

CITY OF ALBUQUERQUE



June 24, 2016

Doug Gallagher
RBA Architecture
1104 Park Ave., SE
Albuquerque, NM

Re: **Xtreme Storage**
100 Trumbell SE,
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 6-23-16 (L14-D045)

Dear Mr. Doug Gallagher,

The TCL submittal received 6-23-16 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

This TCL Building Permit is solely for the development of Parcel III of 100 Trumbell SE.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: XTREME Storage Building Permit #: _____ City Drainage #: L140045
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: _____
City Address: 100 Trumbull SE
Engineering Firm: RBA ARCHITECTURE Contact: Douge
Address: 1104 PARK AVE
Phone#: 242-1589 Fax#: _____ E-mail: douge@rba81.com
Owner: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____
Architect: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____
Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

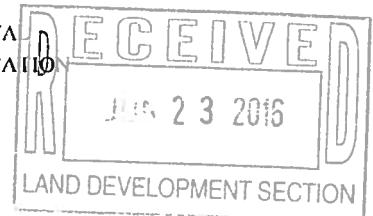
- ☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

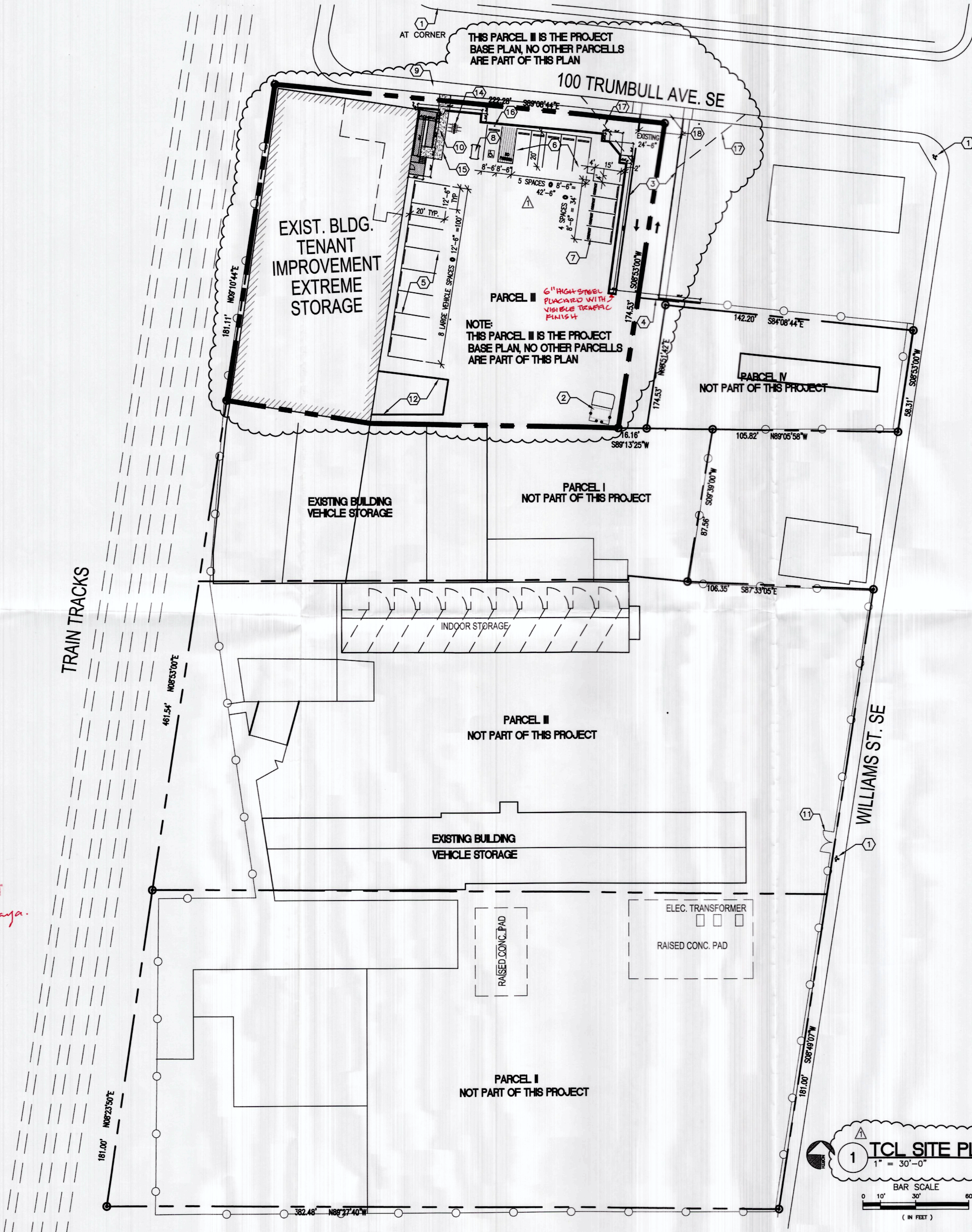
- ☒ BUILDING PERMIT APPROVAL Resub
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____



