

D1 ZONE ATLAS PAGE L-14-Z
NOT TO SCALE

- CONCRETE SIDEWALK
PER DETAIL B4/C501
- CONCRETE PAVEMENT
PER DETAIL D4/C501
- PERMEABLE PAVEMENT
ADA COMPLIANT
- CRUSHER FINES
- GRAVEL PAVE 2
PERMEABLE PAVEMENT,
PER DETAIL D2/C501

TABULATED PARKING

REQUIRED PARKING FOR EXISTING CONDITIONS
NE CORNER 1518 GFA GLASS SCREEN SERVICE
COMMERCIAL SERVICES 3 SPACES / 1000 GSA=3

SOUTH WING 1220 GSA ART GALLERY
GENERAL RETAIL 2.5 SPACES / 1000 GFA=3

SMALL ENGINE REPAIR 2027 GFA
LIGHT VEHICLE REPAIR 1 SPACE / 1000 GFA=2

WEST WING 4984 GFA SHOP SPACES
LIGHT VEHICLE REPAIR 1 SPACE / 1000 GFA=4

REQUIRED PARKING FOR EXISTING USES
ROUNDED DOWN AT EACH STEP PER IDO = 12

PARKING AVAILABLE

BUILDINGS FACING 4TH STREET SW. 7 SPACES

WEST WING
13 AVAILABLE, INCLUDING ONE ELECTRIC VEHICLE CHARGING
STATION (COUNTS AS 2) AND ONE VAN POOL PARKING SPACE
(COUNTS AS 7) WILL REQUIRED ACCESS FROM BELL AVENUE
PLUS 4 FOOD TRUCKS WITH 20' LENGTH. (17 AVAILABLE)

TOTAL AVAILABLE ON SITE IS 28
PER 5-5(C)(5)(C)(2) 10% REDUCTION FOR TRANSIT IF PEAK
SERVICE FREQUENCY IS 45 MINUTES.
BRIDGE WESTGATE BUS SERVICE LINE (PEAK FREQUENCY 45)

NEW ADDITION(S)

PROPOSED 5547SF OF KITCHEN. PLUS 10 OFFICE WORK SPACES
(5547 SF).

KITCHEN SPACES 2 SPACES / 1000 GFA = 11 REQUIRED
OFFICES/WORK SPACES 2.5 SPACES / 1000 GFA = 13 REQUIRED

SHARED PARKING CALCULATIONS 5-5(C)(5)(b)

PARKING REQUIREMENT IS REDUCED BY FACTOR IN TABLE 5-5-3
(SHARED PARKING REDUCTION FACTORS)
FOOD, BEVERAGE SHARED WITH OTHER NON-RESIDENTIAL
FACTOR IS 1.7 (APPLIED TO LARGES PARKING REQUIREMENT)

