

CITY OF ALBUQUERQUE



January 29, 2020

Freddie Montoya Architect
Freddie Montoya, RA
2336 Sunshine Rd SW
Albuquerque, NM

Re: TI @ 1430 Broadway SE
1430 Broadway Blvd SE
Traffic Circulation Layout
Engineer's/Architect's Stamp 1/24/20 (L14D062)

Dear Mr. Montoya

Based upon the information provided in your submittal received 1-24-20, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please callout sidewalk width off Broadway.
2. Please callout width of Trumbell Ave SE.
3. Clarify existing property lines and proposed property lines. Property appears to have 2 addresses. (1430 & 1420 Broadway Blvd SE)
4. Parking spaces cannot cross over lot lines.
5. Please add note: The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
6. Please add note for Pipe Bollard color, Yellow.
7. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.
8. Please specify the City Standard Drawing Number when applicable. Add side walk standard drawing #.
9. Please include a copy of your shared access agreement with the adjacent property owner.
10. Please include a copy of the shard parking agreement with the adjacent property owner.
11. Please re-plat or provided access and parking agreements.
12. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.

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13. Please add ramp detail to TCL Plan. Include notes: Not to exceed Max running slope of 8.0% and Max Cross slope of 2.0%
14. Please add a curb protection. See plan for location. Bike Rack and unidentified unit protected by Bollards.
15. Please remove off street parking stall between drive access and alley.
16. Please include one copy of the traffic circulation layout at the next submittal.

Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to PLNDRS@cabq.gov at time of resubmittal. If you have any questions, please contact Ernie Gomez (505) 924-3981.

Sincerely,

Ernie Gomez
Plan Checker, Transportation & Hydrology
Development Review Services

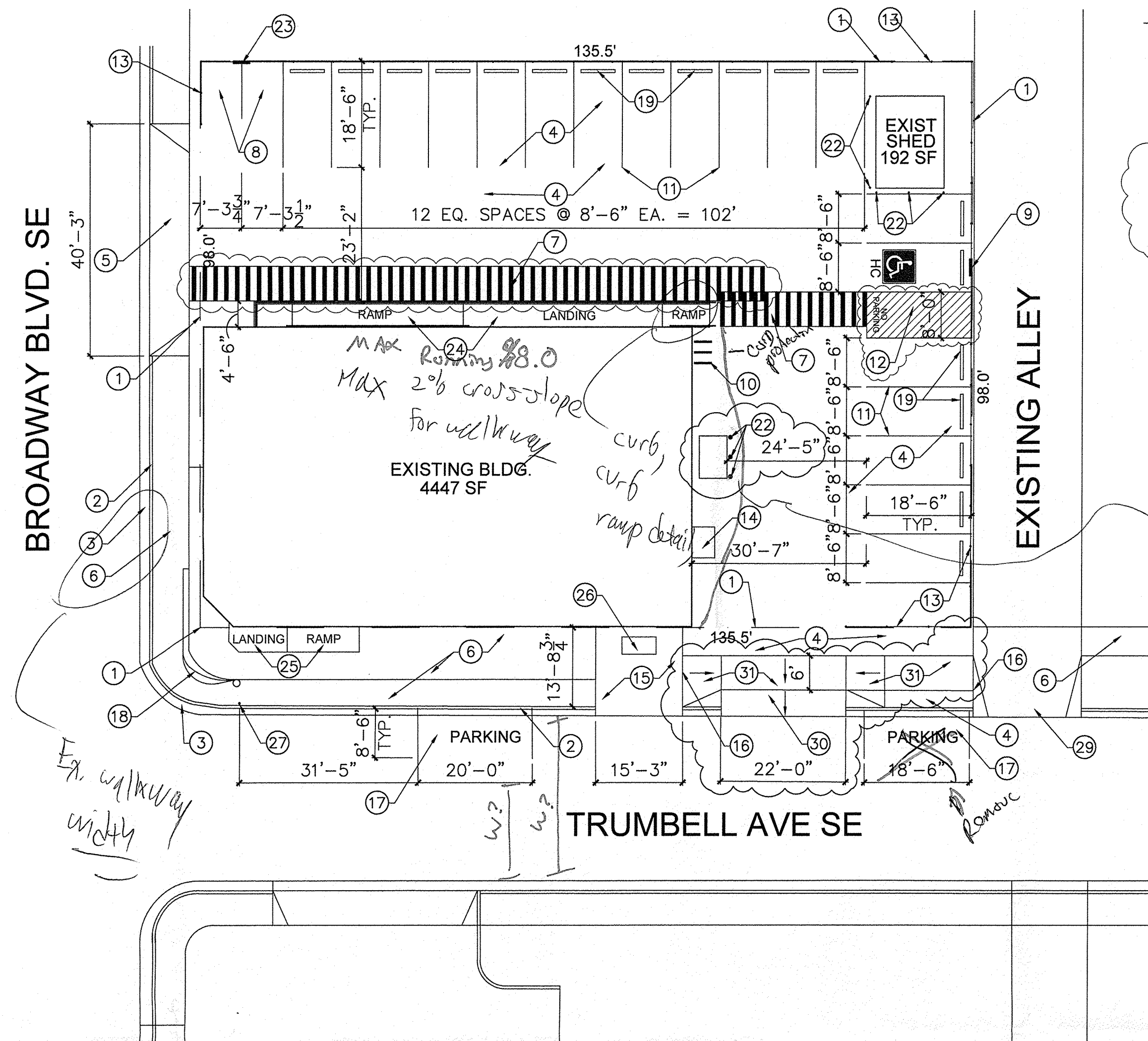
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EG via: email
C: CO Clerk, File

