

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

September 5, 2024

Dave Aube, PE
Thompson Engineering Consultants
PO Box 65760
Albuquerque, NM 87193

Re: Bareles Commissary Kitchen/ 1407 4th St. SW
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 04-21-21 (L14-D063)
Certification dated 08-30-24

Dear Mr. Aube,

Based upon the information provided in your submittal received 09-04-24, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

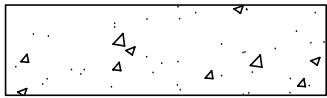
If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at earmijo@cabq.gov

Sincerely,

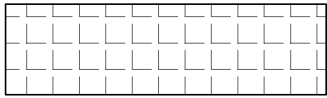
Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

\xxx via: email
C: CO Clerk, File

MATERIAL LEGEND

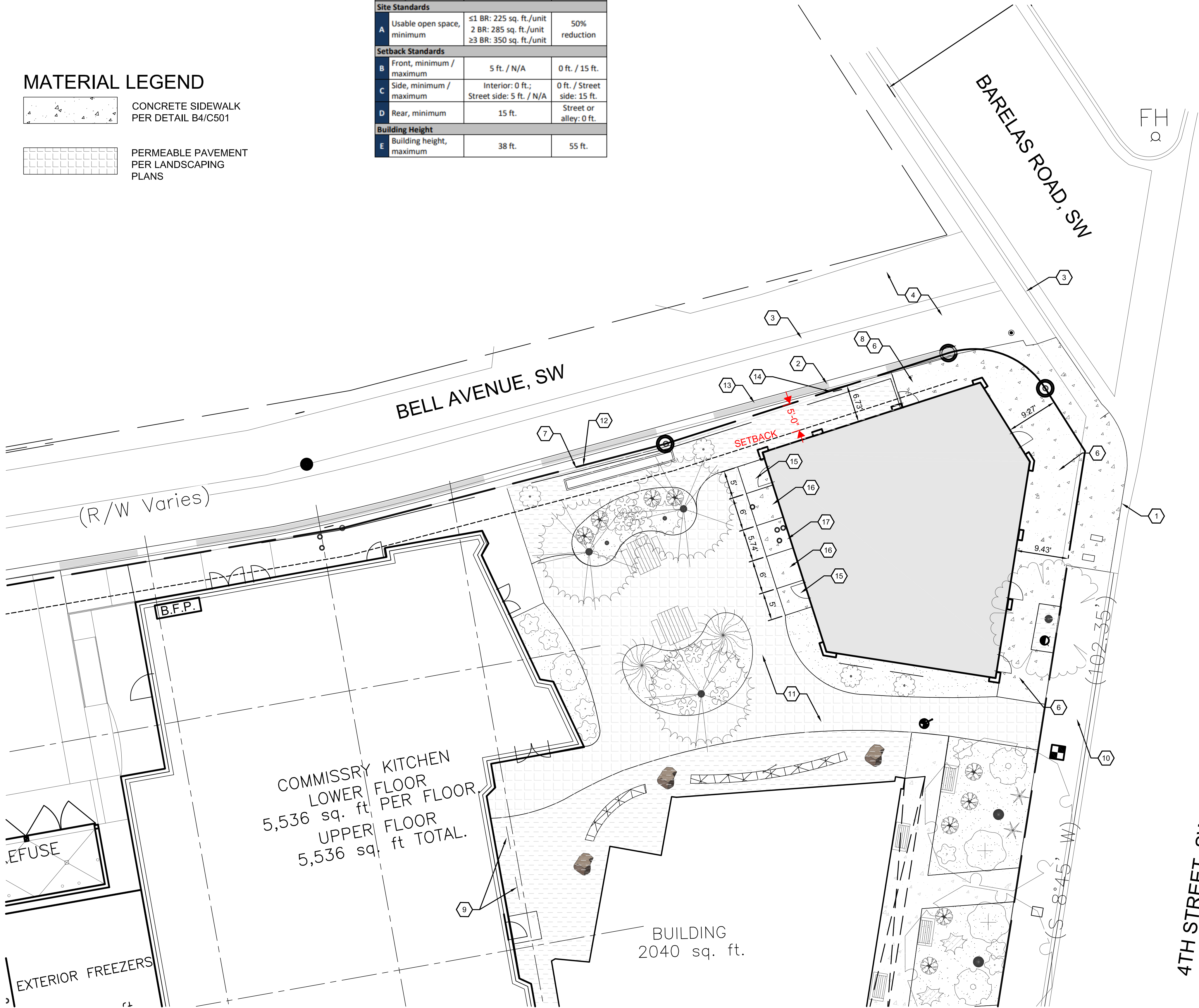


CONCRETE SIDEWALK
PER DETAIL B4/C501

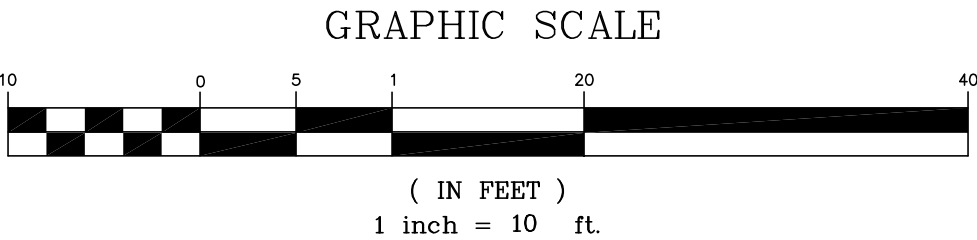


PERMEABLE PAVEMENT
PER LANDSCAPING
PLANS

Table 2-4-3: MX-L Zone District Dimensional Standards Summary		
See Table 5-1-2 for complete Dimensional Standards		
Development Location	General	UC-MS-PT
Site Standards		
A Usable open space, minimum	≤1 BR: 225 sq. ft./unit 2 BR: 285 sq. ft./unit ≥3 BR: 350 sq. ft./unit	50% reduction
Setback Standards		
B Front, minimum / maximum	5 ft. / N/A	0 ft. / 15 ft.
C Side, minimum / maximum	Interior: 0 ft.; Street side: 5 ft. / N/A	0 ft. / Street side: 15 ft.
D Rear, minimum	15 ft.	Street or alley: 0 ft.
