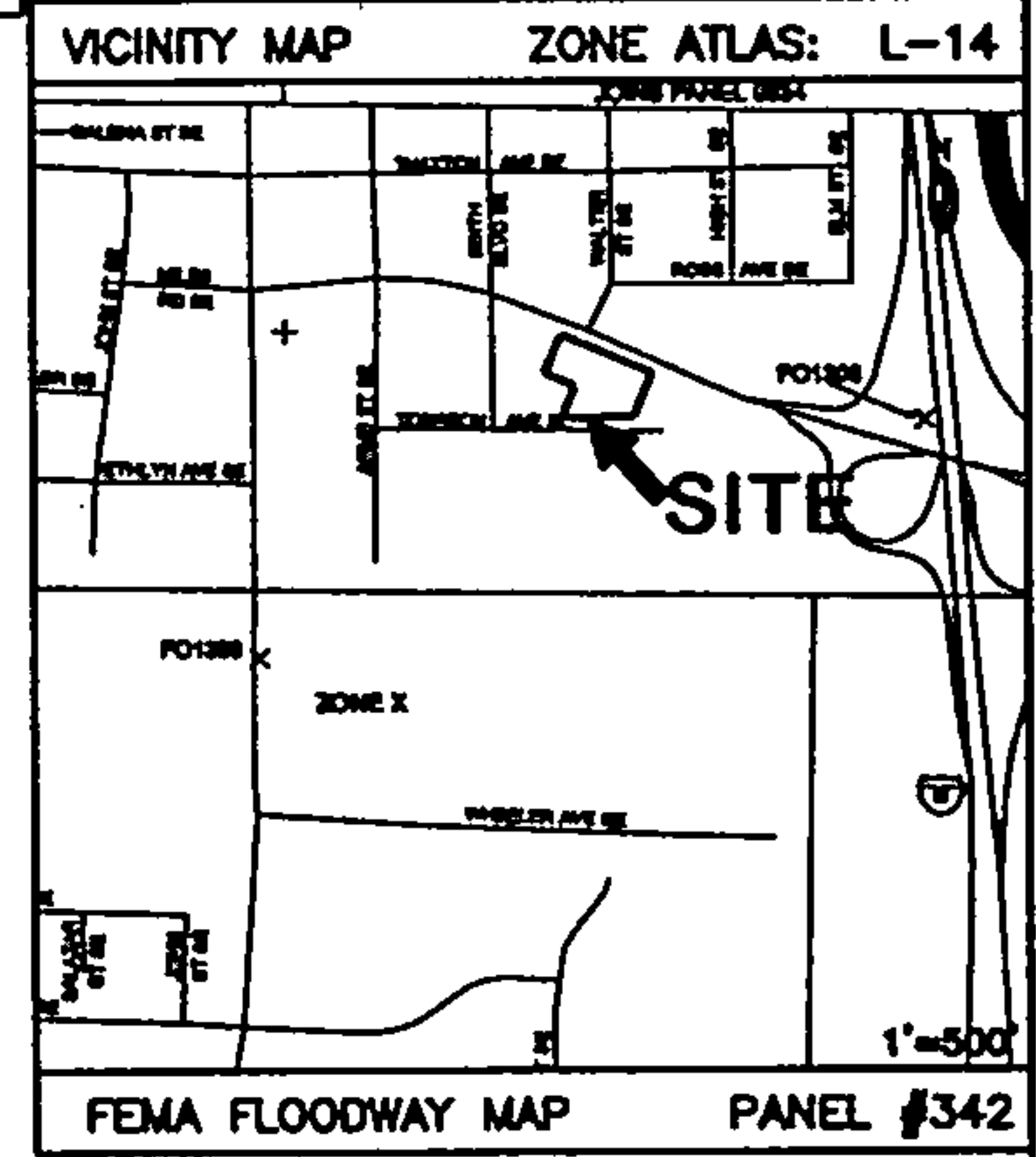
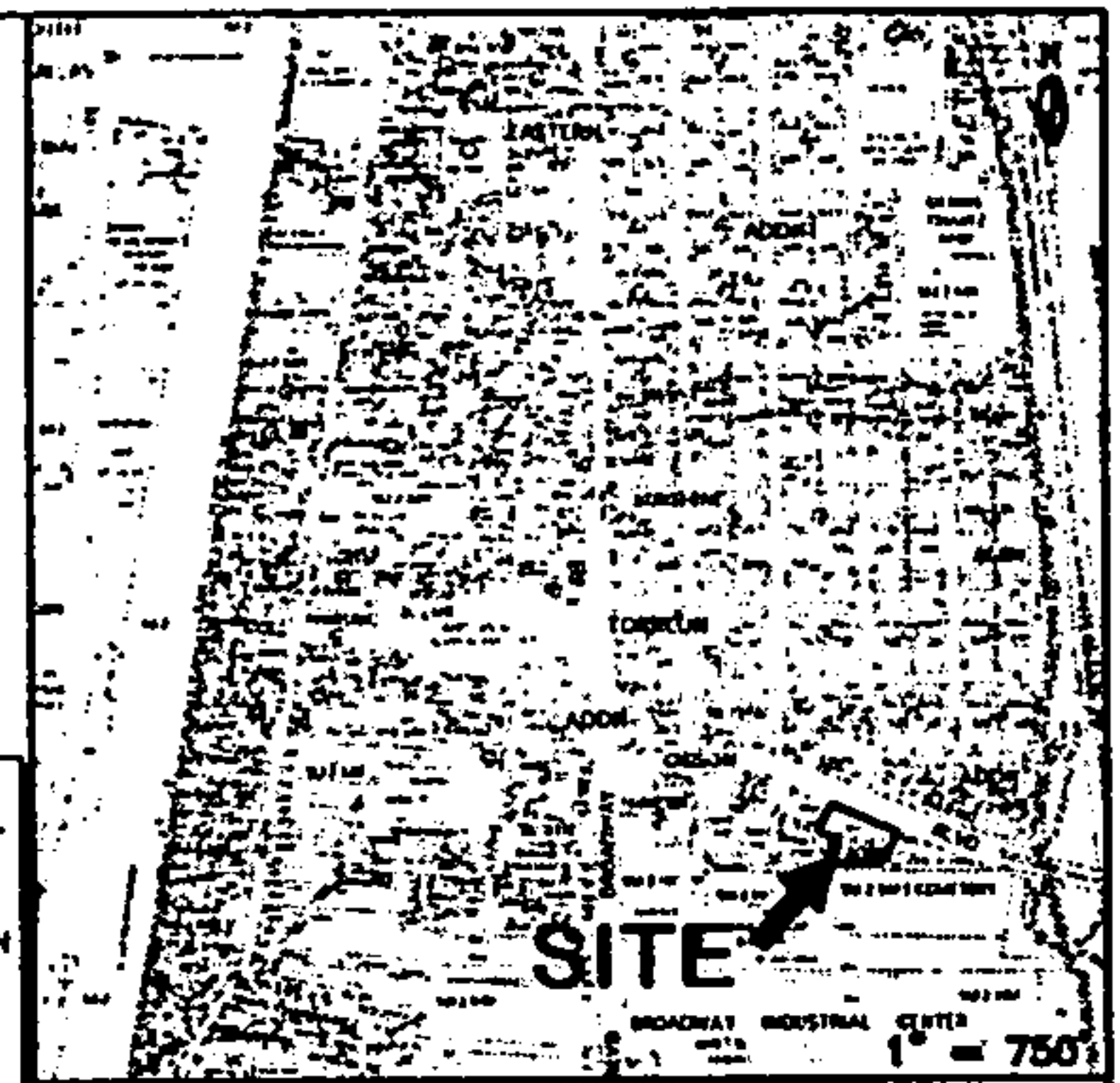
TABLE OF CONTENTS

	Page No.
Reduced Grading & Drainage Plan	1
Roof Drainage Calculations	2
Sidewalk Culvert Calculations	3
Swale Calculations	4

A.C.S. MONUMENT
"G-10"
X=382315.46
Y=1477669.37
Z=4978.188
G/G=0.99967774
DELTA/ALPHA=-00'13'33"
NAD 1927 / NAVD 199
NEW MEXICO STATE PLANE
(CENTRAL ZONE)

LEGEND	
EXISTING	PROPOSED
CONTOUR	---
PROPERTY LINE	---
ROAD	---
SETBACK	---
WALL	---
SPOT ELEVATION	---

DRAINAGE PLAN FOR NEW BUILDING ADDITION:
THE ADDITION WILL BE LOCATED OVER AN EXISTING PAVED PARKING AREA. THERE WILL BE NO INCREASE IN DRAINAGE DUE TO THE ADDITION. THE EXISTING ROOF DRAIN FROM THE EXISTING BUILDING WILL BE RE-ROUTED TO THE NORTH SIDE OF THE NEW BUILDING ADDITION AND DISCHARGE VIA A BOWNSPOUT TO A CONCRETE SPLASH PAD WHICH WILL DIRECT THE RAIN WATER UNDER A NEW SIDEWALK CULVERT. A 6" WIDE SWALE WILL BE INSTALLED WEST OF THE SIDEWALK CULVERT TO DIRECT THE RAIN WATER TO THE WEST WHERE A 2' WIDE CURB CUT WILL ALLOW THE WATER TO DRAIN THROUGH THE EXISTING DRIVEWAY TO GIBSON BLVD.