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EXISTING SITE PLAN

1/16" = 1' - 0"



THERE IS NO SITE WORK IN THIS PROJECT
EXISTING PAVING IS BEING RE-STRIPPED
NEW DRIVEWAY IS BEING CONSTRUCTED
PER NMDOT STANDARD DETAIL 2B

PARKING REQUIREMENTS
FLOWER SHOP AREA - 1,035 SF
1035/250 = 4 PARKING SPACES REQUIRED

BARBER SHOP AREA - 576 SF
576/250 = 2 PARKING SPACES REQUIRED

RECEPTION HALL
1 SPACE PER 6 SEATS = 12 PARKING SPACES REQUIRED

TOTAL PARKING SPACES REQUIRED - 18
ON-SITE PARKING SPACES PROVIDED - 19 INCLUDING 1 HC

OFF SITE PARKING SPACES PROVIDED - 2
TOTAL PARKING SPACES PROVIDED - 20

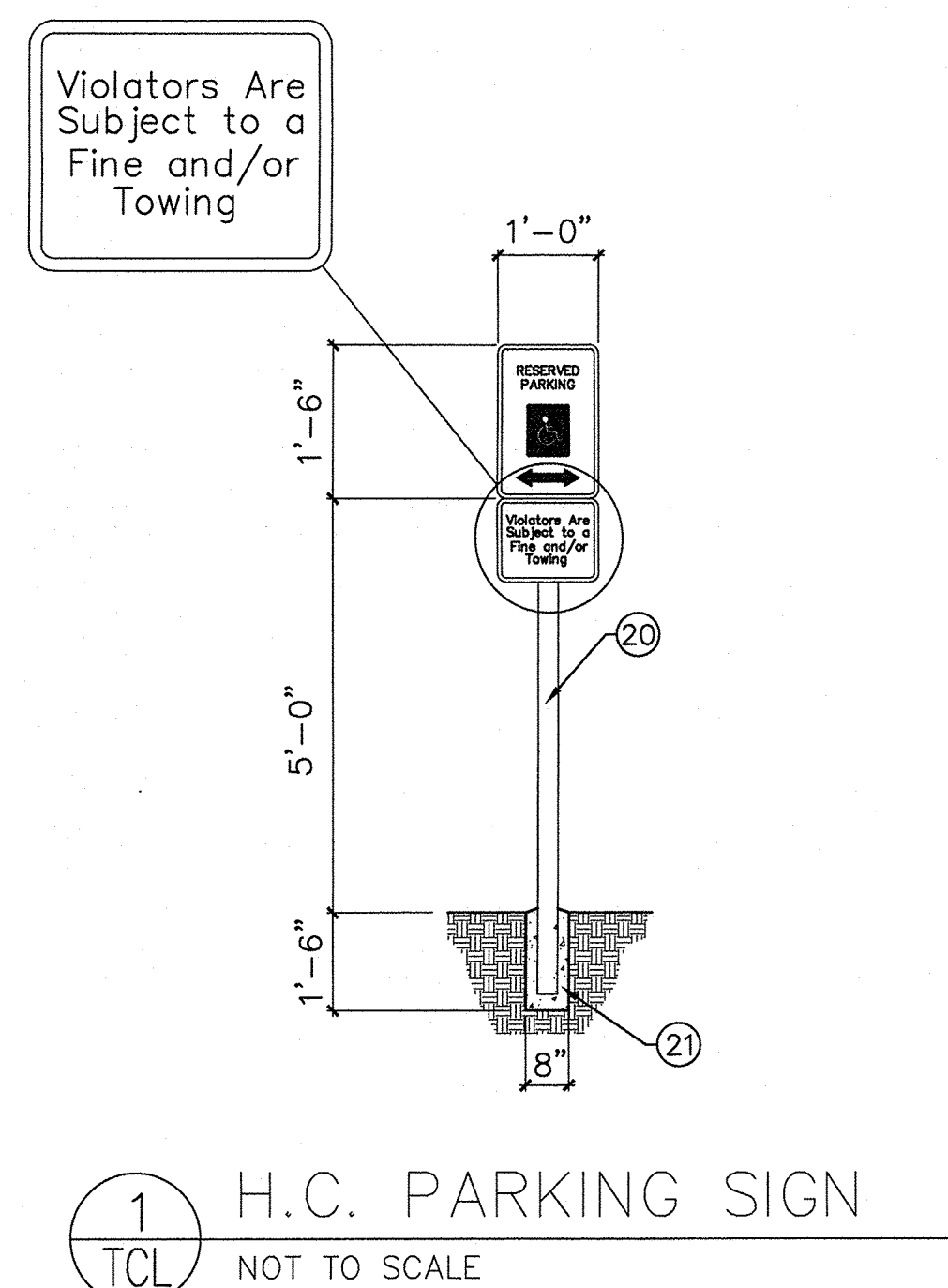
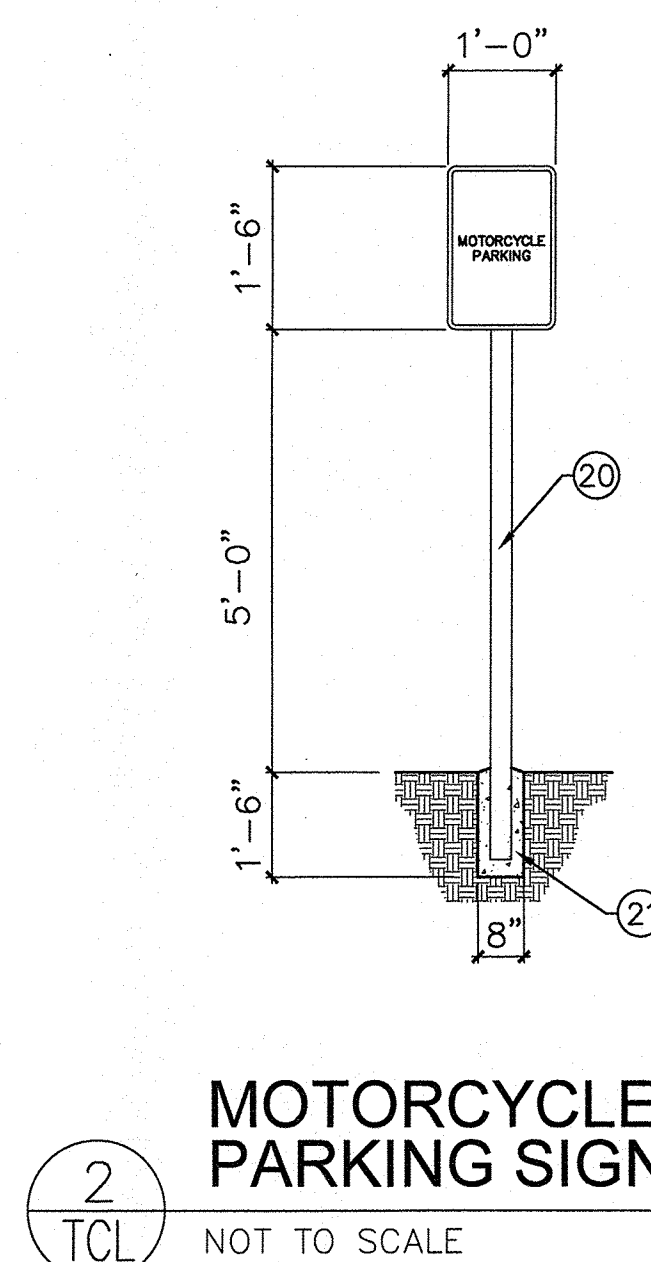
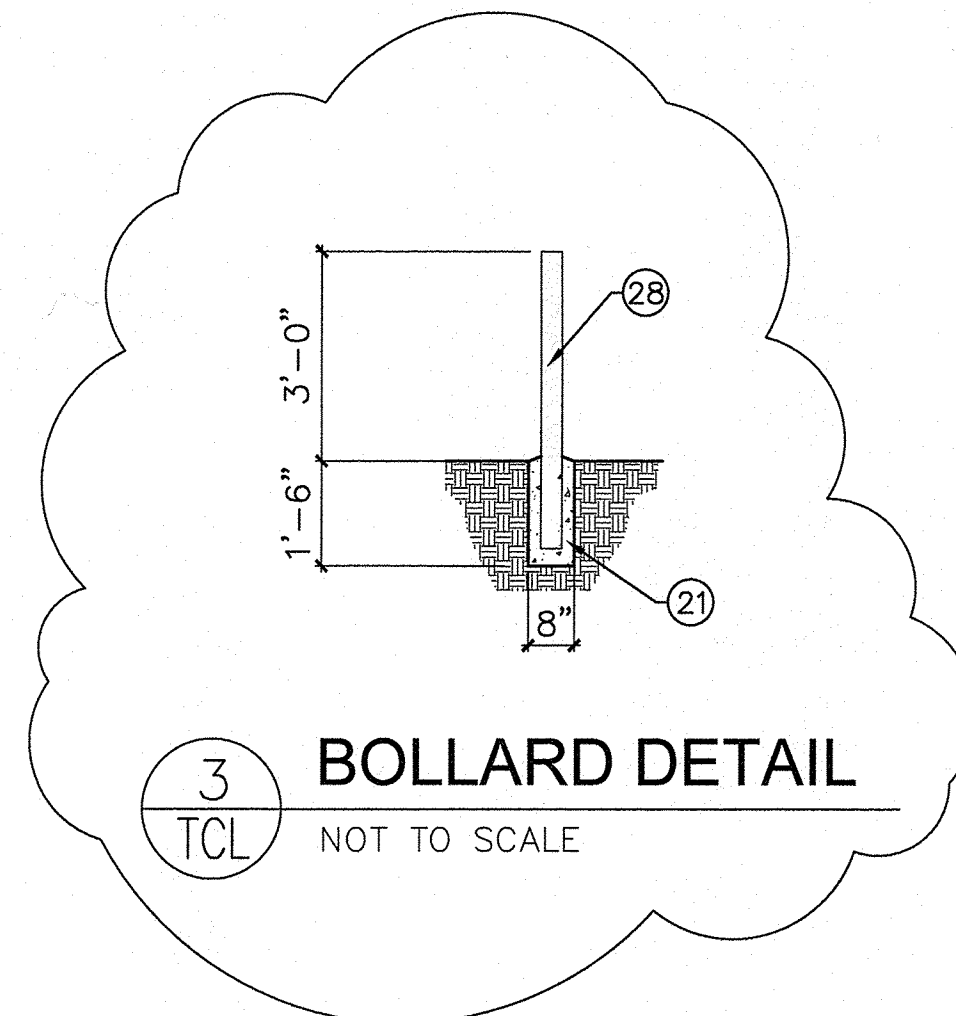
