

CITY OF ALBUQUERQUE



February 3, 2020

Freddie Montoya Architect
Freddie Montoya, RA
2336 Sunshine Rd SW
Albuquerque, NM

Re: TI @ 1430 Broadway SE
1430 Broadway Blvd SE
Traffic Circulation Layout
Engineer's/Architect's Stamp 1/31/20 (L14D062)

Dear Mr. Montoya

The TCL submittal received 1-31-2020 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

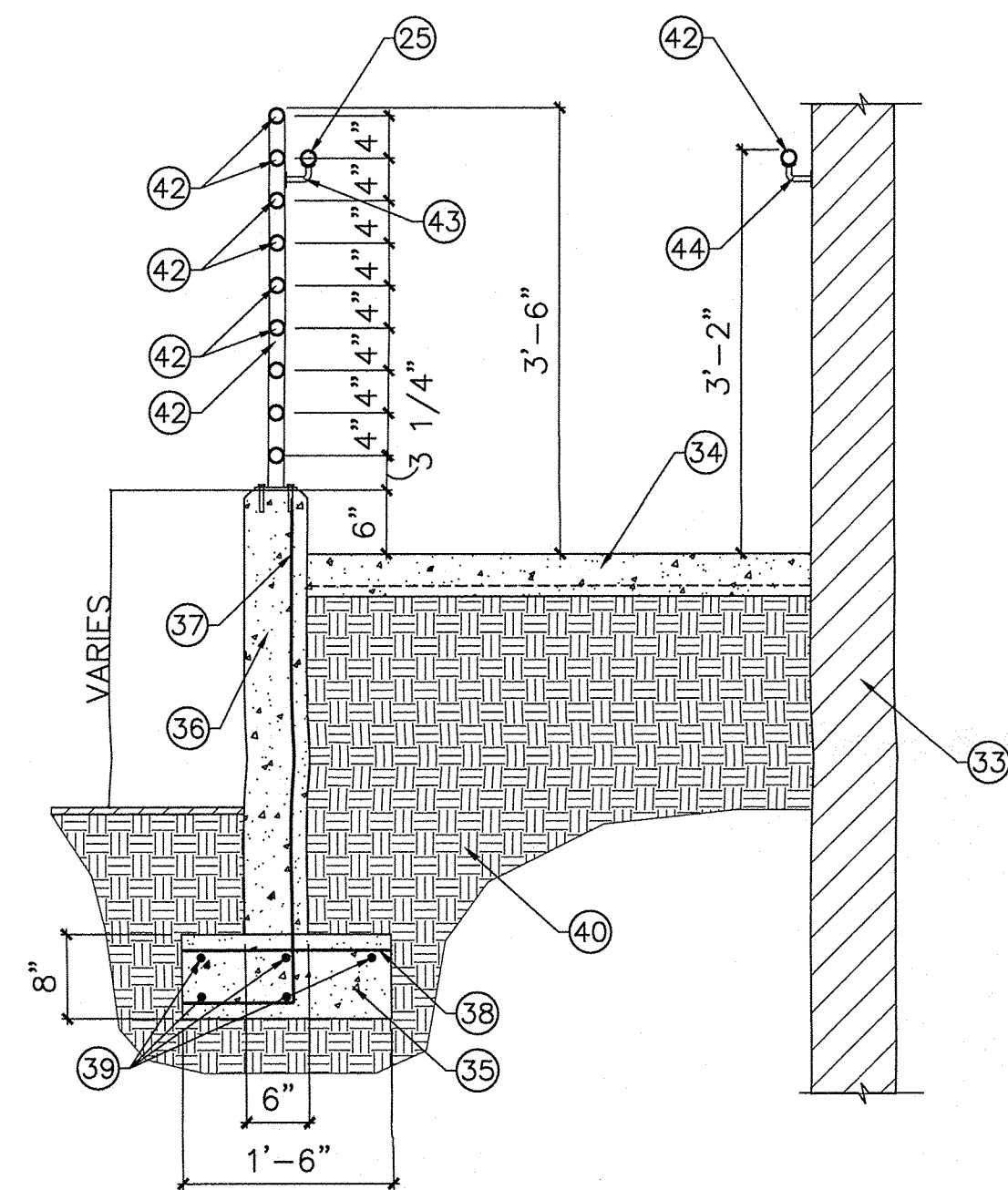
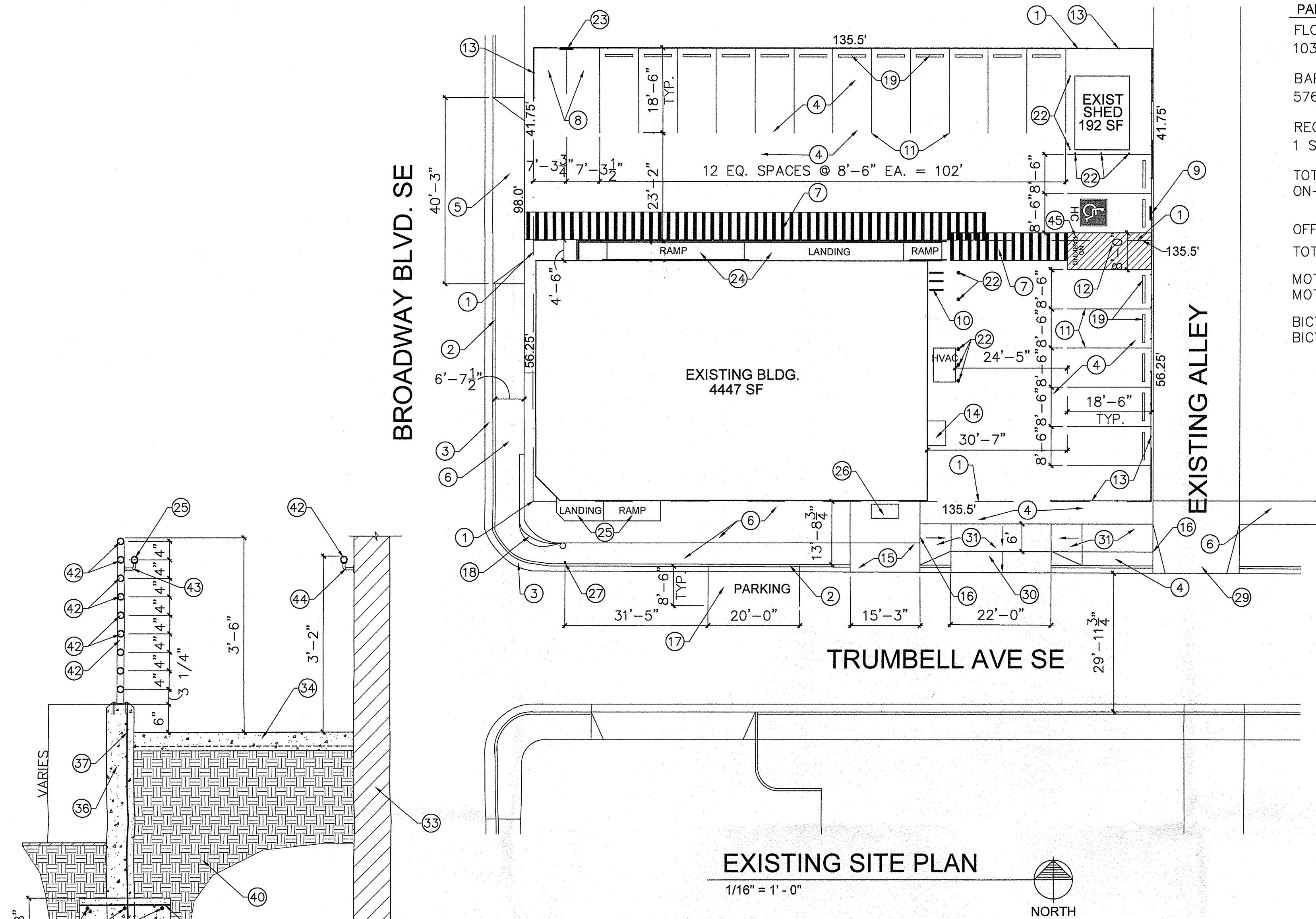
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