IS THIS A RESUBMITTAL? ☐ Yes ☐ No

DATE SUBMITTED: 6/23/16 By: Douglas Gallagher

COA STAFF ELECTRONIC SUBMITTAL RECEIVED: _____



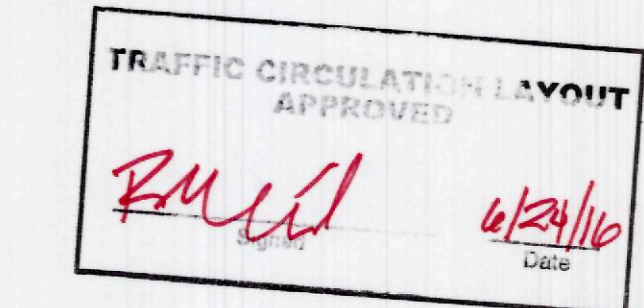
CODE DESIGN DATA I.B.C. 2009

CHAPTER 3 OCCUPANCY AND USE CLASSIFICATION:	S2 (STORAGE), GROUP B (OFFICE)
TABLE 503, GROUP B:	S-B (WITHOUT FIRE PROTECTION SYSTEM)
TABLE 503 ALLOWABLE HEIGHT AND BUILDING AREA:	1 STORY, 9,000 S.F., S1 GROUP
TENANT IMPROVEMENT STORAGE AREA:	11,803 S.F.
TENANT IMPROVEMENT OFFICE AREA:	2,856 S.F.
TABLE 601 FIRE-RESISTANCE RATING REQUIREMENTS:	TYPE 5-B, EXISTING EXTERIOR-INTERIOR BEARING WALLS, NO FIRE-RESISTANCE RATING REQUIRED.
SECTION 709 FIRE PARTITIONS:	TYPE 5-B, INTERIOR WALLS, 2 HR. FIRE-RESISTANCE AREA SEPARATION REQUIRED BETWEEN S1 (STORAGE) AND GROUP B (OFFICE)
SECTION 1004 OCCUPANT LOAD TABLE 1004.1.1:	2,856 S.F./100 = 27 OCC.
OFFICE AREA:	11,803 S.F./500 = 24 OCC.
STORAGE:	51 OCC.
TOTAL OCCUPANT LOAD:	

TABLE 1021.1 MIN. NO. OF EXITS PER OCC. LOAD:	TOAL OCC. LOAD = 51 OCCUPANTS = (2) EXITS REQUIRED, (2) EXITS PROVIDED.
TABLE 1016.1 EXIT ACCESS TRAVEL DISTANCE:	WITHOUT SPRINKLER SYSTEM: 200 FEET MAX.
TABLE 1018.1 CORRIDOR FIRE-RESISTANCE RATING:	OCC. LOAD = 51, FIRE-RESISTANCE RATING REQUIRED: 1 HOUR WITHOUT SPRINKLER SYS.
SECTION 1005 EGRESS WIDTH REQUIRED:	OCC. LOAD = 51 x 0.2 = 10.2 INCH EGRESS WIDTH.
EGRESS WIDTH PROVIDED:	(2) 36 INCH EGRESS WIDTH

CHAPTER 14-16-3-1 OFF-STREET PARKING:	
(21) OFFICES [1/200 SF] = 1,565/200 = 8 SPACES	
(31) WAREHOUSE [1/2000 SF] = 12,894/2000 = 6 SPACES	
REQUIRED PARKING TOTAL	14 SPACES
PARKING SPACES PROVIDED TOTAL	18 SPACES

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOWIES.



TITLE DESCRIPTION

THE LAND REFERRED TO IN THIS COMMITMENT IS DESCRIBED AS FOLLOWS:

(PARCEL I)

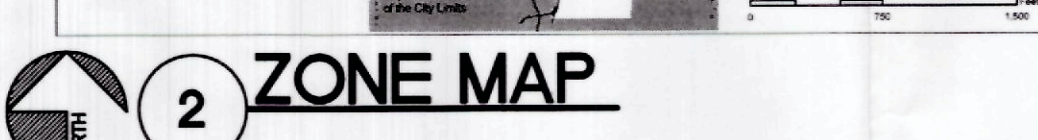
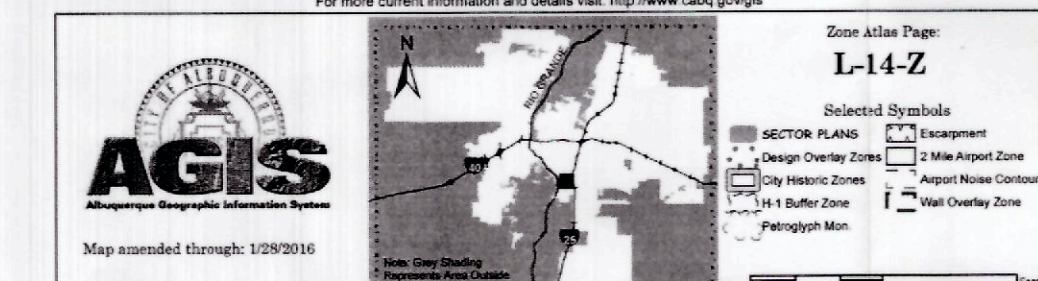
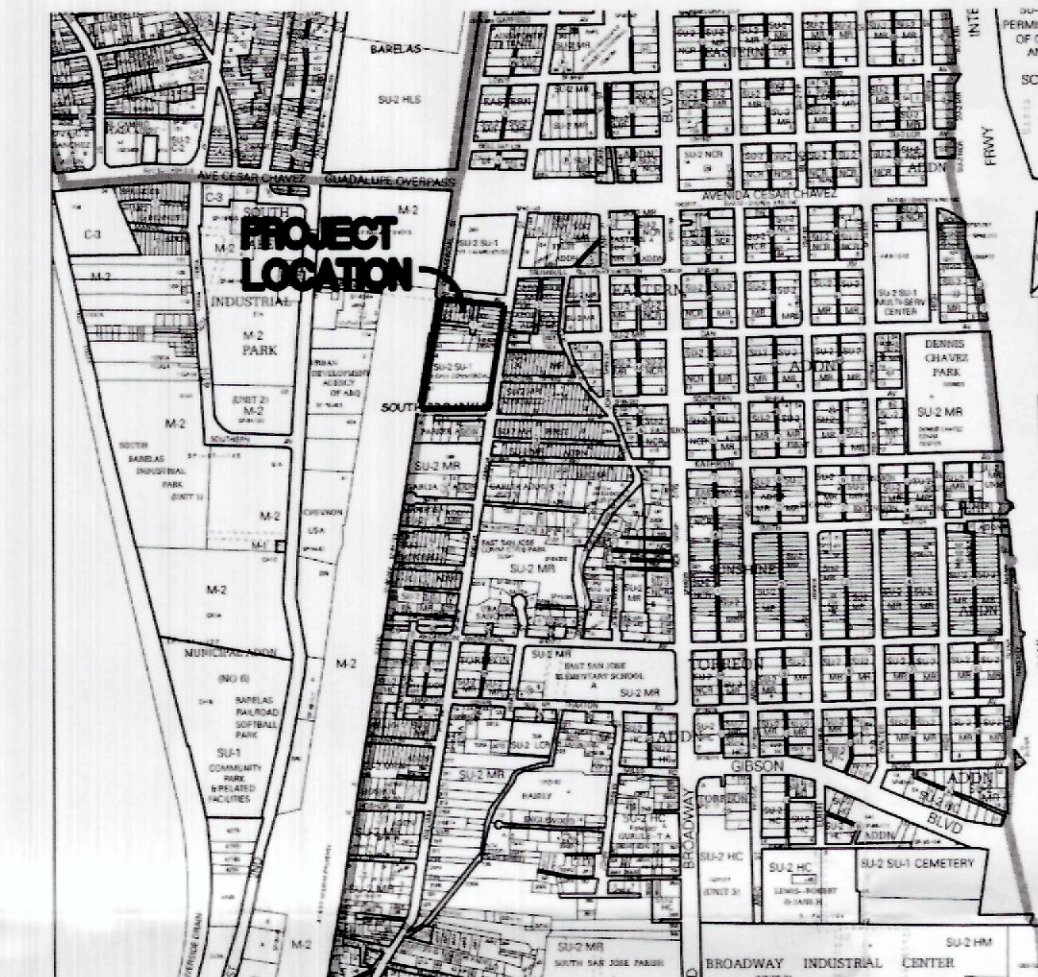
A CERTAIN PARCEL OF LAND BEING COMPRISED OF A PORTION OF TRACTS 184 AND 185-B-2-A AND THE NORTHERLY PORTION OF TRACT 186 AND ALL OF TRACTS 185-A-1, 185-B-2-A AND 185-A-2-A, AS SHOWN ON MAP NO. 41 OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT IN ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF TRACT 185-B-2-A, MAP NO. 41, M.R.G.C.D., AND RUNNING THENCE S. 08° 38' 00" W. 88.00 FEET TO THE SOUTHEAST CORNER OF TRACT 185-A-1-A; THENCE N. 88° 47' 00" W. 21.30 FEET TO A POINT ON THE EAST END OF A CONCRETE DOCK; THENCE N. 00° 50' 00" W. 4.44 FEET TO THE SOUTHEAST CORNER OF SAID CONCRETE DOCK; THENCE N. 88° 08' 00" W. 77.00 FEET TO A POINT; THENCE N. 88° 40' 00" W. 65.77 FEET TO A POINT; THENCE N. 00° 50' 00" W. 1.48 FEET TO A POINT; THENCE N. 88° 40' 00" W. 82.58 FEET TO THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED PARCEL; THENCE N. 08° 23' 00" E. 10.56 FEET TO A POINT; THENCE N. 08° 23' 00" E. 42.10 FEET TO A POINT; THENCE N. 08° 23' 00" E. 83.49 FEET THROUGH AN EXISTING STRUCTURE ALONG A MAIN BEAM OF SAID STRUCTURE TO A POINT ON THE EAST SIDE OF SAID STRUCTURE; THENCE S. 88° 47' 00" E. 140.03 FEET TO A POINT; THENCE S. 88° 47' 00" E. 53.70 FEET TO THE POINT OF BEGINNING.

(PARCEL II)

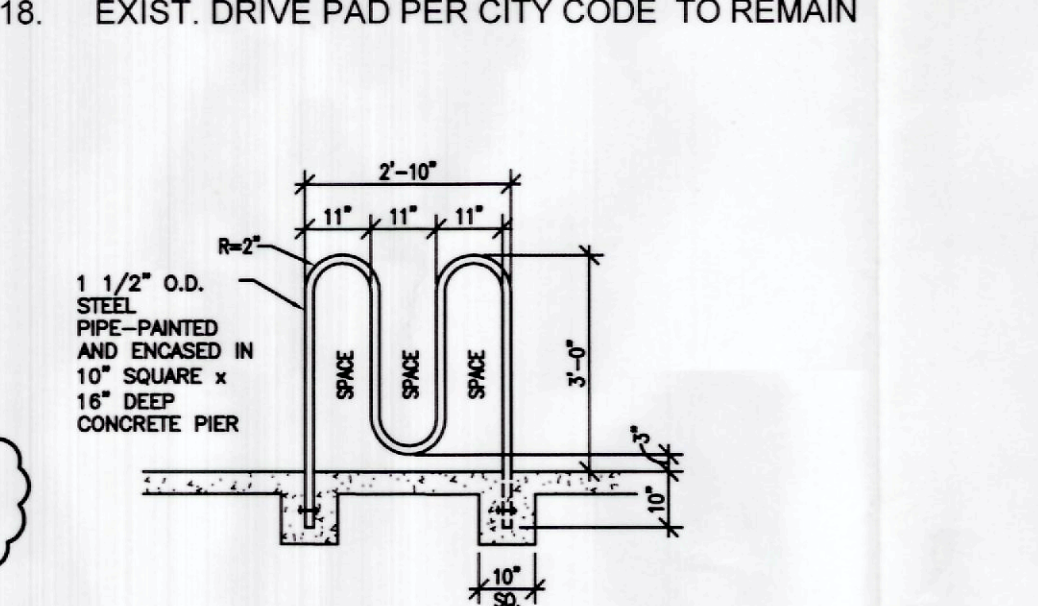
A TRACT OF LAND IN SCHOOL DISTRICT NO. 1, BERNALILLO COUNTY, NEW MEXICO, WHICH IS BOUNDED ON THE NORTH BY THE LAND BELONGING TO NEW MEXICO FELT MILLS, INC. ON THE SOUTH BY THE NORTHERLY RIGHT-OF-WAY LINE OF LILY STREET AND LOT "A" OF THE PARKER ADDITION, ON THE EAST BY THE WESTERLY RIGHT-OF-WAY LINE OF WILLIAMS STREET SE, AND ON THE WEST BY THE LASTERLY RIGHT-OF-WAY LINE OF THE A. T. & S. F. RAILWAY, SAID TRACT IS ALSO BOUND AND DESIGNATED AS TRACT NO. 187 ON AMENDED MAP NO. 41 OF THE SURVEY OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 28, 1941.