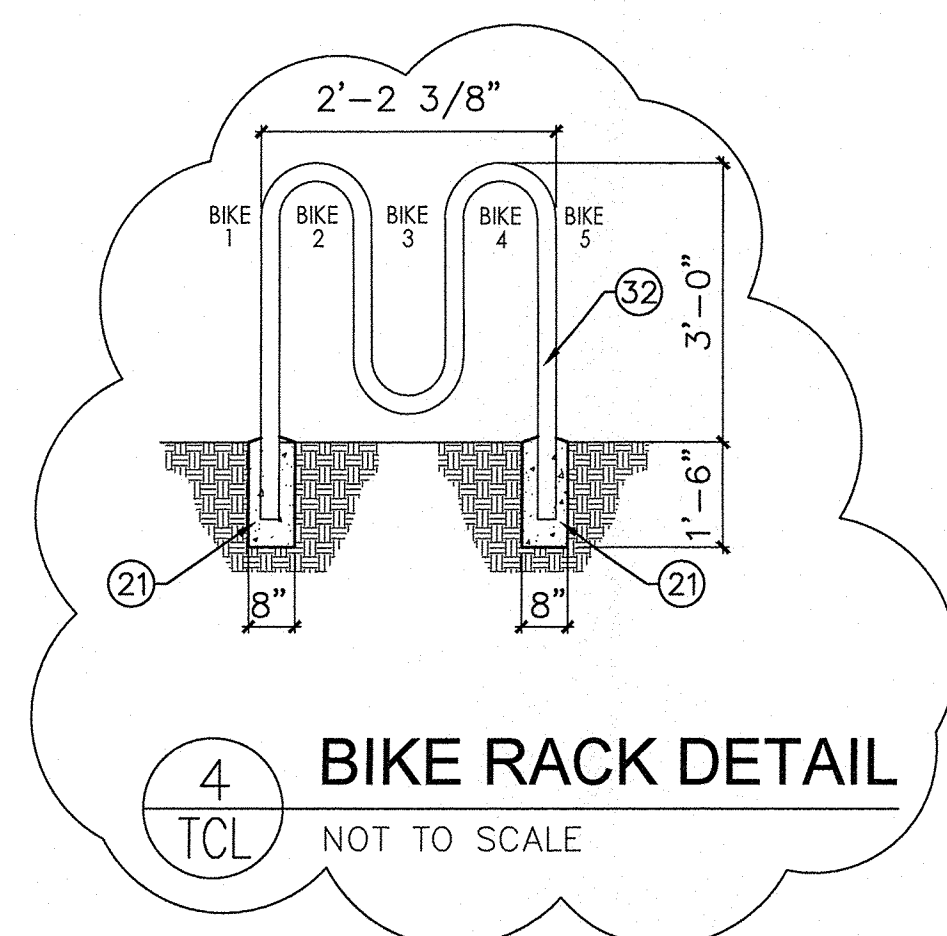
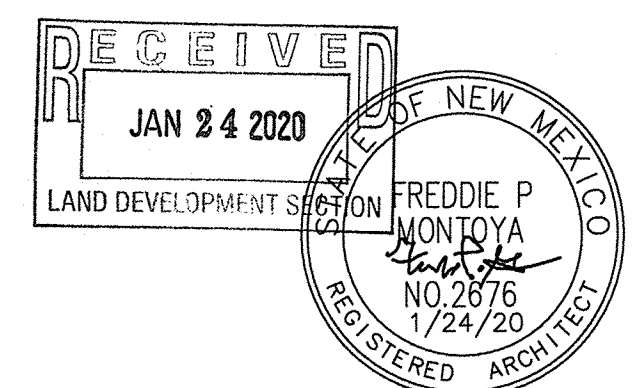
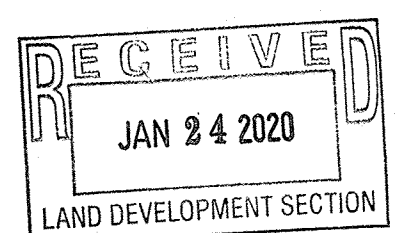
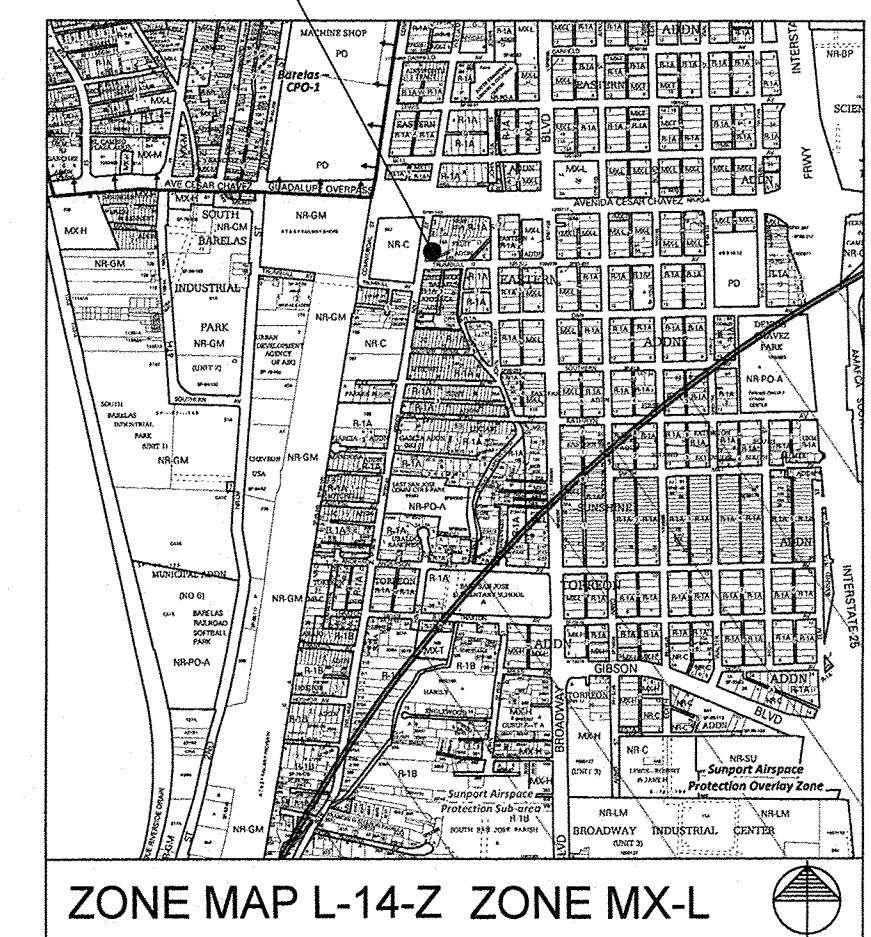
MOTORCYCLE SPACES REQUIRED - 2
MOTORCYCLE PARKING SPACES PROVIDED - 2