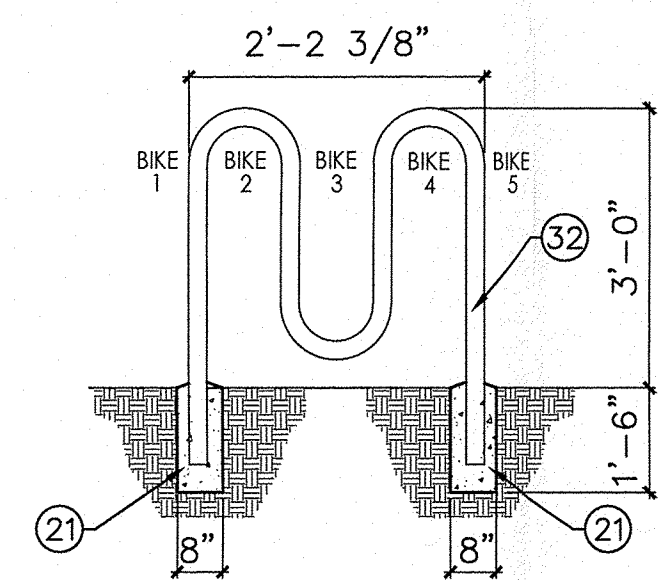
Ernie Gomez,
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File