BEGINNING AT THE NORTHWEST CORNER OF THE TRACT HEREIN DESCRIBED, SAID CORNER BEING A POINT ALONG THE EASTERLY RIGHT-OF-WAY LINE OF THE A. T. & S. F. RAILWAY, AND ALSO BEING A COMMON CORNER OF TRACT 186, M.R.G.C.D., MAP NO. 41, THENCE S. 88° 00' 00" E. 28.00 FEET TO THE NORTHEAST CORNER OF THE TRACT HEREIN DESCRIBED, SAID CORNER BEING A POINT ALONG THE WESTERLY RIGHT-OF-WAY LINE OF WILLIAMS STREET SE, AND COMMON CORNER OF THE HEREIN DESCRIBED TRACT 186, THENCE S. 88° 00' 00" E. 49.07 FEET TO THE SOUTHWEST CORNER OF THE TRACT HEREIN DESCRIBED, SAID CORNER BEING A POINT OF INTERSECTION WITH THE WESTERLY RIGHT-OF-WAY OF WILLIAMS STREET SE, AND THE NORTHERLY SOUTHWEST CORNER OF THE TRACT HEREIN DESCRIBED, SAID CORNER BEING A COMMON CORNER OF LOT 1, ALBOS LOTS 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 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700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

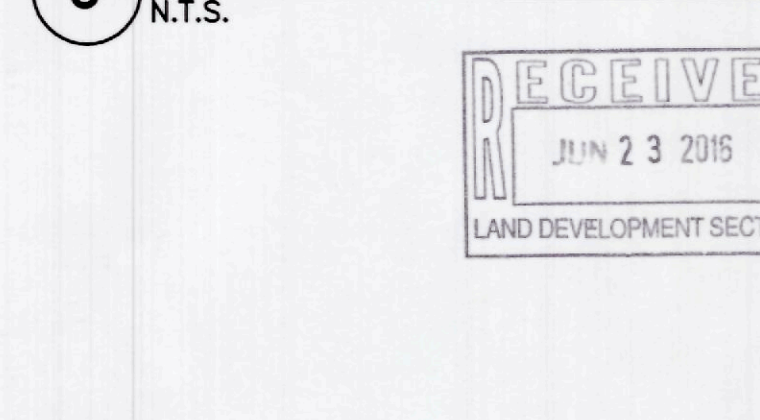


KEYED NOTES

- EXISTING FIRE HYDRANT
- TRASH DUMPSTER PAD
- SITE ENTRY
- SLIDING METAL ENTRY GATE
- LARGE VEHICLE (MOTOR HOME) PARKING W/ CONC. BUMPERS
- STANDARD VEHICLE PARKING W/CONC. BUMPERS
- COMPACT CAR PARKING W/ CONC. BUMPERS
- MOTORCYCLE PARKING PER CHAPTER 14-16-3-1, SECTION C [1-25 SPACES = 1]
- EXISTING 6' WIDE CONCRETE SIDEWALK
- NEW 6' WIDE CONC. SIDEWALK
- NEW 12' WIDE FENCE GATE FOR FIRE DEPT USAGE
- EXISTING CONCRETE VEHICLE RAMP TO BLDG.
- SEE LANDSCAPE PLAN LS-1 FOR LANDSCAPING AND IRRIGATION
- BICYCLE RACK - SEE DTL. 4/TCL-1
- ASPHALT PAVEMENT FLUSH WITH SIDEWALK
- HANDICAP PARKING SIGNAGE - SEE DTL. 3/TCL-1
- 35' CLEAR SIGHT ANGLE PER CODE
- EXIST. DRIVE PAD PER CITY CODE TO REMAIN



ADA PARKING SIGN



CITY OF ALBUQUERQUE
"SOLID WASTE"
MANAGEMENT DEPARTMENT
APPROVED
For TCL Michael Anaya.

XTREME STORAGE
ARCHITECTURAL SITE PLAN - PARCEL III
ALBUQUERQUE, NM
PROJECT #573

REVISION DATE CITY PERMIT COMMENTS 6/23/16
STATE OF NEW MEXICO RICHARD P. BENNETT No. 1240 6/23/2016 REGISTERED ARCHITECT
RBA ARCHITECTURE PC PLANNING DESIGN 1000 1st Ave. NE Albuquerque, NM 87102 505.243.1111 www.rba.com
DATE 5/20/2016
SHEET NUMBER TCL-1