BICYCLE SPACES REQUIRED - 3
BICYCLE PARKING SPACES PROVIDED - 3

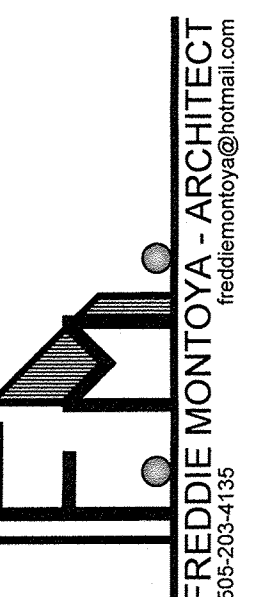
KEYED NOTES:

1. PROPERTY LINE.
2. EXISTING CONCRETE CURB.
3. EXISTING GUTTER.
4. EXISTING PAVED PARKING AREA.
5. EXISTING DRIVEWAY.
6. EXISTING SIDEWALK.
7. 6' WIDE HC ACCESSIBLE PEDESTRIAN PATHWAY.
8. MOTORCYCLE PARKING SPACE.
9. HC PARKING SIGN. SEE DETAIL 1/TCL.
10. BICYCLE PARKING RACKS FOR 5 BICYCLES. SEE DETAIL 4/TCL.
11. NEW PARKING STRIPING ON EXISTING PAVED AREA.
12. 8' WIDE STRIPED ACCESSIBLE HC PARKING AISLE.
13. EXISTING CHAINLINK FENCE ON PROPERTY LINE.
14. CONCRETE DOOR STOOP. SEE SHEET A-2..
15. EXISTING CONCRETE PAD.
16. LINE OF EXISTING PAVING.
17. OFF-SITE PARKING SPACE.
18. EXISTING CONCRETE STAIR.
19. 6" X 6' LONG PARKING BUMPERS (TYP.).
20. 3" DIA. GALVANIZED PIPE.
21. 3000 PSI CONCRETE FOOTING.
22. CONCRETE FILLED PIPE BOLLARDS. SEE DETAIL 3/TCL.
23. MOTORCYCLE PARKING SIGN. SEE DETAIL 2/TCL.
24. CONCRETE RAMPS AND LANDINGS. SEE DETAIL 5/A-3.
25. EXISTING CONCRETE RAMP, LANDING AND HANDRAIL.
26. EXISTING CASTERED 4 CU. YD. DUMPSTER.
27. LOCATION OF EXISTING STOP SIGN.
28. 3" SCH 40 STEEL PIPE BOLLARD, FILL WITH 3000 PSI CONCRETE. PROVIDE 3 BOLLARDS AT HVAC UNIT. SEE DETAIL 3/TCL.
29. EXISTING CONCRETE DRIVE PAD.
30. NEW CONCRETE DRIVEWAY APRON. PER NM DEPT. OF TRANSPORTATION STANDARD DETAIL 2B.
31. NEW CONCRETE SIDEWALK. 2% MAX. CROSS SLOPE.
32. 2 3/8" STEEL TUBING X .154 WALL THICKNESS STEEL TUBING.

PROJECT LOCATION



A TENANT IMPROVEMENT AT 1430 BROADWAY BLVD. SE ALBUQUERQUE, NEW MEXICO



JANUARY 2020

TCL