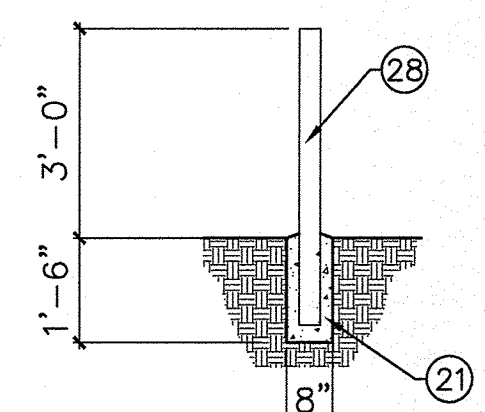


4
TCL
RAMP/LANDING DETAIL
SCALE 3/4" = 1' - 0"

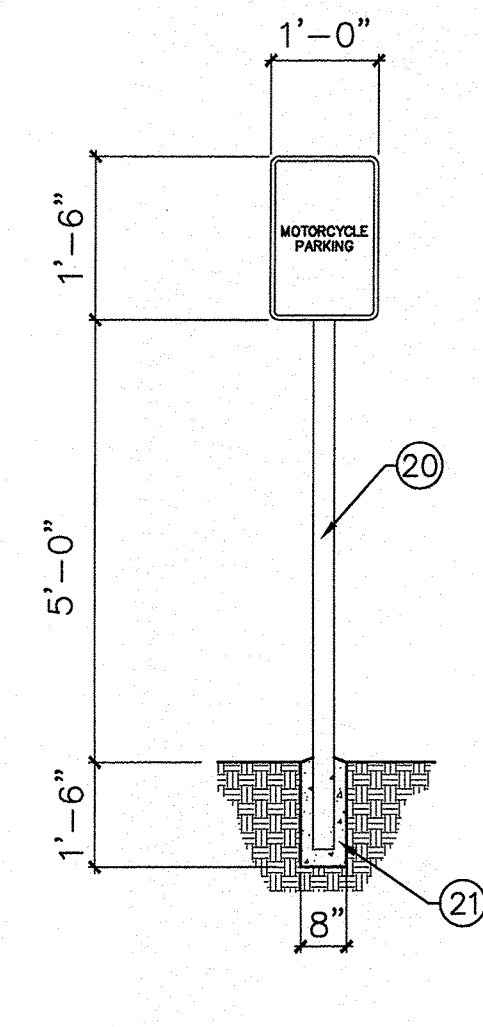
NOTE: RAMPS & LANDINGS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% & RAMPS SHALL HAVE A MAXIMUM RUNNING SLOPE OF 8%.



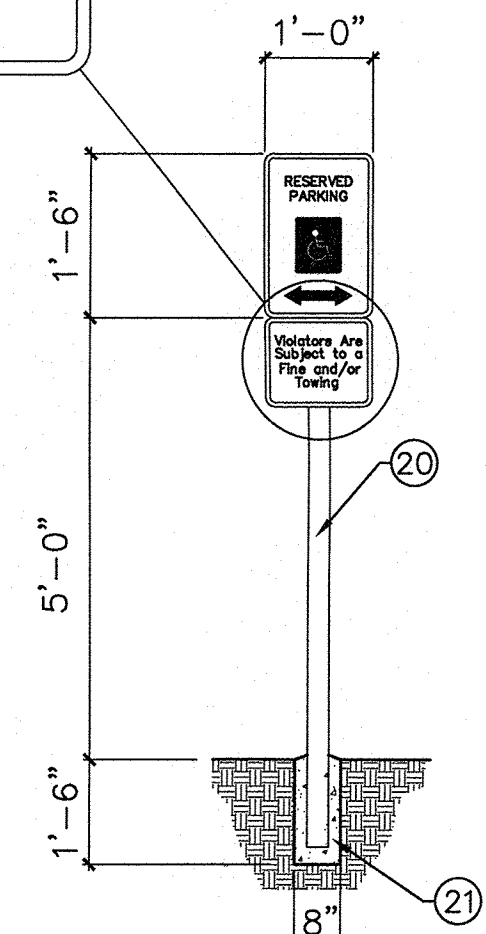
4
TCL
BIKE RACK DETAIL
NOT TO SCALE



3
TCL
BOLLARD DETAIL
NOT TO SCALE

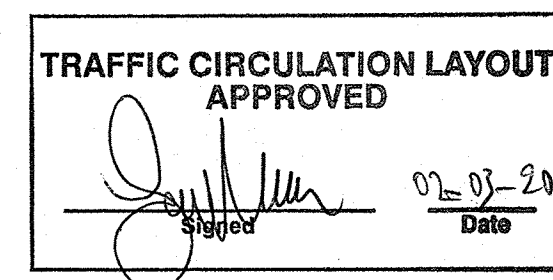


2
TCL
MOTORCYCLE PARKING SIGN
NOT TO SCALE



1
TCL
H.C. PARKING SIGN
NOT TO SCALE

PARKING REQUIREMENTS
 FLOWER SHOP AREA - 1,035 SF
 1035/250 = 4 PARKING SPACES REQUIRED
 BARBER SHOP AREA - 576 SF
 576/250 = 2 PARKING SPACES REQUIRED
 RECEPTION HALL
 1 SPACE PER 6 SEATS = 12 PARKING SPACES REQUIRED
 TOTAL PARKING SPACES REQUIRED - 18
 ON-SITE PARKING SPACES PROVIDED - 19 INCLUDING 1 HC
 OFF SITE PARKING SPACES PROVIDED - 1
 TOTAL PARKING SPACES PROVIDED - 20
 MOTORCYCLE SPACES REQUIRED - 2
 MOTORCYCLE PARKING SPACES PROVIDED - 2
 BICYCLE SPACES REQUIRED - 3
 BICYCLE PARKING SPACES PROVIDED - 3



ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

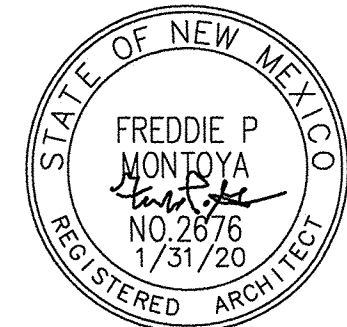
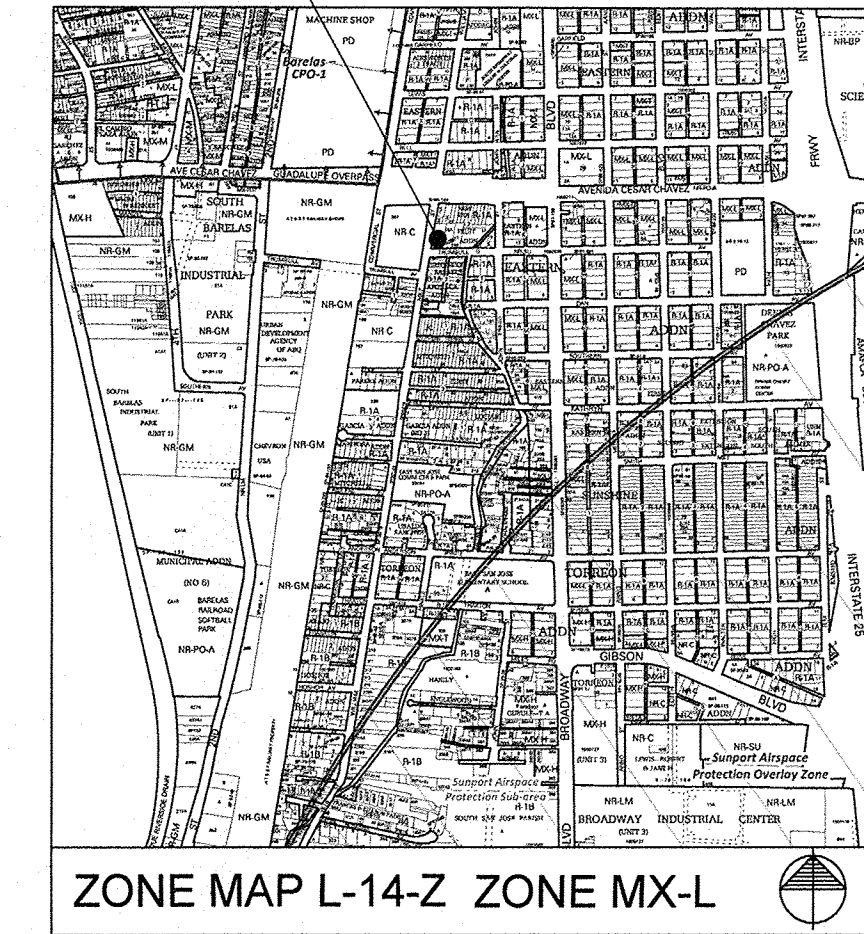
GENERAL NOTES:

A. ALL BROKEN OR CRACKED SIDEWALK SHALL BE REPLACED WITH SIDEWALK AND GUTTER PER CITY DETAIL #2430.

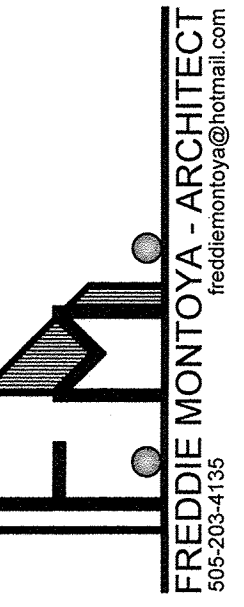
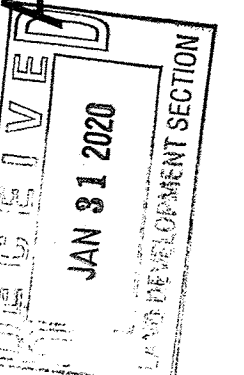
KEYED NOTES:

1. PROPERTY LINE.
2. EXISTING CONCRETE CURB.
3. EXISTING GUTTER.
4. EXISTING PAVED PARKING AREA.
5. EXISTING DRIVEWAY.
6. EXISTING SIDEWALK.
7. 6' WIDE HC ACCESSIBLE PEDESTRIAN PATHWAY.
8. MOTORCYCLE PARKING SPACE.
9. HC PARKING SIGN. SEE DETAIL 1/TCL.
10. BICYCLE PARKING RACKS FOR 5 BICYCLES. SEE DETAIL 4/TCL.
11. NEW PARKING STRIPING ON EXISTING PAVED AREA.
12. 8' WIDE STRIPED ACCESSIBLE HC PARKING AISLE.
13. EXISTING CHAINLINK FENCE ON PROPERTY LINE.
14. CONCRETE DOOR STOOP. SEE SHEET A-2.
15. EXISTING CONCRETE PAD.
16. LINE OF EXISTING PAVING.
17. OFF-SITE PARKING SPACE.
18. EXISTING CONCRETE STAIR.
19. 6" X 6' LONG PARKING BUMPERS (TYP.).
20. 3" DIA. GALVANIZED PIPE.
21. 3000 PSI CONCRETE FOOTING.
22. CONCRETE FILLED PIPE BOLLARDS, PAINTED YELLOW. SEE DETAIL 3/TCL.
23. MOTORCYCLE PARKING SIGN. SEE DETAIL 2/TCL.
24. CONCRETE RAMPS AND LANDINGS. SEE DETAIL 4/TCL.
25. EXISTING CONCRETE RAMP, LANDING AND HANDRAIL.
26. EXISTING CASTERED 4 CU. YD. DUMPSTER.
27. LOCATION OF EXISTING STOP SIGN.
28. 3" SCH 40 STEEL PIPE BOLLARD, FILL WITH 3000 PSI CONCRETE (PAINTED YELLOW). SEE DETAIL 3/TCL.
29. EXISTING CONCRETE DRIVE PAD.
30. NEW CONCRETE DRIVEWAY APRON. PER NM DEPT. OF TRANSPORTATION STANDARD DETAIL 2B.
31. NEW CONCRETE SIDEWALK. 2% MAX. CROSS SLOPE.
32. 2 3/8" STEEL TUBING X .154 WALL THICKNESS STEEL TUBING.
33. EXISTING EXTERIOR CMU WALL.
34. CONCRETE SLAB, 4" THICK 3000 PSI CONCRETE W/ 6X6-10/10 WWF.
35. 3000 PSI CONCRETE FOOTING.
36. 3000 PSI CONCRETE RETAINING WALL.
37. #4 DOWELS @ 32" O.C..
38. #4 REBAR @ 32" O.C..
39. 5 #4 REBAR CONTINUOUS.
40. COMPACTED EARTH, 95% COMPACTION.
41. 1 1/2" DIA. STEEL VERTICAL RAIL, PAINTED (TYPICAL).
42. 1 1/2" DIA. STEEL HORIZONTAL RAIL, PAINTED (TYPICAL).
43. 1/2" DIA. STEEL ROD BRACKET WITH 1 1/2" X 1 1/2" X 1/8" STEEL PLATE WELDED TO VERTICAL STEEL TUBE RAILS. PAINTED.
44. 1/2" DIA. STEEL ROD BRACKET WITH 1 1/2" X 1 1/2" X 1/8" STEEL PLATE ANCHORED TO EXISTING CMU WALL W/ (2) 3/8" X 4" L. EXPANSION ANCHOR BOLTS. PAINTED.
45. PROVIDE THE ADA ACCESS AISLE WITH THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE 2' HIGH AND 2" WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE THE ADJACENT VEHICLE'S REAR TIRE WOULD BE PLACED.

PROJECT LOCATION



A TENANT IMPROVEMENT AT 1430 BROADWAY BLVD. SE
 ALBUQUERQUE, NEW MEXICO



JANUARY 2020

TCL

**Figure 23.6.3****RECIPROCAL EASEMENTS FOR COMMON ACCESS**

This Easement Agreement is entered into between Carlos Perez owner of Lot #11 in Block #38 of the Eastern Addition to the City of Albuquerque, County of Bernalillo, New Mexico and Carlos Perez owner of Lot #12 in Block #38 of the Eastern Addition to the City of Albuquerque, County of Bernalillo, New Mexico.

The parties have an interest in adjoining real estate situated in the City of Albuquerque, County of Bernalillo, State of New Mexico and described as follows:

Lots #11 and 12 in Block #38 of the Eastern Addition to the City of Albuquerque, County of Bernalillo, New Mexico.

The parties desire to create a common access easement between the above-described adjoining lots providing access, from a single access point on the abutting street, to said lots owned by them for the benefit of each of them; and therefore agree as follows.

An easement for a common access in favor of Lot #11, owned by Carlos Perez, is created over the strip of land 49 feet wide along the (east) boundary line of Lot (#12) owned by Carlos Perez and an easement for a common access in favor of Lot (12), owned by Carlos Perez, is created over the strip of land (46) feet wide along the (north) boundary of Lot (#11), owned by (Carlos Perez) for the purpose of creating a common access for the benefit of both of the above described lots.

This easement is superior and paramount to the rights of any of the parties hereto in the respective servient estates so created, and the parties further agree that it is a covenant that shall run with the land.

The maintenance of the easement areas are the responsibility of the respective property owners.

In witness whereof, the parties hereto have executed this agreement as follows:

ACKNOWLEDGED:

Date 01-31-2020

Carlos H. Perez

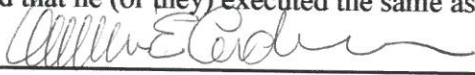
Owner #1



WITNESSED:

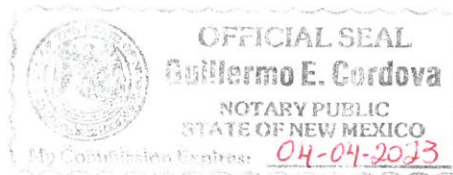
**STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)**

On this 31 day of January, 2020, before me personally appeared Carlos Perez, and to me known to be the person described in and who executed the foregoing instrument, and acknowledged that he (or they) executed the same as his (or their) free act and deed.