GRAVEL/RP-RAP SWALE

McDowell Engineering, Inc.
4-27-07
Rev. 9-11-07

GENERAL NOTES

- PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS POSSIBLE TO RESOLVE THE CONFLICT WITH A MINIMUM AMOUNT OF DELAY.
- ALL WORK ON THIS PLAN SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- THE CONTRACTOR SHALL INSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND BY WETTING THE SOIL TO KEEP IT FROM BLOWING.
- THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY THE CITY OF ALB. FOR THE COMPLETION OF THE WORK PRIOR TO BEGINNING CONSTRUCTION.

SCOPE:

Pursuant to the latest City of Albuquerque, the Drainage Plan shown herein outlines the drainage management criteria for controlling development and land use within the project site. A new building addition and parking lot are proposed for the subject property.

EXISTING CONDITION:

Presently the northern and eastern portion of the site is developed. The southern portion is undeveloped packed dirt/ground surface. The site is bounded on the north by Gibson Blvd., on the south by a private lot (Lot 18) and Torreon Ave., and on the east by private property. The site is not located in a 100-year floodplain per FEMA Map Panel No. 342. The site does not contain any mapped FEMA floodplain or the railroad tracks and is near the bottom of the basin. No effluent runoff enters the property.

PROPOSED CONDITION:

As shown by the plan, the new building addition (1700 sq. ft.) is proposed at the northern end of the site. The site is bounded on the north by Gibson Blvd. and on the south by Torreon Ave. The site is not located in a 100-year floodplain per FEMA Map Panel No. 342. The site does not contain any mapped FEMA floodplain or the railroad tracks and is near the bottom of the basin. No effluent runoff enters the property.

CALCULATIONS:

The calculations shown herein define the 100-year design storm falling within the project area under the following conditions: The design storm is per "Section 22.2, Hydrology of the Development Process" of the City of Albuquerque, New Mexico in cooperation with Bernalillo County. The design storm is per "Section 22.2, Hydrology of the Development Process" of the City of Albuquerque, New Mexico in cooperation with Bernalillo County.

Runoff Volume = 8798 cu. ft.
Runoff Volume = 10868 cu. ft.
Runoff Volume = 10868 cu. ft.
Runoff Volume = 10868 cu. ft.

PROPOSED CONDITION:

TOPOGRAPHY:

Survey Information used from Geosurvey, Inc., dated March 2007.

FUTURE PHASE NOT IN THIS PROJECT

CITY OF ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO

LOTS 6A1 & BLOCK B TORREON ADDITION

HOBBING: SLABS-RITE GRADING & DRAINAGE PLAN

McDowell Engineering, Inc.

7620 Beverly Hills Ave. NE Albuquerque, NM 87122
Tel: (505) 829-3430 Fax: (505) 821-4657

Designed: JSM Drawn: STAFF Checked: JSM Sheet: 1 of 1
Date: H080107L Date: SEPTEMBER 2007

12-Sep-07

Calculations: Total Basin

Calculations are based on "Section 22.2 Hydrology of the Development Process Manual, Volume 2, Design Criteria for the City of Albuquerque, New Mexico, latest edition - basins < 40 acres".

Precipitation Zone = 2

Depth at 100-year, 6-hour storm: (Table A-2)

Land Treatments:

From Table 5 - Percent Treatment D

Single Family Residential =

$7 * \text{SQR}((N * N) + (5 * N))$

where N = units/acre

N = ----- = -----, ok < 6

HABERG-GLASS RATE

BUDG ADD'N
ROOF DRAINAGE
RE-ROUTED TO N. SIDE
OF NEW BLDG ADD'N.

P(360) = 2.35 inches

P(10 day) = 3.95 inches

Areas: (acres)	Existing	Proposed
Treatment A	0.00	0.00
Treatment B	0.00	0.00
Treatment C	0.00	0.00
Treatment D	0.00	0.19
Total (acres) =	0.00	0.19

$Q_{\text{roof}} = 0.87 \text{ cfs}$

Swale capacity = 2.11 cfs

Volume	100 year Existing	100 year Proposed	10 year Existing	10 year Proposed	2 year Existing	2 year Proposed
Volume (acre-feet) =	#DIV/0!	#DIV/0!	#DIV/0!	#DIV/0!	#DIV/0!	#DIV/0!
Volume (cubic feet) =	#DIV/0!	#DIV/0!	#DIV/0!	#DIV/0!	#DIV/0!	#DIV/0!

Total Q(p), cfs:	100 year Existing Q(p)*A	100 year Proposed Q(p)*A	10 year Existing Q(p)*A	10 year Proposed Q(p)*A	2 year Existing Q(p)*A	2 year Proposed Q(p)*A
Treatment A	0.00	0.00	0.00	0.00	0.00	0.00
Treatment B	0.00	0.00	0.00	0.00	0.00	0.00
Treatment C	0.00	0.00	0.00	0.00	0.00	0.00
Treatment D	0.00	0.87	0.00	0.58	0.00	0.35
Total Q (cfs) =	0.00	0.87	0.00	0.58	0.00	0.35

$V(10 \text{ day}) = V(360) + A(D) * (P10\text{day} - P360) / 12 \text{ in/ft} = \text{\#DIV/0!} \text{ ac-ft}$

$= \text{\#DIV/0!} \text{ cu-ft}$

HOBERT – GLASSRITE
Worksheet
Worksheet for Rectangular Channel
SIDEWALK CULVERT CAPACITY

Project Description

Worksheet	Rectangular Channel - 1
Flow Element	Rectangular Channel
Method	Manning's Formula
Solve For	Discharge

Input Data

Mannings Coefficient	0.013
Slope	0.083000 ft/ft
Depth	0.50 ft
Bottom Width	1.00 ft

Results

Discharge	6.53 cfs
Flow Area	0.5 ft ²
Wetted Perimeter	2.00 ft
Top Width	1.00 ft
Critical Depth	1.10 ft
Critical Slope	0.011243 ft/ft
Velocity	13.07 ft/s
Velocity Head	2.65 ft
Specific Energy	3.15 ft
Froude Number	3.26
Flow Type	Supercritical

HOBERG - GLASSRITE
Worksheet
Worksheet for Triangular Channel
SWALE CAPACITY

Project Description

Worksheet	Triangular Channel - 1
Flow Element	Triangular Channel
Method	Manning's Formula
Solve For	Discharge

Input Data

Mannings Coefficient	0.045
Slope	0.017000 ft/ft
Depth	0.50 ft
Left Side Slope	5.00 H : V
Right Side Slope	5.00 H : V

Results

Discharge	2.11 cfs
Flow Area	1.3 ft ²
Wetted Perimeter	5.10 ft
Top Width	5.00 ft
Critical Depth	0.41 ft
Critical Slope	0.051533 ft/ft
Velocity	1.69 ft/s
Velocity Head	0.04 ft
Specific Energy	0.54 ft
Froude Number	0.59
Flow Type	Subcritical

CITY OF ALBUQUERQUE



November 26, 2007

Thomas E. Robson, R.A.
Robson & Associates - Architects
2301 Juan Tabo NE South Ste.
Albuquerque, NM 87112