Building Height		
E Building height, maximum	38 ft.	55 ft.



A1 ENLARGED TRAFFIC CIRCULATION LAYOUT
1" = 10'-0"



PAVING PLAN GENERAL NOTES

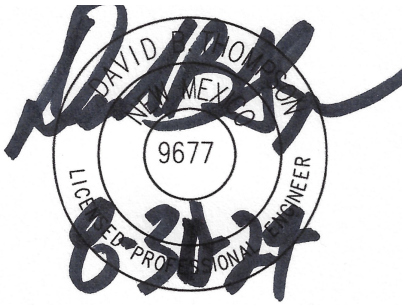
1. SEE SHEET CG01 FOR COMPLETE LIST OF GENERAL NOTES AND SYMBOL/LINETYPE LEGEND THAT APPLY TO ALL SHEETS.



Transportation Cert.(L14D063)

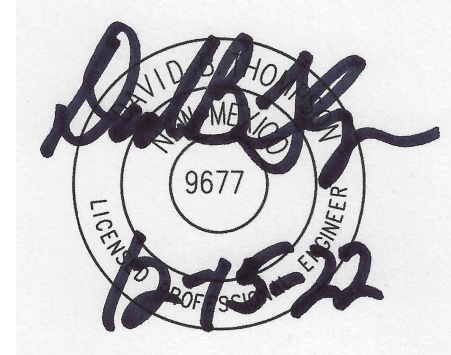
I, David B. Thompson, NMPE 9677, of the firm Thompson Engineering Consultants, INC. (TEC), hereby certify that the TCL improvements surrounding 1407 South 4th Street, SW is in substantial compliance with and in accordance with the design intent of the TCL for 1411 4th Street SW, and the supplemental approved plan for 1407 4th Street SW, dated 12-15-22. I certify that an associate of TEC has personally visited the project site on July 8, 2024 and have determined by visual inspection that the actual site conditions shown on this plan to be true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy for the building located at 1407 4th Street SW. A separate submittal for CO will be provided for the remainder of the campus that is still under construction.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the drainage aspects of this project. Those relying on the record documents are advised to obtain independent verification of its accuracy before using it for any other purpose.