Notary 1st Party


My Commission Expires

04-04-2023 :



ACKNOWLEDGED:

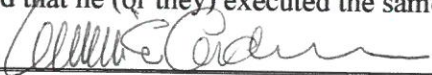
Date 01-31, 2020


Owner #2

WITNESSED:

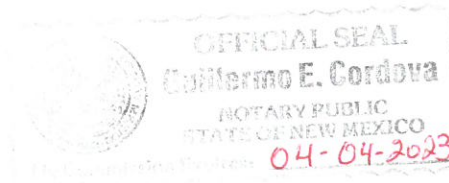
**STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)**

On this 31 day of January, ²⁰²⁰~~19~~, before me personally appeared Carlos Perez and to me known to be the person described in and who executed the foregoing instrument, and acknowledged that he (or they) executed the same as his (or their) free act and deed.


Notary 2nd Party

My Commission Expires:

04-04-2023



APPENDIX J

SHARED PARKING AGREEMENT

Agreement No. 01-2020 1430 BTI

Date of Agreement: 01-30-2020

SHARED PARKING AGREEMENT

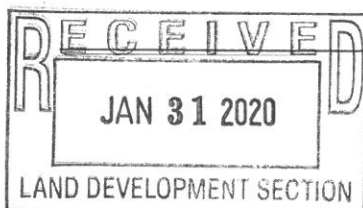
In conjunction with the development of a TI at 1430 Broadway Blvd, SE, located at 1420 Broadway Blvd, SE (the "Property") for which the legal description is attached as *Exhibit A*, the City of Albuquerque has allowed, and Carlos Perez ("Owner") has elected, to reduce off-street parking requirements based upon Section 14-16-3-1-D-6 of the Zoning Ordinance of the City of Albuquerque and currently known proposed tenant uses. The approved site plan, as shown on *Exhibit B*, includes parking and the reduced parking calculations, as shown on *Exhibit C* attached hereto. Under this site plan and using the proposed tenant uses, 18 spaces are required and 19 spaces are provided.

The Owner, and its successors and assigns, agrees that it will not change the tenant uses at the Property in a manner that increases the number of required parking spaces unless additional spaces are provided. In the event that there are changes to the tenant uses, which would increase the number of required parking spaces at the Property, the parking calculations shall be updated by the Owner to reflect such change and presented to the City.

Furthermore, the Owner agrees that the Property shall operate an open/shared parking arrangement, whereby, the Owner shall not segregate property access/parking rights or significantly impair access to parking on the Property by users of any portion of the Property.

The foregoing shall not, however, impair the right of the Owner or its successors to declare exclusive parking areas for such items as employee parking, handicap spaces, loading, designated timed areas such as "15 minute" temporary parking areas, or any other areas set forth on any site plan of the Property approved by the City, or to take commercially reasonable actions to prevent parking in areas which are not designated parking spaces on the site plan.

No sale or transfer of all or any portion of the Property shall be deemed to void or violate this Agreement. The terms of this Agreement shall bind the Owners, successors, and assigns. This Agreement can be



City of Albuquerque Zoning Code

Page Rev. 10/2002

Doc# 202009903

01/31/2020 12:52 PM Page: 1 of 6
AGRE R \$25.00 Linda Stover, Bernalillo County

amended by the mutual consent of the Owner and the City of Albuquerque. THIS AGREEMENT SHALL BE RECORDED WITH THE BERNALILLO COUNTY CLERK'S OFFICE PRIOR TO ISSUANCE OF A BUILDING PERMIT FOR THE PROPERTY.

PARKING AGREEMENT

IN WITNESS WHEREOF, the parties have executed this Agreement on the date noted below.

Carlos Pérez
Owner (applicant)

01-31-2020
Date

Carlos Pérez
Owner (off-site parking area)

01-31-2020
Date

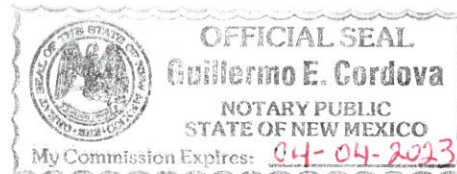
City of Albuquerque,
Planning Director

Date

Approved as to Form – City Attorney

Date

STATE OF NEW MEXICO)
County of Bernalillo) ss.



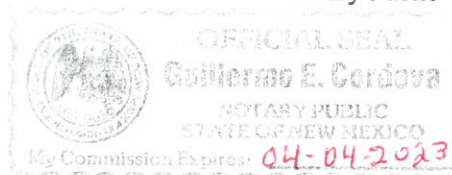
The foregoing instrument was acknowledged before me this 31 day of January, 2020 by Carlos Pérez, on behalf of the Owner.

My Commission Expires

04-04-2023

Guillermo E. Cordova
Notary Public

STATE OF NEW MEXICO)
County of Bernalillo) ss.