Re: Glass-Rite Building Addition, 808 Gibson SE, Traffic Circulation Layout
Architect's Stamp dated 11-21-07 (L-14/D037)

Dear Mr. Robson,

The TCL submittal received 11-26-07 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

P.O. Box 1293

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Albuquerque

New Mexico 87103

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

CITY OF ALBUQUERQUE



November 26, 2007

Thomas E. Robson, R.A.
Robson & Associates - Architects
2301 Juan Tabo NE South Ste.
Albuquerque, NM 87112

Re: Glass-Rite Building Addition, 808 Gibson SE, Traffic Circulation Layout
Architect's Stamp dated 11-21-07 (L-14/D037)

Dear Mr. Robson,

The TCL submittal received 11-26-07 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

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Albuquerque

New Mexico 87103

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www.cabq.gov

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Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: Glass Rite Bldg Addition ZONE MAP: L-14/D037
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 6-A-1 Block B Torreon Addition
CITY ADDRESS: _____

ENGINEERING FIRM: ED Kiess CONTACT: 299-8975
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

OWNER: Bill Hoberg CONTACT: 515 3501
ADDRESS: 808 Gibson St PHONE: 610-7131
CITY, STATE: Albuquerque NM 87102 ZIP CODE: 87102

ARCHITECT: Robson + Assoc. CONTACT: Tom Robson
ADDRESS: 2301 Juan Tabo NW PHONE: 332 1176
CITY, STATE: Albuquerque NM ZIP CODE: 87112

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☒ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

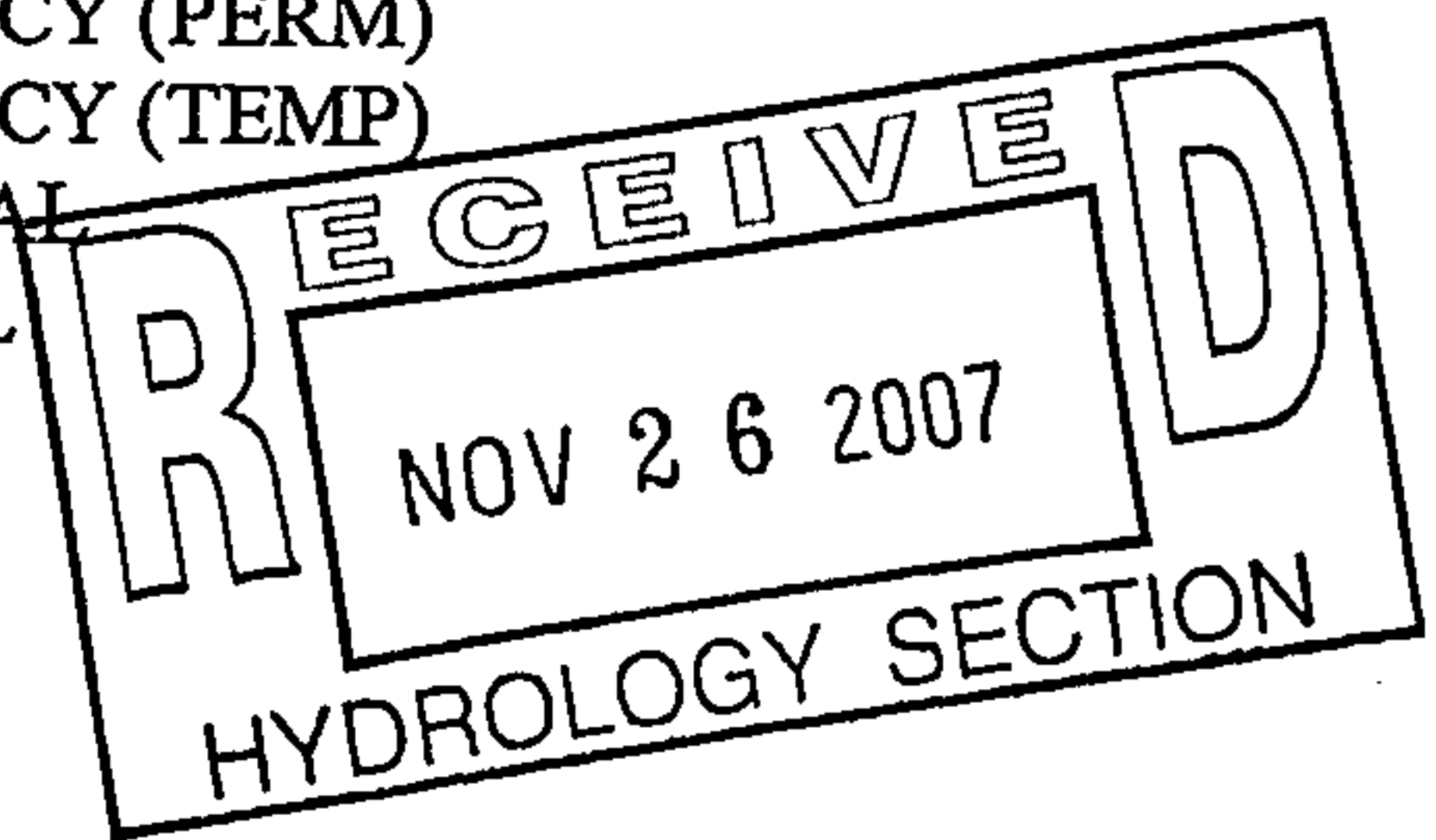
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 11/26/07 BY: Bill Hoberg

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF ALBUQUERQUE



November 19, 2007

Thomas Robson, R.A.
Robson & Associates - Architects
2301 Juan Tabo NE South Suite
Albuquerque, NM 87112

**Re: Glass-Rite Warehouse Building Addition, 808 Gibson Blvd SE,
Traffic Circulation Layout
Architect's Stamp dated 11-12-2007 (L14-D037)**

Dear Mr. Robson,

Based upon the information provided in your submittal received 11-15-07, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. All information required for a traffic circulation layout will need to be resubmitted on one sheet. Sheet A-1 will work; however, add the CoA Standard Specifications to this sheet with notes referencing the new construction.
2. The text is illegible, please, make text legible and resubmit.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



October 25, 2007

Thomas Robson, R.A.
Robson & Associates - Architects
2301 Juan Tabo NE South Suite
Albuquerque, NM 87112

**Re: Glass-Rite Warehouse Building Addition, 808 Gibson Blvd SE,
Traffic Circulation Layout
Architect's Stamp dated 10-20-2007 (L14-D037)**

Dear Mr. Robson,

Based upon the information provided in your submittal received 10-23-07, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

1. All information required for a traffic circulation layout will need to be resubmitted on one sheet.
2. Show the portion of the drive pad that will be rebuilt. Only the portion that is being rebuilt will need truncated domes; however, if the drive pad is not being rebuilt, then no truncated domes are required.
3. The existing curb cut that is to be removed must be replaced with sidewalk and curb and gutter. Please add a note to this effect.
4. The "leader to discharge water" shown on your plan does not match the grading and drainage plan. The approved grading and drainage plan shows a riprap-lined swale draining to a 2-foot wide curb opening. Please amend your plans accordingly.
5. Please refer to all applicable city standards, by specific standard number, on the plan.
6. A 6-foot wide pedestrian path is required.