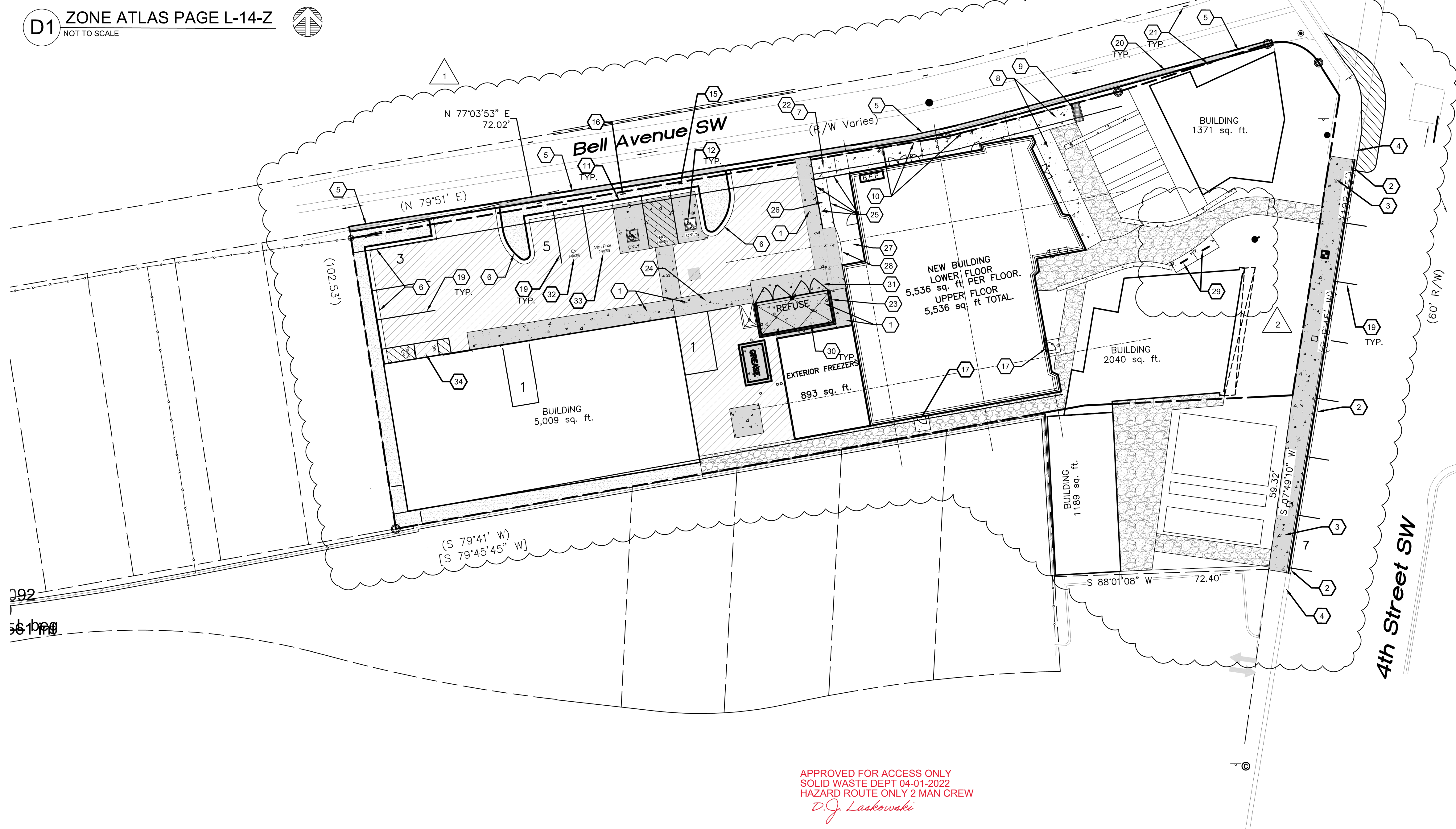
FOR NEW BUILDING = 24/1.7 = 14

ADDS 14 NEW TO THE 12 EXISTING REQUIRED FOR BLDGS TO
REMAIN.
=26 REQUIRED TOTAL

AFTER 10% REDUCTION FOR TRANSIT= 23 REQUIRED

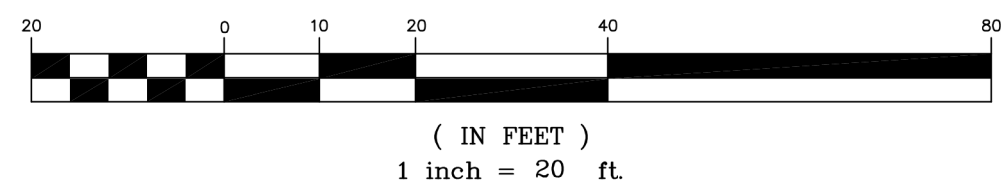
PER TABLE 5-5-4 MINIMUM MOTORCYCLE PARKING
REQUIREMENTS WITH LESS THAN 25 OFF-STREET PARKING
REQUIRED WE NEED 1 MC SPACE. (1 PROVIDED)

PER TABLE 5-5-5 MINIMUM BICYCLE PARKING FOR
NON-RESIDENTIAL USES NOT LISTED IN TABLE, 3 SPACES OR
10% OF REQUIRED OFF-STREET PARKING SPACES WHICHEVER
IS GREATER. 3 SPACES REQUIRED.