The foregoing instrument was acknowledged before me this 31 day of January, 2020 by Carlos Pérez of the City of Albuquerque on behalf of the City.

My Commission Expires:

04-04-2023

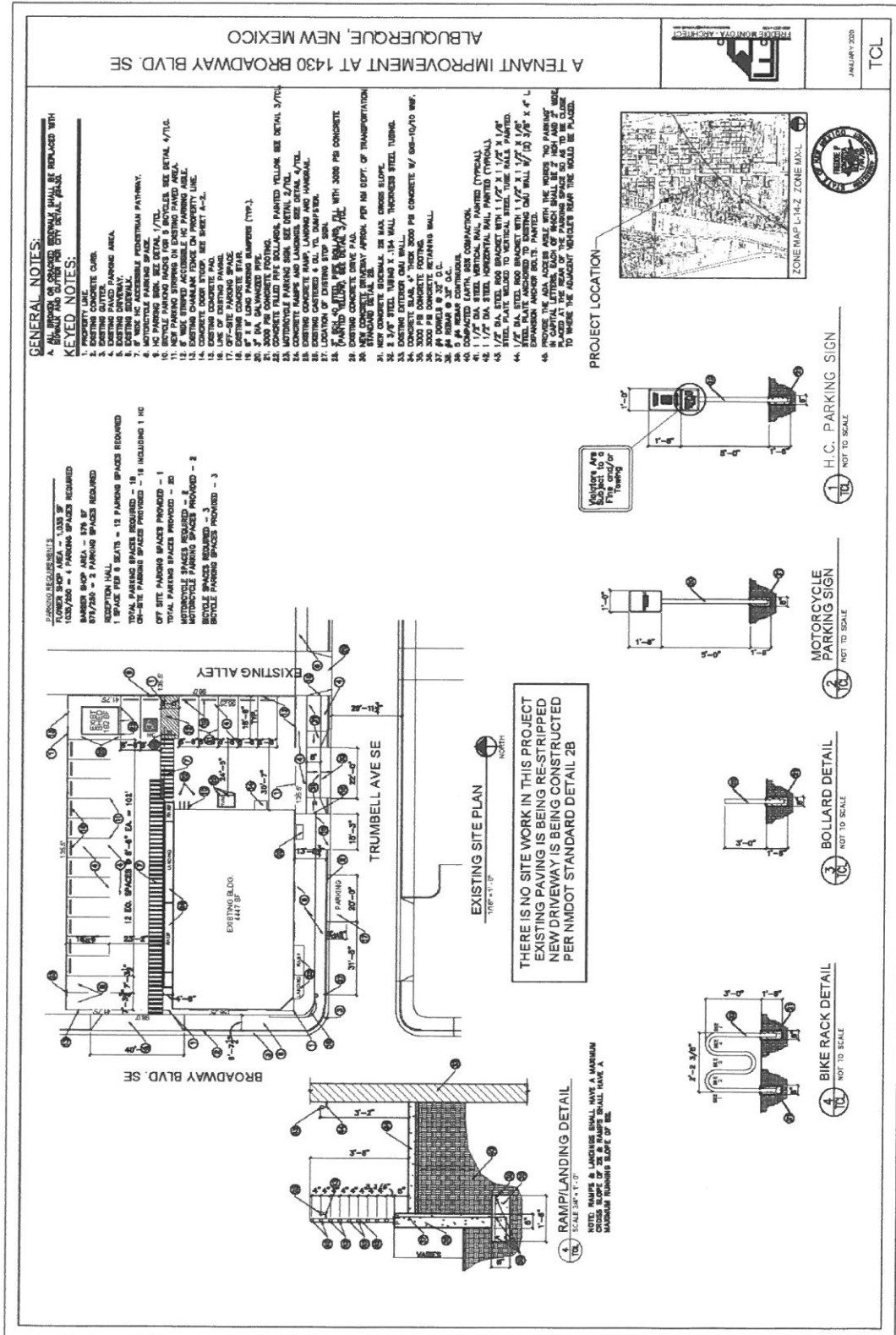
Guillermo E. Cordova
Notary Public

PARKING AGREEMENT

EXHIBIT A

Legal Description: Lots #11 and 12 of Block #38 of the Eastern Addition to the City of Albuquerque, County of Bernalillo, New Mexico

PARKING AGREEMENT

EXHIBIT B**SITE PLAN:**

SHARED PARKING CALCULATIONS

EXHIBIT C

The Planning Director or designee may authorize a reduction in the total number of required parking spaces for two or more uses jointly providing on-site parking subject to the following:

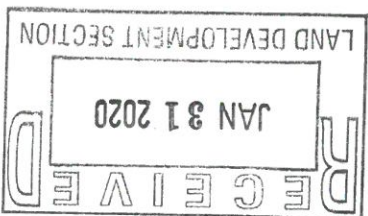
The respective hours of operation of the uses do not overlap, as demonstrated by the application of table a below. If one or all of the land uses proposing to use joint parking facilities do not conform to one of the general land use classifications in table a, the applicant shall submit sufficient data to indicate that there is not substantial conflict in the principal operating hours of the uses. Such data may include information from a professional publication such as those published by the Institute of Transportation Engineers (ITE) or the Urban Land Institute (ULI), or by a professionally prepared parking study.