PAVING PLAN KEYED NOTES

1. EXISTING CURB AND GUTTER TO REMAIN.
2. EXISTING ESTATE CURB TO REMAIN.
3. EXISTING VALLEY GUTTER TO REMAIN.
4. EXISTING ALLEY TO REMAIN.
5. NOT USED.
6. CONCRETE SIDEWALK PER DETAIL B4/C501.
7. CONCRETE HEADER CURB PER DETAIL A5/C501.
8. TURNDOWN EDGE ON SIDEWALK PER DETAIL E4/C501.
9. EXISTING BICYCLE RACK.
10. EXISTING CONCRETE SIDEWALK TO REMAIN.
11. EXISTING DECORATIVE ACCESSIBLE PATH TO REMAIN.
12. PROVIDE 12" WIDE OPENING IN HEADER CURB FOR DRAINAGE.
13. EXISTING PAINT CURB RED WITH 6" TALL WHITE LETTERS READING "NO PARKING FIRE LANE".
14. EXISTING "NO PARKING FIRE LANE SIGNS AT 100' INTERVALS ON EACH SIDE OF BELL AVENUE SW.
15. CONCRETE STOOP 5'X5' WITH THICKENED EDGES PER DETAIL B1/C501.
16. SLOPING CONCRETE SIDEWALK PER DETAIL B4/C501.
17. CONCRETE LANDING/SIDEWALK PER DETAIL B4/C501.





- | Required Parking | | Square Footage | Parking Ratio Required | Parking Spaces |
|--|------|--|-------------------------------|----------------|
| SFI Commissary (Catering Service/Vocational School) | | 5547 | 2 spaces / 1000 square feet | 11 |
| 2 nd Floor Workspaces (Artisan Manufacturing/Office) | | 5547 | 2.5 spaces / 1000 square feet | 13 |
| Subtotal for Shared Use Parking Reduction | | | | 24 |
| Subtotal after Shared Parking Reduction Factor (1.5) ¹ | | | | 16 |
| Glass Screen Repair (Commercial Services) | 1371 | 2.4 spaces / 1000 square feet ² | 3 | |
| Small Engine Repair (Light Vehicle Repair) | 2040 | 0.8 spaces / 1000 square feet ² | 1 | |
| Art Gallery (Museum or Art Gallery) | 1189 | 2 spaces / 1000 square feet | 2 | |
| West Building (Light Vehicle Repair) | 4984 | 0.8 spaces / 1000 square feet ² | 3 | |
| Subtotal for Transit Reduction | | | | 25 |
| Transit Reduction ³ | | | | 3 |
| Total Parking Spaces Required | | | | 22 |
| Parking Provided | | | | |
| Regular Spaces | | | | 8 |
| On-Street Spaces | | | | 7 |
| ADA Parking Spaces | | | | 1 |
| Electric Vehicle Charging Space (+1 credit per space) | | | | 2 |
| Shared Parking Agreement with Barelas Coffee House lot to south | | | | 7 |
| Total Parking Provided | | | | 25 |
| Notes: | | | | |
| 1. Vocational School = Civic/Institutional and Artisan Manufacturing/Office = Other Non-residential uses per Table 5-5-3. | | | | |
| 2. 20% Reduction Applied for Location in M5 and MT Area of Change per IDO Section 14-16-5-5(C)(1)(a) | | | | |
| 3. Per 5-5(C)(5)(c)(2) The bus stop at 4th and Barelas Road is approximately 75 feet from the site with a peak service frequency of 45 minutes (Route 54). | | | | |

PER TABLE 5-5-4 MINIMUM MOTORCYCLE PARKING
REQUIREMENTS WITH LESS THAN 25 OFF-STREET PARKING
REQUIRED WE NEED 1 MC SPACE. (1 PROVIDED)

PER TABLE 5-5-5 MINIMUM BICYCLE PARKING FOR
NON-RESIDENTIAL USES NOT LISTED IN TABLE, 3 SPACES OR
10% OF REQUIRED OFF-STREET PARKING SPACES WHICHEVER
IS GREATER. 3 SPACES REQUIRED.

TRAFFIC CIRCULATION
LAYOUT APPROVED

Ernest Armijo 9/5/2024
Signed Date

— This application for Permanent CO is only for the building located at 1407 4th Street SW. See Sheet TCL-2 for Certification.

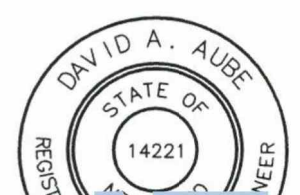
		REVISIONS
No.	Description	Date
1	CITY COMMENTS	3-21-2022
2	TCL COMMENTS	3-30-2022
3	TCL COMMENTS	4-4-2022
4	SHARED PARKING	4-21-2022