APPROVED FOR ACCESS ONLY
SOLID WASTE DEPT 04-01-2022
HAZARD ROUTE ONLY 2 MAN CREW
D.J. Laskowski

GRAPHIC SCALE



A1 SITE PAVING PLAN
1" = 20'-0"

REVISIONS		
No.	Description	Date
1	CITY COMMENTS	3-21-2022
2	TCL COMMENTS	3-30-2022

TCL KEYED NOTES

- CONCRETE PAVEMENT PER DETAIL D4/C501.
- STANDARD CURB AND GUTTER PER COA STD DWG 2415A.
- CONCRETE SIDEWALK ALONG 4TH STREET PER COA STD DWG 2430.
- EXISTING CURB AND GUTTER TO REMAIN.
- ESTATE CURB PER COA STD DWG 2415B.
- MEDIAN GUTTER PER DETAIL A5/C501.
- CONCRETE CURB ACCESS RAMP PER DETAILS ON C504.
- CONCRETE SIDEWALK PER DETAIL B4/C501.
- CONCRETE SIDEWALK CULVERT PER DETAIL E3/C501.
- TURNDOWN EDGE ON SIDEWALK PER DETAIL E4/C501.
- CONCRETE PARKING BLOCK PER DETAIL F2/C501.
- ADA RESERVED PARKING STALL, PER DETAIL A3/C502.
- SEE LANDSCAPING PLANS.
- BICYCLE RACK PER DETAIL F3/C501.
- ADA RESERVED PARKING SIGN PER DETAIL D2/C502.
- ADA VAN ACCESSIBLE RESERVED SIGN PER DETAIL D2/C502.
- CONCRETE STOOP PER DETAIL C1/C501.
- RIP RAP EROSION PROTECTION PER DETAIL D3/C501.
- 4" WIDE WHITE TRAFFIC PARKING.
- PAINT CURB RED WITH 6" TALL WHITE LETTERS READING "NO PARKING FIRE LANE".
- "NO PARKING FIRE LANE SIGNS AT 100' INTERVALS ON EACH SIDE OF BELL AVENUE SW.
- PAINT CURB YELLOW WHERE HEIGHT IS BETWEEN 1/4" AND 6" TALL.
- 6" TALL CMU SCREEN WALL PER DETAIL C1/C502.
- PAINTED CROSSWALK, 12" WIDE WHITE STRIPES, 6' LONG AT 4' ON CENTER.
- HANDRAIL PER DETAIL A2/C501.
- CONCRETE RAMP WITH MAX SLOPE 1/12". PROVIDE TURN DOWN EDGE SIMILAR TO DETAIL F4/C501 WITH MINIMUM BURY OF 12". SLOPE CONCRETE SURFACE AWAY FROM BUILDING AT 1.6%.
- CONCRETE PLATFORM WITH TURN DOWN EDGE SIMILAR TO DETAIL E4/C501 WITH MINIMUM BURY OR 12". SLOPE CONCRETE SURFACE AWAY FROM BUILDING AT 1.6%.
- CHAIN PAINTED SAFETY YELLOW BETWEEN SECTIONS OF HANDRAIL TO IDENTIFY HAZARD. PROVIDE SIGN HANGING FROM CHAIN INDICATING "FALL HAZARD" AT 6' INTERVALS.
- BIKE RACK PER DETAIL F3/C-501.
- 6" STEEL BOLLARD.
- GATES PER ARCHITECTURAL PLANS.
- ELECTRICAL VEHICLE CHARGING STATION PARKING STALL WITH SIGN AND PAINTED LETTERS.
- VAN POOL PARKING STALL WITH SIGN AND PAINTED LETTERS
- MOTORCYCLE PARKING SPACE WITH SIGN AND 12" TALL "MC" LETTERS.

STAMP + SIGNATURE

DAVID A. AUBE
STATE OF NEW MEXICO
REGISTERED PROFESSIONAL ENGINEER
14221
Digitally signed by David Aube
DN: cn=David Aube, email=daube@designgroupnm.com,
ou=The Hartman + Majewski Design Group, O=David Aube
Date: 2022.03.30 14:50:35 -0500

KEY PLAN

28
4954.58'
ACS MOI



TCL1