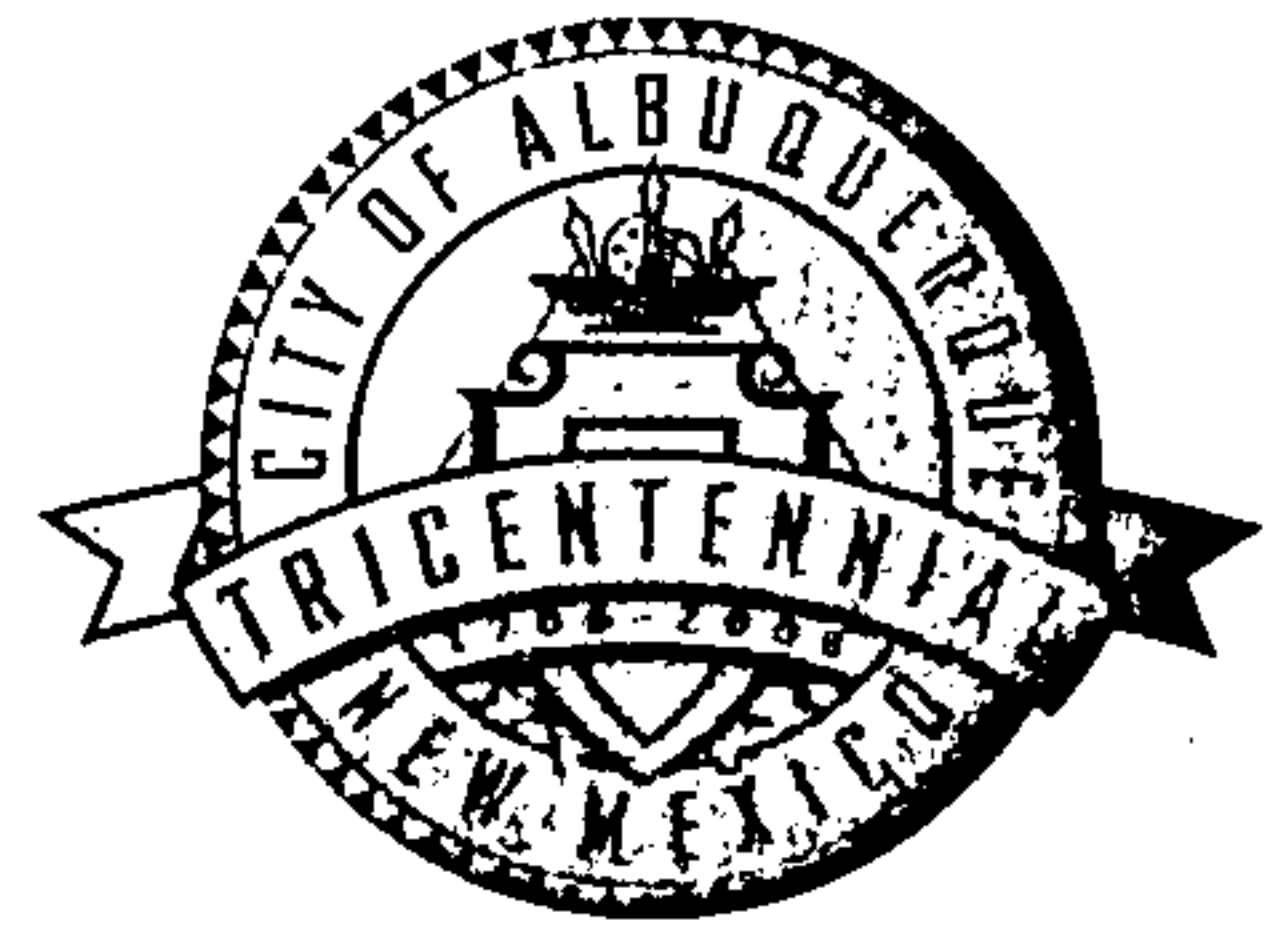
If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

CITY OF ALBUQUERQUE



May 4, 2007

Jackie S. McDowell, P.E.
McDowell Engineering, Inc.
7820 Beverly Hills Ave NE
Albuquerque, NM 87122

**Re: Glass-Rite Bldg Addition, Lots 6A1 & 15, Block B Torreon Addition,
Grading and Drainage Plan**

Engineer's Stamp dated 4-27-07 (L14/D037)

Dear Ms. McDowell,

Based upon the information provided in your submittal dated 4-27-07, the above referenced plan cannot be approved for Building Permit or Paving Permit until the following comments are addressed:

P.O. Box 1293

Albuquerque

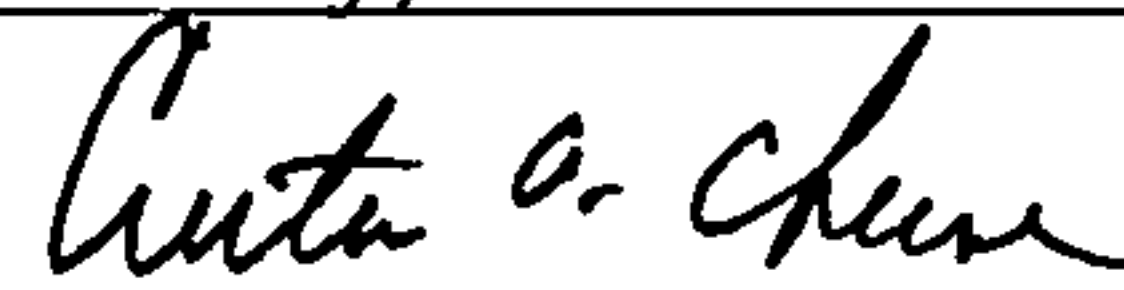
New Mexico 87103

www.cabq.gov

- Paving in the alley could be accomplished by the Work Order process. In addition, access to lots 1, 12 and 3 cannot be blocked. The ROW could be vacated.
- The drive entrance near the addition will have to be removed and the sidewalk replaced. If this area is to drain north, a sidewalk culvert would be required.
- The northwest corner of the addition overlaps the parking island/curb. Show proposed condition for this area.

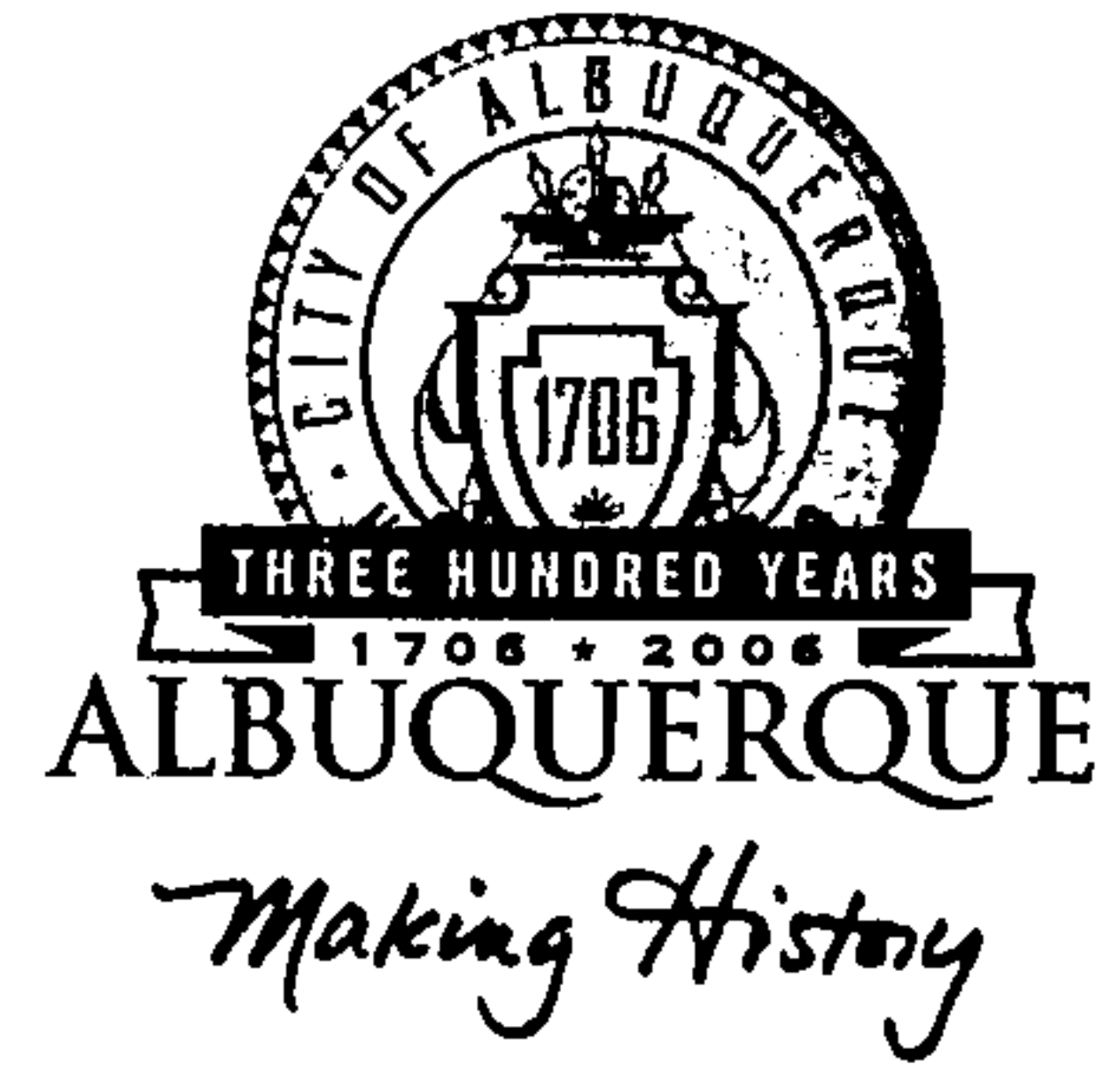
If you have any questions, you can contact me at 924-3695.