TCL KEYED NOTES

NOTES

1. CONCRETE PAVEMENT PER DETAIL D4/C501.
2. STANDARD CURB AND GUTTER PER COA STD DWG 2415A.
3. CONCRETE SIDEWALK ALONG 4TH STREET PER COA STD DWG 2430.
4. EXISTING CURB AND GUTTER TO REMAIN.
5. ESTATE CURB PER COA STD DWG 2415B.
6. MEDIAN GUTTER PER DETAIL A5/C501.
7. CONCRETE CURB ACCESS RAMP PER DETAILS ON C504.
8. CONCRETE SIDEWALK PER DETAIL B4/C501.
9. CONCRETE SIDEWALK CULVERT PER DETAIL E3/C501.
10. TURNDOWN EDGE ON SIDEWALK PER DETAIL E4/C501.
11. CONCRETE PARKING BLOCK PER DETAIL F2/C501.
12. ADA RESERVED PARKING STALL, PER DETAIL A3/C502.
13. SEE LANDSCAPING PLANS.
14. BICYCLE RACK PER DETAIL F3/C501.
15. NOT USED
16. ADA VAN ACCESSIBLE RESERVED SIGN PER DETAIL D2/C502.
17. CONCRETE STOOP PER DETAIL C1/C501.
18. RIP RAP EROSION PROTECTION PER DETAIL D3/C501.
19. 4" WIDE WHITE TRAFFIC PARKING.
20. PAINT CURB RED WITH 6" TALL WHITE LETTERS READING "NO PARKING FIRE LANE".
21. "NO PARKING FIRE LANE SIGNS AT 100' INTERVALS ON EACH SIDE OF BELL AVENUE SW.
22. PAINT CURB YELLOW WHERE HEIGHT IS BETWEEN $\frac{3}{4}$ " AND 6" TALL.
23. 6" TALL CMU SCREEN WALL PER DETAIL C1/C502.
24. PAINTED CROSSWALK, 12" WIDE WHITE STRIPES, 6" LONG AT 4' ON CENTER.
25. HANDRAIL PER DETAIL A2/C501.
26. CONCRETE RAMP WITH MAX SLOPE 1" /12". PROVIDE TURN DOWN EDGE SIMILAR TO DETAIL F4/C501 WITH MINIMUM BURY OF 12". SLOPE CONCRETE SURFACE AWAY FROM BUILDING AT 1.6%.
27. CONCRETE PLATFORM WITH TURN DOWN EDGE SIMILAR TO DETAIL E4/C501 WITH MINIMUM BURY OR 12". SLOPE CONCRETE SURFACE AWAY FROM BUILDING AT 1.6%.
28. CHAIN PAINTED SAFETY YELLOW BETWEEN SECTIONS OF HANDRAIL TO IDENTIFY HAZARD. PROVIDE SIGN HANGING FROM CHAIN INDICATING "FALL HAZARD" AT 6' INTERVALS.
29. BIKE RACK PER DETAIL F3/C501.
30. 6" STEEL BOLLARD.
31. GATES PER ARCHITECTURAL PLANS.
32. ELECTRICAL VEHICLE CHARGING STATION PARKING STALL WITH SIGN AND PAINTED LETTERS.
33. VAN POOL PARKING STALL WITH SIGN AND PAINTED LETTERS
34. MOTORCYCLE PARKING SPACE WITH SIGN AND 12" TALL "MC" LETTERS.
35. STRIPING IN 4TH STREET SHOWN ONLY TO DETERMINE AVAILABLE PARKING. DO NOT PAINT PARKING STRIPES IN PUBLIC ROW.

STAMP + SIGNATURE



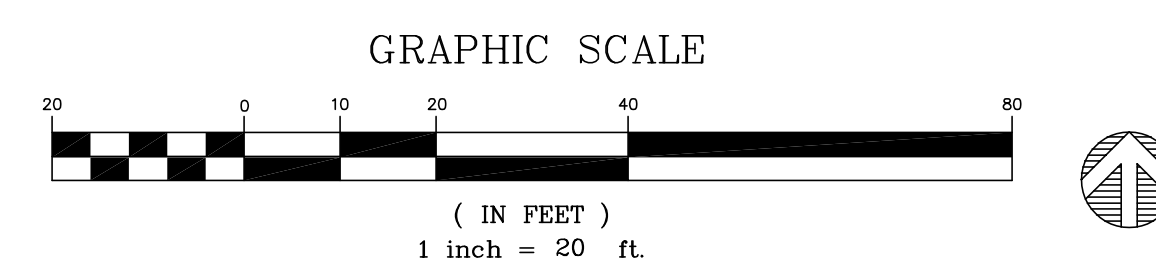
David Aube

KEY PLAN

28
*4954.58
ACS MON

Jeanne Wolfenbarger

A1 SITE PAVING PLAN
1" = 20'-0"



BARELES COMMISSARY KITCHEN

1411 4TH STREET SW,
ALBUQUERQUE, NM 87107

02/23/2022

TRAFFIC CIRCULATION LAYOUT
SCALE: 1"=20'

TCL1