Table A. Schedule of Shared Parking Calculations

General Land Use Classification	Weekdays			Weekends		
	midnight to 7 a.m.	7 a.m. to 6 p.m.	6 p.m. to mid.	midnight to 7 a.m.	7 a.m. to 6 p.m.	6 p.m. to mid.
Office and Industrial	5%	100%	5%	0%	60%	10%
Retail	0%	100%	80%	0%	100%	60%
Restaurant	50%	70%	100%	45%	70%	100%
Hotel	100%	65%	90%	100%	65%	80%
Cinema/theater	0%	70%	100%	5%	70%	100%

How to use the schedule of shared parking.

1. Calculate the number of spaces required for each use.
2. Applying the applicable general land use category to each proposed use, use the percentages to calculate the number of spaces required for each time period (six time periods per use).
3. Add the number of spaces required for all applicable land uses to obtain a total parking requirement for each time period.
4. Select the time period with the highest total parking requirement and use that total as your shared parking requirement.



					CORRECTIONS NEEDED 1/21/2020 MICHAEL PITTMAN BEYOND CONSTRUCTION. A OPERATIONAL PERMIT WILL BE REQUIRED. 1 - ON PAGE E-1 THE LIGHTS IN THE KITCHEN MUST BE EITHER SHATTER PROOF BULBS OR COVERED BY A PROTECTIVE SHIELD 2 - ENSURE RESTROOM DOORS ARE SELF CLOSING 3 - IS "FLOWER FRIDGE" BEING USED FOR FOOD STORAGE? IF SO, IT WILL NEED TO BE ANSI / NSF (OR EQUIVALENT) CERTIFIED FOR USE IN COMMERCIAL OPERATION 4 - DESIGNATE LOCKERS OR WHERE EMPLOYEE BELONGINGS WILL BE STORED. 5 - DESIGNATE WHERE TOXIC CHEMICALS WILL BE STORED THE ENVIRONMENTAL HEALTH PLAN REVIEW HAS FOUND THAT THE PLANS SUBMITTED INVOLVE AN ACTIVITY THAT MAY BE REGULATED BY THE ENVIRONMENTAL HEALTH DEPARTMENT, AIR QUALITY DIVISION, BEFORE YOU BEING ANY CONSTRUCTION, RENOVATION, DEMOLITION, OR SURFACE DISTURBANCE, YOU MAY HAVE TO OBTAIN ADDITIONAL PERMITS OR SUBMIT NOTIFICATION. EXAMPLES: FUGITIVE DUST CONTROL PERMIT, STATIONARY SOURCE PERMIT (FOR EMERGENCY BACKUP GENERATOR, GAS STATION, PAINT AND BODY SHOPS, DRY CLEANERS) AND ASBESTOS NOTIFICATION. FOR A LIST OF OTHER SOURCES THAT REQUIRE AIR QUALITY PERMITS, PLEASE GO TO www.cabq.gov/airquality/ OR CONTACT THE AIR QUALITY DIVISION AT (505) 768-1972.
Fire	Robert Nevarez	rnevarez@cabq.gov	Corrections Needed	INSPECTION REQUIRED PLANS REVIEWED AND DISAPPROVED ADDRESS IBC CONCERNS AND REFLECT ON FIRE 2	
Hydrology	Stanice Totient Elliott	staniceelliott@cabq.gov	Approved	APPROVED NO FINAL INSPECTION REQUIRED	
Mechanical	William Diz	wdiz@cabq.gov	Corrections Needed	Yes Final Inspection Required Reviewed: January 17, 2020 If you have any question please call me at (505) 924-3859. > See drawing M-1 for a comment.	
Plumbing	Dirk Shaw	dshaw@cabq.gov	Approved	Plumbing Final Inspection Required Reviewed: 01/22/2020 If you have any question please call me at (505) 924-3903 Thank You	
Solid Waste	Adrian Marez	amarez@cabq.gov	Approved with Conditions	NO CO APPROVED WITH CONDITIONS ADRIAN MAREZ 1-21-20 MUST NOT HINDER EXISTING REFUSE ENCLOSURE OR SERVICE AT SITE.	
Transportation	Stanice Totient Elliott	staniceelliott@cabq.gov	Corrections Needed	DISAPPROVED - A Traffic Circulation Layout (TCL) plan is required when new or modified changes are requested for site access, circulation for parking areas, and drive through facilities. A pre-design conference with this office is recommended. To schedule a meeting contact: Mojgan Masdandari 505-924-3675. * Follow procedures for TCL submittals as outlined on page 1, Section 17, Volume 1 of The City's Development Process Manual.	
Zoning	Concetta Trujillo	ctrujillo@cabq.gov	Corrections Needed	CO Yes Disapprove - Correct parking reception hall is one space per 6 seats in main assembly area. This site is not eligible for the 30% parking reduction. Peak frequency is 45 mins it needs to be 15 mins or less. 1/17/2020 Concetta Trujillo	