Sincerely,


Curtis A. Cherne, E.I.
Engineering Associate, Planning Dept.
Development and Building Services

C: file

CITY OF ALBUQUERQUE



June 8, 2005

Jackie S. McDowell, P.E.
McDowell Engineering, Inc.
7820 Beverly Hills Ave. NE
Albuquerque, NM 87122

**Re: Glass-Rite Building Addition, 808 Gibson Blvd. SE
Drainage and Grading Plan - Engineer's Stamp dated 5-27-05 (L14-D37)**

Dear Mr. McDowell,

Based upon the information provided in your submittal dated 5-27-05, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology and prior to release of the Certificate of Occupancy an Engineer's Certification of the grading plan per the DPM checklist will be required.

P.O. Box 1293

If you have any questions, you can contact me at 924-3990.

Albuquerque

Sincerely,

Phillip J. Lovato, E.I.

Associate Engineer, Planning Department
Development and Building Services

New Mexico 87103

www.cabq.gov

Cc: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: GLASS-RITE BLDG. ADDITION

ZONE MAP/DRG. FILE #: L-14/D37

DRB #: _____

EPC #: _____

WORK ORDER #: _____

LEGAL DESCRIPTION: LOT 6-A-1, BLOCK B, TORREON ADDITION

CITY ADDRESS: 808 Gibson Blvd. SE

ENGINEERING FIRM: MCDOWELL ENGINEERING, INC.

ADDRESS: 7820 BEVERLY HILLS AVE. NE

CITY, STATE: ALBUQUERQUE, NM

CONTACT: JACKIE S. MCDOWELL

PHONE: (505) 828-2430

ZIP CODE: 87122

OWNER: _____

BILL HOBERG

ADDRESS: 808 GIBSON BLVD. SE

CITY, STATE: ALBUQUERQUE, NM

CONTACT: BILL HOBERG

PHONE: (505) 764-9899

ZIP CODE: 87102

ARCHITECT: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

SURVEYOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR / LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERTIFICATION (TCL)
- ☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ DON'T REMEMBER

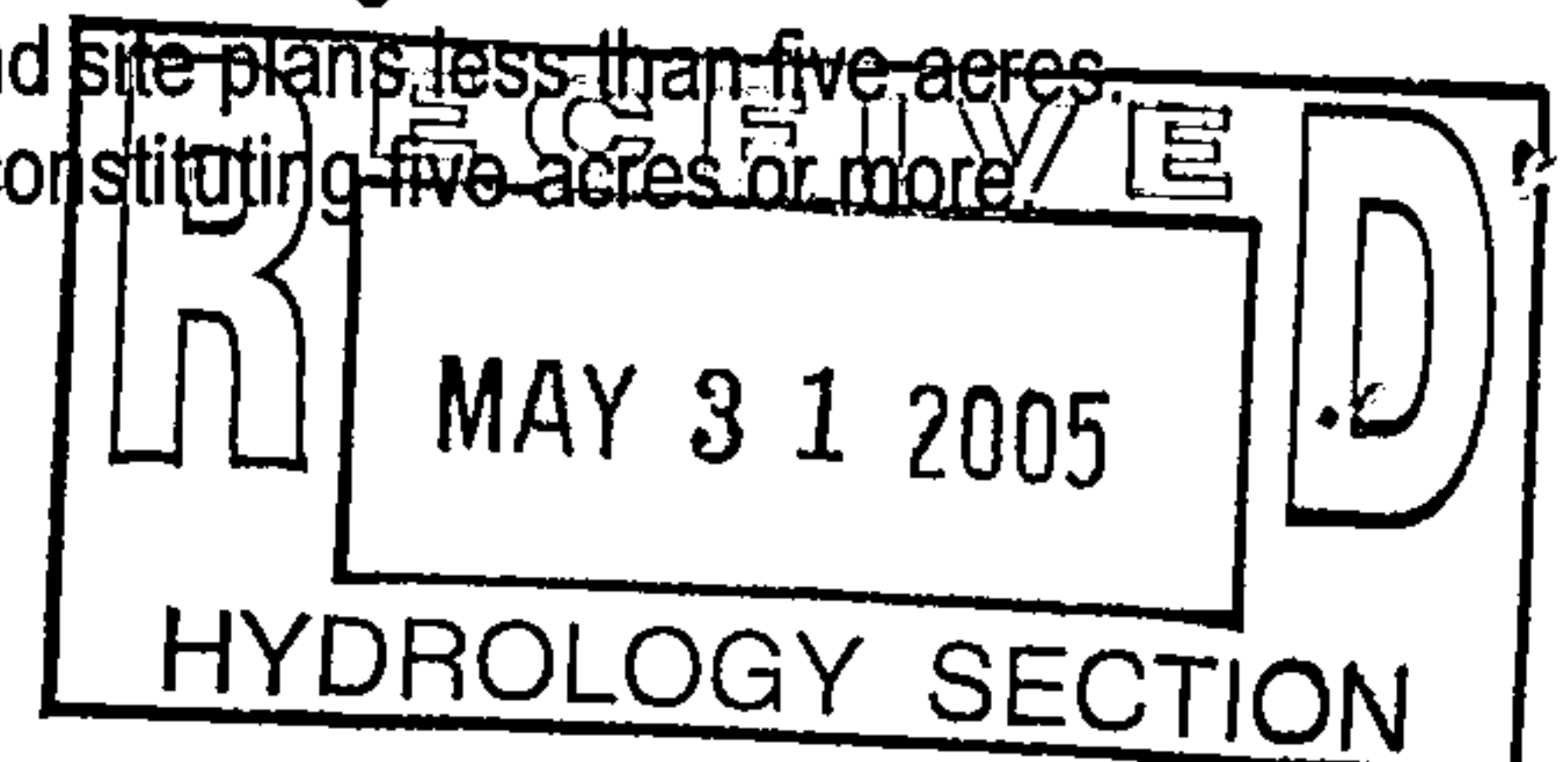
DATE SUBMITTED: 27-May-2005

BY: _____


Jackie S. McDowell

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope of the proposed development defines the degrees of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five acres.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits, and site plans less than five acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five acres or more.



ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME Bill Hoberg
AGENT McDowell Eng.
ADDRESS 808 Gibson Bld. S.E.
PROJECT & APP # L-14
PROJECT NAME Glass-Rite Bldg Addn

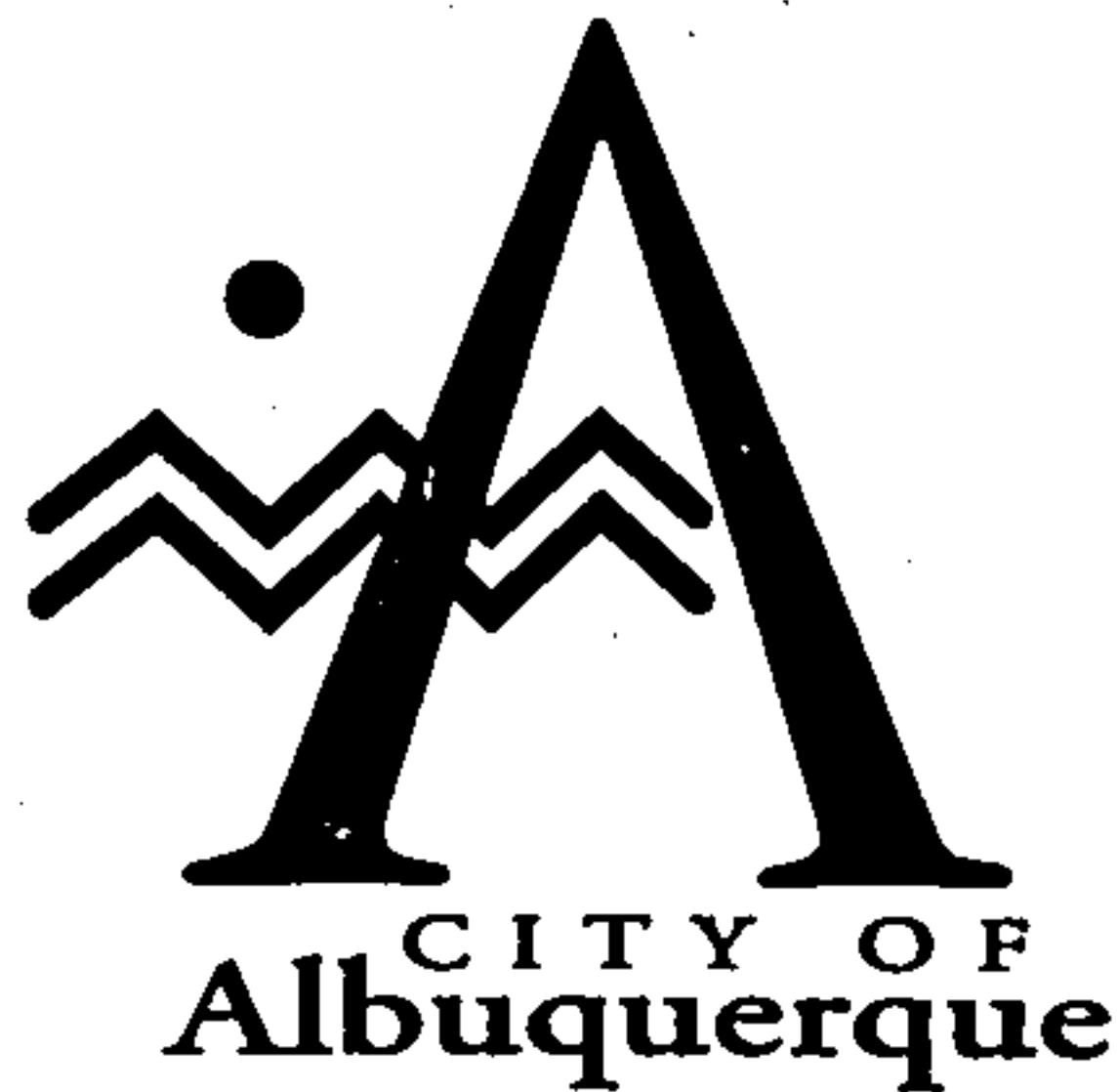
\$ 441032/3424000 Conflict Management Fee
\$ 441006/4983000 DRB Actions
\$ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ 441018/4971000 Public Notification
\$ 50.00 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 () Major/Minor Subdivision () Site Development Plan (☒) Bldg Permit
 () Letter of Map Revision () Conditional Letter of Map Revision
 () Traffic Impact Study
\$ 50.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

City Of Albuquerque
Treasury Division

5/31/2005 2:10PM LOC: ANNX
RECEIPT# 00041521 WSH 006 TRANSH 0052
Account 441006 Fund 0110
Activity 4983000 TRSEJA
Trans Amt \$50.00
J24 Misc \$50.00
MC \$50.00
CHANGE \$0.00

Thank You



May 23, 1996

Martin J. Chávez, Mayor

Kim Kemper
Kemper-Vaughan Consulting
3700 Coors Rd. NW
Albuquerque, NM 87120

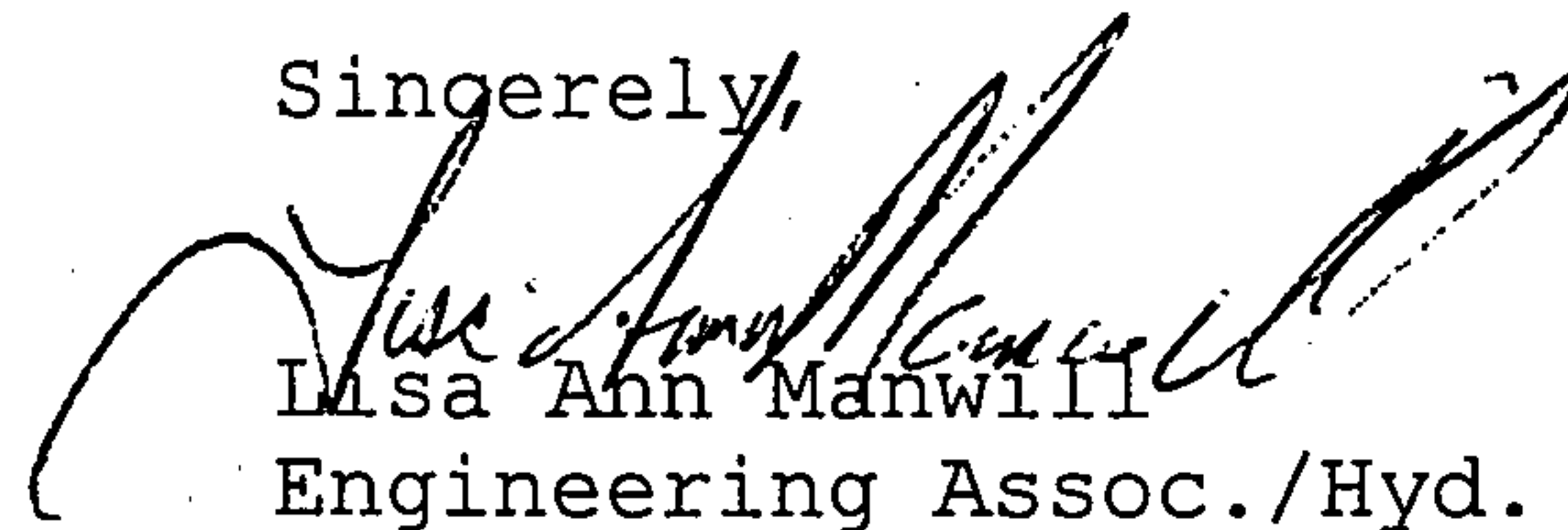
**RE: GLASS-RITE ADDITION (L14-D37) ENGINEER'S CERTIFICATION FOR
CERTIFICATE OF OCCUPANCY APPROVAL. ENGINEER'S CERTIFICATION
DATED 5-17-96.**

Dear Mr. Kemper:

Based on the information provided on your May 17, 1996 submittal,
the above referenced project is approved for Certificate of
Occupancy.

If I can be of further assistance, please feel free to contact me
at 768-3622.

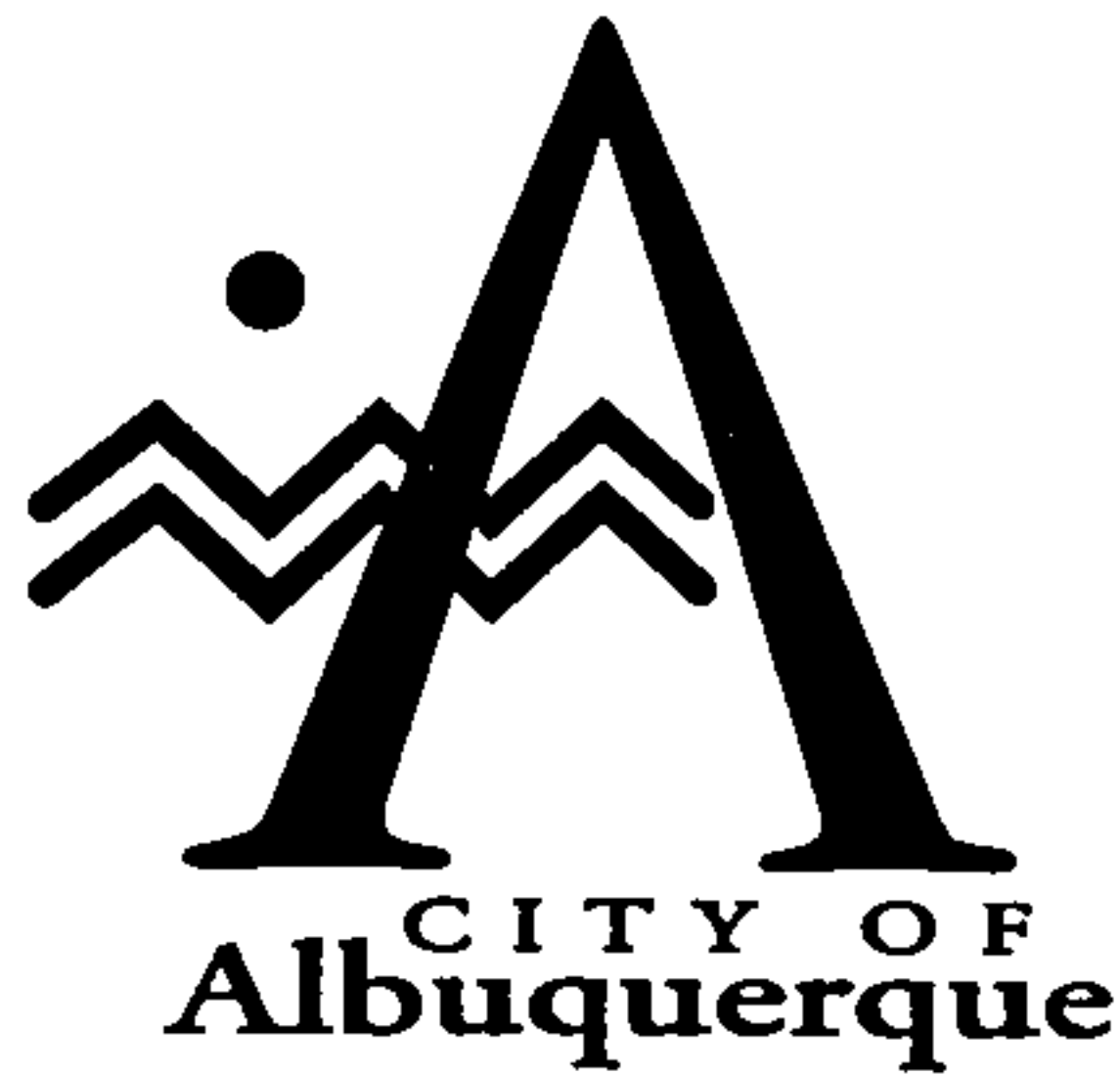
Sincerely,



Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
File





May 14, 1996

Martin J. Chávez, Mayor

Kim Kemper
Kemper-Vaughan Consulting
3700 Coors Rd. NW
Albuquerque, NM 87120

**RE: GLASS-RITE ADDITION (L14-D37) ENGINEER'S CERTIFICATION FOR
CERTIFICATE OF OCCUPANCY APPROVAL. ENGINEER'S CERTIFICATION
DATED 4-22-96.**

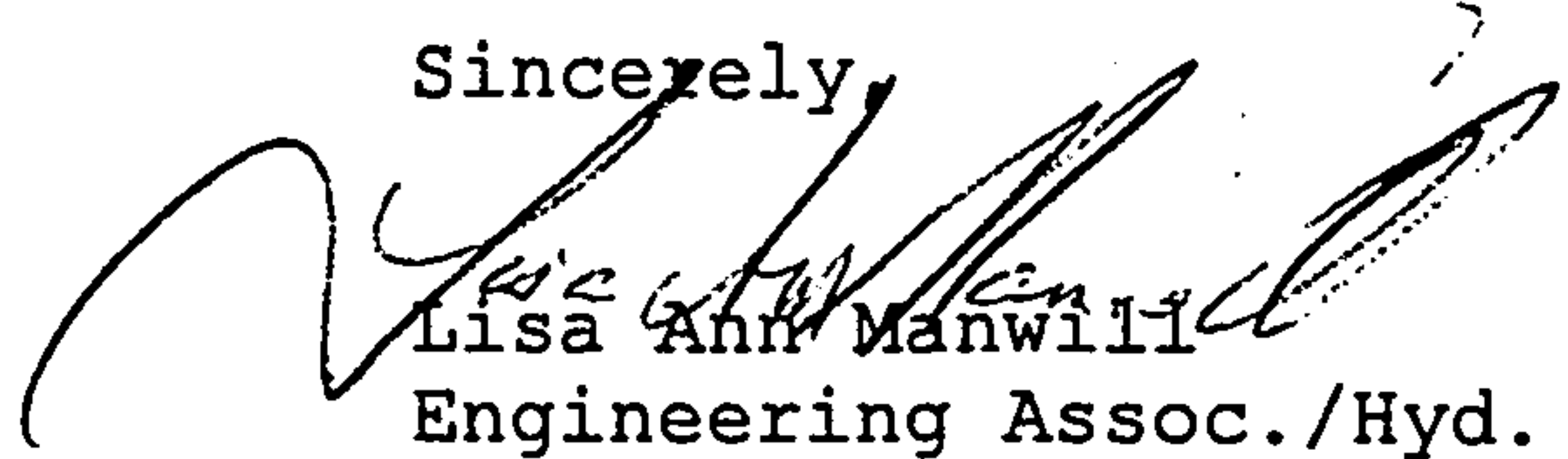
Dear Mr. Kemper:

Based on the information provided on your April 23, 1996 submittal, please address the following comment prior to Final Certificate of Occupancy:

1. Please obtain all the required signatures on the SO #19 sign off block. I am enclosing the grading and drainage plan you submitted with my signature on the block. If you'd prefer, I will sign the original drawing as well.
2. According to Chapter 22.7 of the DPM, the Engineer's Certification must be provided on the approved original reproducible drainage plan. Your certification is not shown on the approved plan. Please certify the approved plan. The way you have shown actual construction it is easy to read, and I would certainly appreciate it as a supplement. Please note, I do not need the original (mylar) plan, a blue line will suffice.

If I can be of further assistance, please feel free to contact me at 768-3622.

Sincerely,



Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
File

Good for You. Albuquerque!





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 25, 1996

Kim Kemper
Kemper-Vaughan Consulting
3700 Coors Rd. NW
Albuquerque, NM 87120

**RE: GLASS-RITE ADDITION (L14-D37) DRAINAGE AND GRADING PLAN FOR
BUILDING PERMIT AND SO #19 PERMIT APPROVAL. ENGINEER'S
STAMP DATED 1-16-96.**

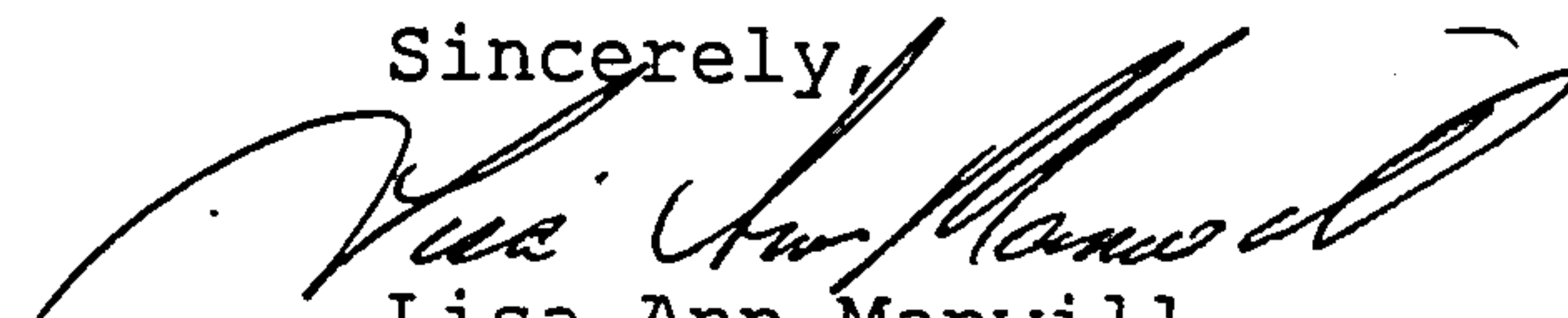
Dear Mr. Kemper:

Based on the information provided on your January 19, 1996
submittal, the above referenced project is approved for Building
and SO #19 permits.

Prior to Certificate of Occupancy approval, an Engineer's
Certification will be required.

If I can be of further assistance, please feel free to contact me
at 768-3622.

Sincerely,



Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Arlene Portillo
Andrew Garcia
File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: GLASS-RITE ADDITION ZONE ATLAS/DRNG. FILE #: L-14/1037
 DRB #: _____ EPC #: _____ WORK ORDER #: _____
 LEGAL DESCRIPTION: LOTS 4, 5 & 6A TORREON ADDITION
 CITY ADDRESS: 808 GIBSON
 ENGINEERING FIRM: KEMPER-VAUGHAN CONSULTING ENGINEERS CONTACT: KIM R. KEMPER
 ADDRESS: 3700 COORS RD NW PHONE: 831-4520
 OWNER: WILLIAM HOBERG CONTACT: _____
 ADDRESS: 808 GIBSON PHONE: 764-9899
 ARCHITECT: DURA-BILT INC. CONTACT: ~~BRAD~~ BRAD LITLE
 ADDRESS: 4808 JEFFERSON NE PHONE: 883-9100
 SURVEYOR: RIO GRANDE SURVEYING CONTACT: REX VOGLER
 ADDRESS: 3700 COORS RD NW PHONE: 831-4520
 CONTRACTOR: DURA-BILT INC. CONTACT: BRAD LITLE
 ADDRESS: 4808 JEFFERSON PHONE: 883-9100

TYPE OF SUBMITTAL:

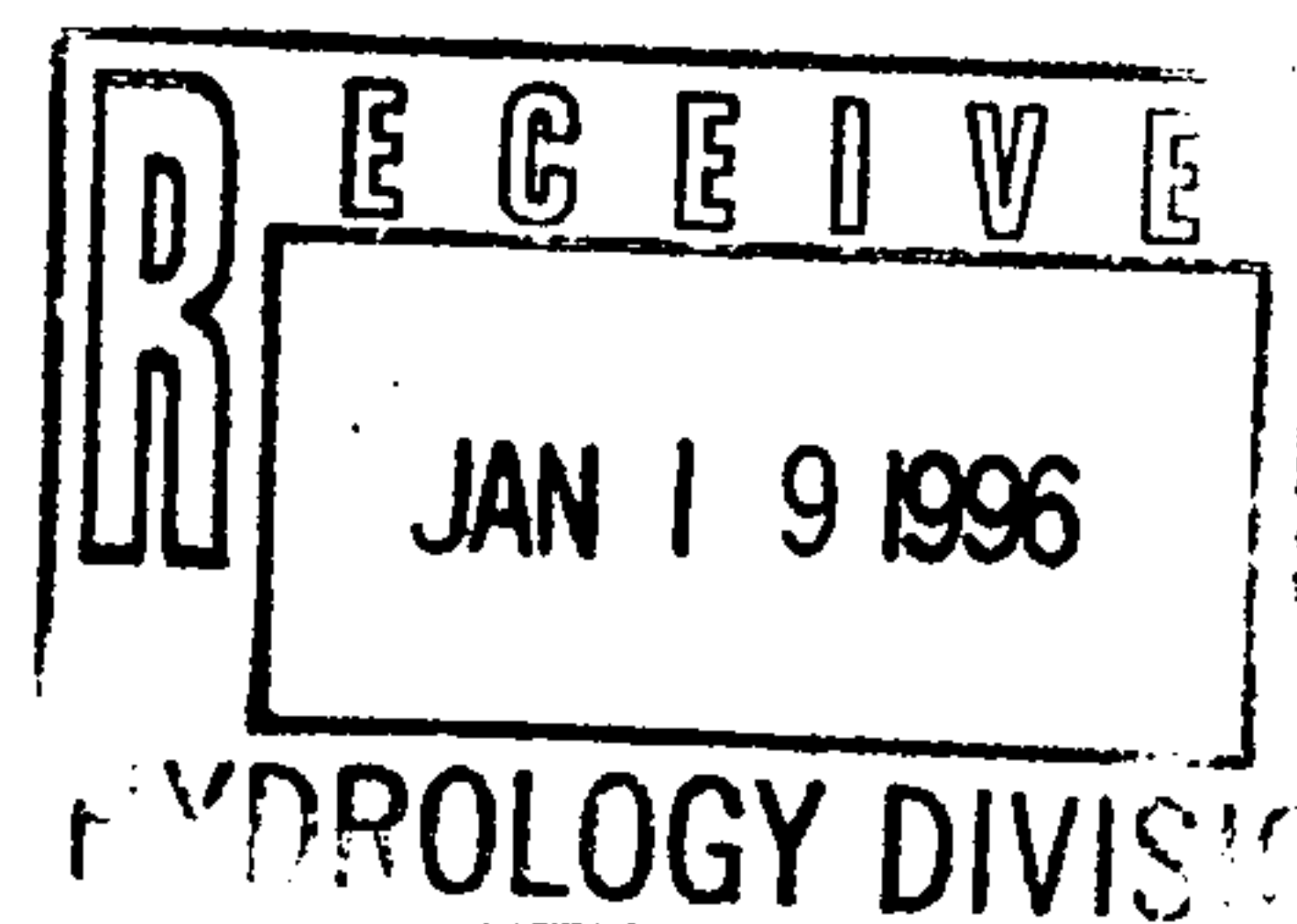
____ DRAINAGE REPORT
☒ DRAINAGE PLAN
 ____ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
 ____ EROSION CONTROL PLAN
 ____ ENGINEER'S CERTIFICATION
 ____ OTHER _____

PRE-DESIGN MEETING:

____ YES
☒ NO
 ____ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

____ SKETCH PLAT APPROVAL
 ____ PRELIMINARY PLAT APPROVAL
 ____ S. DEV. PLAN FOR SUB'D. APPROVAL
 ____ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
 ____ SECTOR PLAN APPROVAL
 ____ FINAL PLAT APPROVAL
 ____ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
 ____ CERTIFICATE OF OCCUPANCY APPROVAL
 ____ GRADING PERMIT APPROVAL
 ____ PAVING PERMIT APPROVAL
 ____ S.A.D. DRAINAGE REPORT
 ____ DRAINAGE REQUIREMENTS
☒ OTHER SD #19 (SPECIFY)

DATE SUBMITTED: 1/18/94BY: [Signature]



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 20, 1994

Jeff Mortensen
Jeff Mortensen & Associates
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

RE: ENGINEER CERTIFICATION FOR GLASS-RITE (L14-D37)
CERTIFICATION STATEMENT DATED 12/2/94.

Dear Mr. Mortensen:

Based on the information provided on your December 5, 1994
submittal, Engineer Certification for the above referenced site
is acceptable.

If I can be of further assistance, please feel free to contact me
at 768-2667.

Sincerely,

Bernie J. Montoya

Bernie J. Montoya, CE
Engineering Associate

BJM/dl

c: Andrew Garcia
File



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 24, 1994

Jeff Mortensen
Jeff Mortensen & Associates
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

RE: DRAINAGE PLAN FOR GLASS-RITE (L14-D37) ENGINEER'S STAMP
DATED 8/11/94.

Dear Mr. Mortensen:

Based on the information provided on your August 11, 1994 submittal, the above referenced site is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release the following must be submitted:

1. Engineer Certification per the D.P.M. Checklist.
2. Easements for cross-lot-line drainage.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE
Engineering Associate

BJM/d1/WPHYD/8412

c: Andrew Garcia
Glass-Rite
File



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 23, 1994

Jeff Mortensen
Jeff Mortensen & Associates
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

RE: DRAINAGE PLAN FOR AN ADDITION TO GLASS-RITE (L14-D37)
ENGINEER'S STAMP DATED 3/18/94.

Dear Mr. Mortensen:

Based on the information provided on your March 18, 1994 submittal, the above referenced site is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE
Engineering Associate

BJM/d1/WPHYD/8412

c: Andrew Garcia
File



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 17, 1991

Jeff Mortensen, P.E.
Jeff Mortensen & Associates, Inc.
6010-B Midway Park Boulevard, NE
Albuquerque, New Mexico 87109

RE: DRAINAGE PLAN FOR GLASS RITE SHOWROOM
(L-14/D37) ENGINEER'S STAMP DATED JULY 2, 1991

Dear Mr. Mortensen:

Based on the information provided on your submittal of July 3, 1991, the above referenced plan is approved for Building Permit.

Please attach a copy of this plan to the construction sets prior to sign-off by Hydrology.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya

Bernie J. Montoya, C.E.
Engineering Assistant

xc: Alan Martinez

BJM/bsj
(WP+2779)

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER