

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

February 24, 2025

David Thompson, PE
Thompson Engineering, Inc
P.O Box 65769
Albuquerque, NM 87193

Re: Bareles Commissary Kitchen Phase 2/ 1411 4th St. SW
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 12-15-22 (L14-D063)
Certification dated 01-10-25

Dear Mr. Thompson,

Based upon the information provided in your submittal received 01-14-25, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at earmijo@cabq.gov

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

\xxx via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: _____ Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: _____

Applicant/Agent: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)

TYPE OF DEVELOPMENT: PLAT (#of lots) _____ RESIDENCE
DFT SITE ADMIN SITE

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

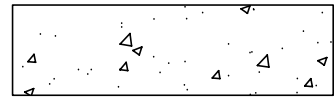
ENGINEER/ARCHITECT CERTIFICATION
PAD CERTIFICATION
CONCEPTUAL G&D PLAN
GRADING & DRAINAGE PLAN
DRAINAGE REPORT
DRAINAGE MASTER PLAN
CLOMR/LOMR
TRAFFIC CIRCULATION LAYOUT (TCL)
ADMINISTRATIVE
TRAFFIC CIRCULATION LAYOUT FOR DFT
APPROVAL
TRAFFIC IMPACT STUDY (TIS)
STREET LIGHT LAYOUT
OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

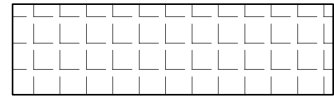
BUILDING PERMIT APPROVAL
CERTIFICATE OF OCCUPANCY
CONCEPTUAL TCL DFT APPROVAL
PRELIMINARY PLAT APPROVAL
FINAL PLAT APPROVAL
SITE PLAN FOR BLDG PERMIT DFT
APPROVAL
SIA/RELEASE OF FINANCIAL GUARANTEE
FOUNDATION PERMIT APPROVAL
GRADING PERMIT APPROVAL
SO-19 APPROVAL
PAVING PERMIT APPROVAL
GRADING PAD CERTIFICATION
WORK ORDER APPROVAL
CLOMR/LOMR
OTHER (SPECIFY) _____

DATE SUBMITTED: _____

MATERIAL LEGEND

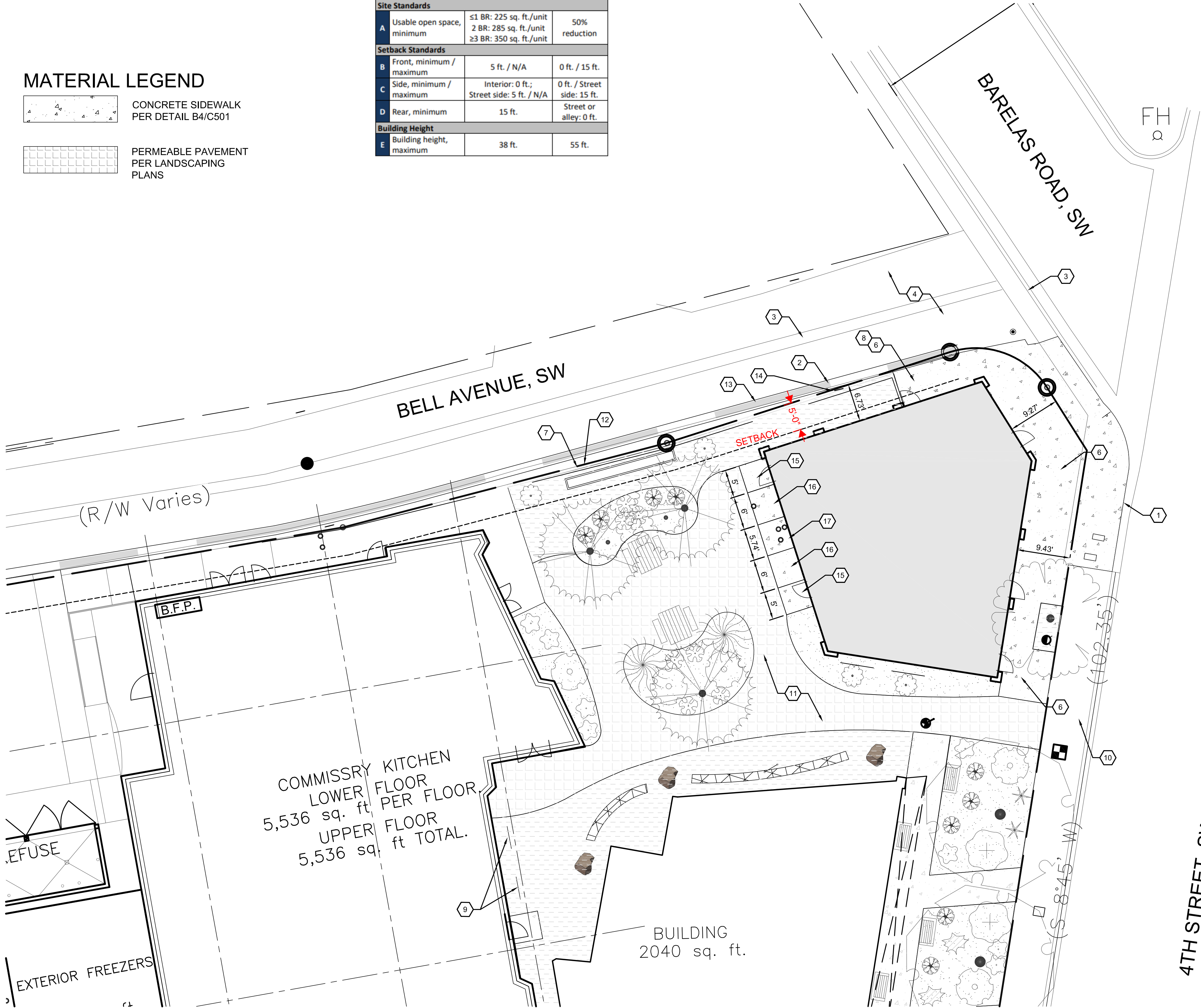


CONCRETE SIDEWALK
PER DETAIL B4/C501

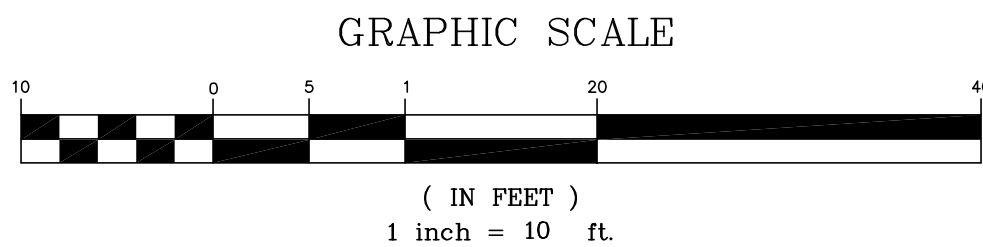


PERMEABLE PAVEMENT
PER LANDSCAPING
PLANS

Table 2-4-3: MX-L Zone District Dimensional Standards Summary		
See Table 5-1-2 for complete Dimensional Standards		
Development Location	General	UC-MS-PT
Site Standards		
A Usable open space, minimum	≤1 BR: 225 sq. ft./unit 2 BR: 285 sq. ft./unit ≥3 BR: 350 sq. ft./unit	50% reduction
Setback Standards		
B Front, minimum / maximum	5 ft. / N/A	0 ft. / 15 ft.
C Side, minimum / maximum	Interior: 0 ft.; Street side: 5 ft. / N/A	0 ft. / Street side: 15 ft.
D Rear, minimum	15 ft.	Street or alley: 0 ft.
Building Height		
E Building height, maximum	38 ft.	55 ft.



A1 ENLARGED TRAFFIC CIRCULATION LAYOUT
1" = 10'-0"



PAVING PLAN GENERAL NOTES

1. SEE SHEET CG01 FOR COMPLETE LIST OF GENERAL NOTES AND SYMBOL/LINETYPE LEGEND THAT APPLY TO ALL SHEETS.



(60' R/W)

4TH STREET, SW

(S 8'-4.5' W)

(102'-35')

9.43'

9.27'

5.27.9'

5.0'

SETBACK

13

14

2

3

4

5

6

7

8

9

10

11

12

15

16

17

18

19

20

21

22

23

24

25

26

27

28

29

30

31

32

33

34

35

36

37

38

39

40

41

42

43

44

45

46

47

48

49

50

51

52

53

54

55

56

57

58

59

60

61

62

63

64

65

66

67

68

69

70

71

72

73

74

75

76

77

78

79

80

81

82

83

84

85

86

87

88

89

90

91

92

93

94

95

96

97

98

99

100

101

102

103

104

105

106

107

108

109

110

111

112

113

114

115

116

117

118

119

120

121

122

123

124

125

126

127

128

129

130

131

132

133

134

135

136

137

138

139

140

141

142

143

144

145

146

147

148

149

150

151

152

153

154

155

156

157

158

159

160

161

162

163

164

165

166

167

168

169

170

171

172

173

174

175

176

177

178

179

180

181

182

183

184

185

186

187

188

189

190

191

192

193

194

195

196

197

198

199

200

201

202

203

204

205

206

207

208

209

210

211

212

213

214

215

216

217

218

219

220

221

222

223

224

225

226

227

228

229

230

231

232

233

234

235

236

237

238

239

240

241

242

243

244

245

246

247

248

249

250

251

252

253

254

255

256

257

258

259

260

261

262

263

264

265

266

267

268

269

270

271

272

273

274

275

276

277

278

279

280

281

282

283

284

285

286

287

288

289

290

291

292

293

294

295

296

297

298

299

300

301

302

303

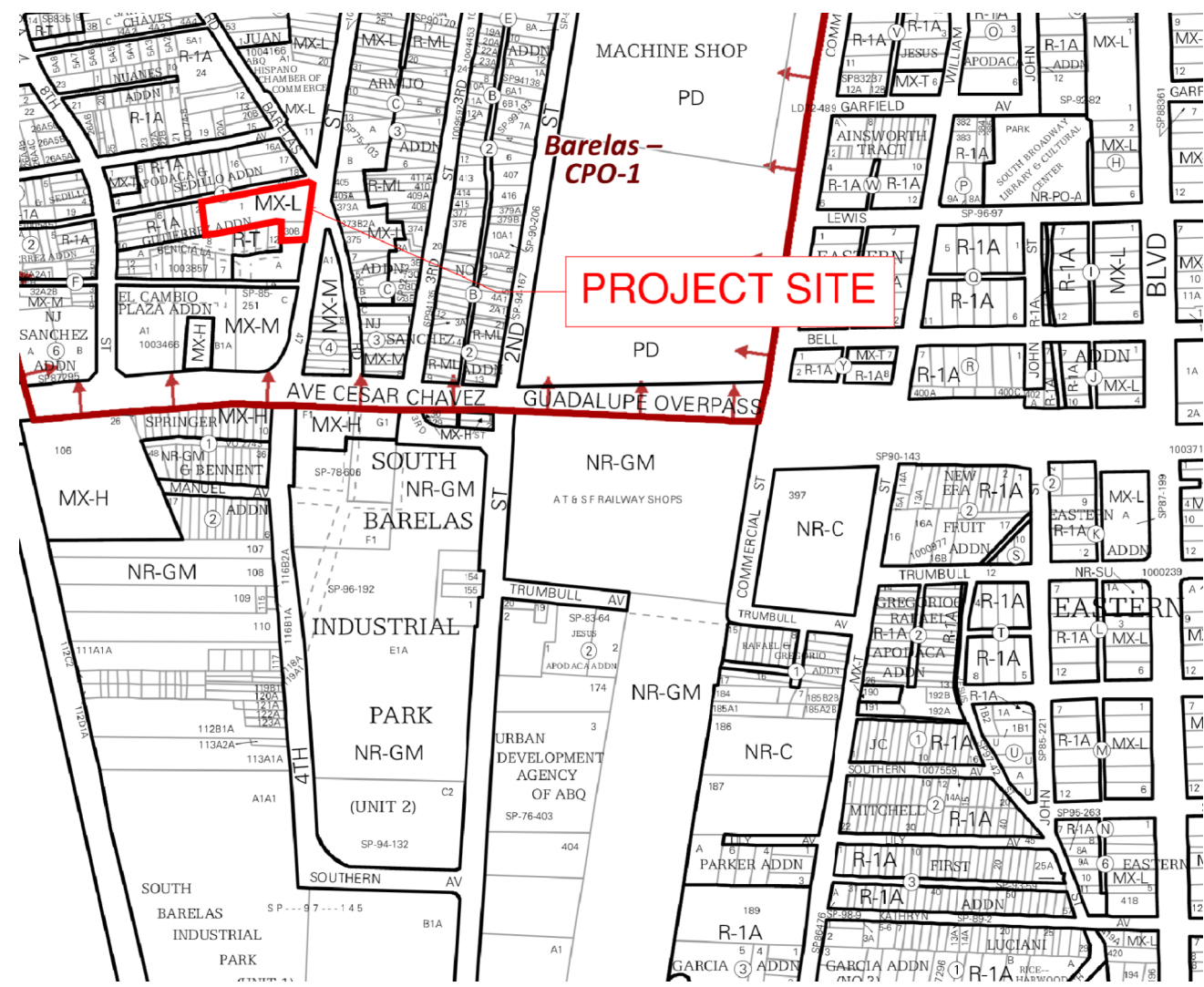
304

305

306

307

308



D1 ZONE ATLAS PAGE L-14-Z
NOT TO SCALE

- CONCRETE SIDEWALK
PER DETAIL B4/C501
- CONCRETE PAVEMENT
PER DETAIL D4/C501
- PERMEABLE PAVEMENT
ADA COMPLIANT
- CRUSHER FINES
- GRAVEL PAVE 2
PERMEABLE PAVEMENT,
PER DETAIL D2/C501

Required Parking	Square Footage	Parking Ratio Required	Parking Spaces
SFI Commissary (Catering Service/Vocational School)	5547	2 spaces / 1000 square feet	11
2 nd Floor Workspaces (Artisan Manufacturing/Office)	5547	2.5 spaces / 1000 square feet	13
Subtotal for Shared Use Parking Reduction			24
Subtotal after Shared Parking Reduction Factor (1.5) ¹			16
Glass Screen Repair (Commercial Services)	1371	2.4 spaces / 1000 square feet ²	3
Small Engine Repair (Light Vehicle Repair)	2040	0.8 spaces / 1000 square feet ²	1
Art Gallery (Museum or Art Gallery)	1189	2 spaces / 1000 square feet	2
West Building (Light Vehicle Repair)	4984	0.8 spaces / 1000 square feet ²	3
Subtotal for Transit Reduction			25
Transit Reduction ³			3
Total Parking Spaces Required			22
Parking Provided			
Regular Spaces			8
On-Street Spaces			7
ADA Parking Spaces			1
Electric Vehicle Charging Space (+1 credit per space)			2
Shared Parking Agreement with Barelaz Coffee House lot to south			7
Total Parking Provided			25

Notes:
1. Vocational School = Civic/Institutional and Artisan Manufacturing/Office = Other Non-residential uses per Table 5-5-3.
2. 20% Reduction Applied for Location in M5 and MT Area of Change per IDO Section 14-16-5-5(C)(5)(a).
3. Per 5-5(C)(5)(c)(2) The bus stop at 4th and Barelaz Road is approximately 75 feet from the site with a peak service frequency of 45 minutes (Route 54).

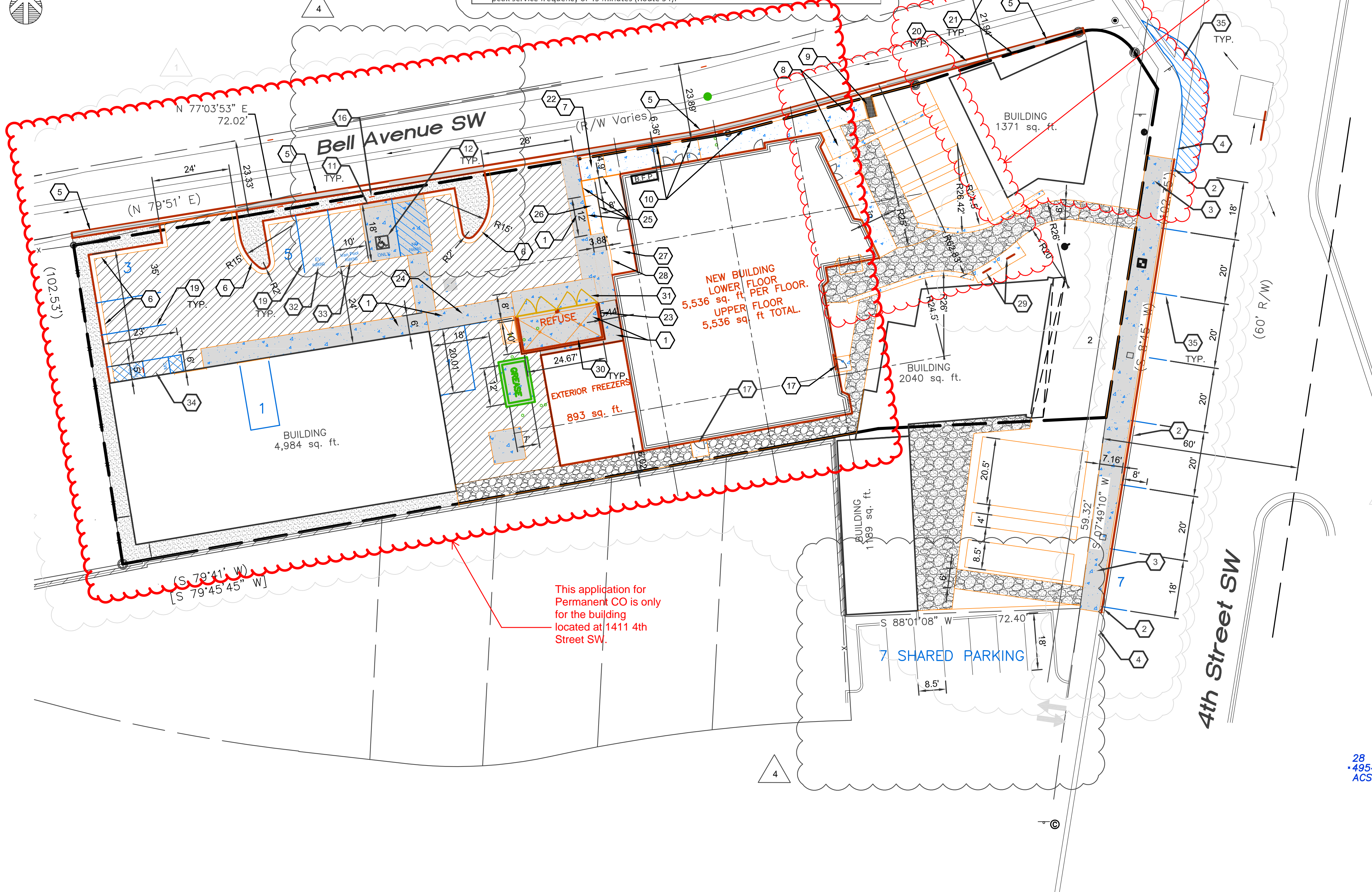
PER TABLE 5-5-4 MINIMUM MOTORCYCLE PARKING REQUIREMENTS WITH LESS THAN 25 OFF-STREET PARKING REQUIRED WE NEED 1 MC SPACE. (1 PROVIDED)

PER TABLE 5-5-5 MINIMUM BICYCLE PARKING FOR NON-RESIDENTIAL USES NOT LISTED IN TABLE, 3 SPACES OR 10% OF REQUIRED OFF-STREET PARKING SPACES WHICHEVER IS GREATER. 3 SPACES REQUIRED.

TRAFFIC CIRCULATION
LAYOUT APPROVED
Ernest Armijo
Signed Date 9/5/2024

Permanent CO for 1407 4th Street already completed on September 5, 2024. Certification.

See TCL-2 for revised Plaza Layout that was redesigned under the 1407 Building Permit revisions.



TCL KEYED NOTES

- CONCRETE PAVEMENT PER DETAIL D4/C501.
- STANDARD CURB AND GUTTER PER COA STD DWG 2415A.
- CONCRETE SIDEWALK ALONG 4TH STREET PER COA STD DWG 2430.
- EXISTING CURB AND GUTTER TO REMAIN.
- ESTATE CURB PER COA STD DWG 2415B.
- MEDIAN GUTTER PER DETAIL A5/C501.
- CONCRETE CURB ACCESS RAMP PER DETAILS ON C504.
- CONCRETE SIDEWALK PER DETAIL B4/C501.
- CONCRETE SIDEWALK CULVERT PER DETAIL E3/C501.
- TURNDOWN EDGE ON SIDEWALK PER DETAIL E4/C501.
- CONCRETE PARKING BLOCK PER DETAIL F2/C501.
- ADA RESERVED PARKING STALL, PER DETAIL A3/C502.
- SEE LANDSCAPING PLANS.
- BICYCLE RACK PER DETAIL F3/C501.
- NOT USED
- ADA VAN ACCESSIBLE RESERVED SIGN PER DETAIL D2/C502.
- CONCRETE STOOP PER DETAIL C1/C501.
- RIP RAP EROSION PROTECTION PER DETAIL D3/C501.
- 4" WIDE WHITE TRAFFIC PARKING.
- PAINT CURB RED WITH 6" TALL WHITE LETTERS READING "NO PARKING FIRE LANE".
- "NO PARKING FIRE LANE SIGNS AT 100' INTERVALS ON EACH SIDE OF BELL AVENUE SW.
- PAINT CURB YELLOW WHERE HEIGHT IS BETWEEN 1/4" AND 6" TALL.
- 6" TALL CMU SCREEN WALL PER DETAIL C1/C502.
- PAINTED CROSSWALK, 12" WIDE WHITE STRIPES, 6" LONG AT 4' ON CENTER.
- HANDRAIL PER DETAIL A2/C501.
- CONCRETE RAMP WITH MAX SLOPE 1/12". PROVIDE TURN DOWN EDGE SIMILAR TO DETAIL F4/C501 WITH MINIMUM BURY OF 12". SLOPE CONCRETE SURFACE AWAY FROM BUILDING AT 1.6%.
- CONCRETE PLATFORM WITH TURN DOWN EDGE SIMILAR TO DETAIL E4/C501 WITH MINIMUM BURY OR 12". SLOPE CONCRETE SURFACE AWAY FROM BUILDING AT 1.6%.
- CHAIN PAINTED SAFETY YELLOW BETWEEN SECTIONS OF HANDRAIL TO IDENTIFY HAZARD. PROVIDE SIGN HANGING FROM CHAIN INDICATING "FALL HAZARD" AT 6' INTERVALS.
- BIKE RACK PER DETAIL F3/C-501.
- 6" STEEL BOLLARD.
- GATES PER ARCHITECTURAL PLANS.
- ELECTRICAL VEHICLE CHARGING STATION PARKING STALL WITH SIGN AND PAINTED LETTERS.
- VAN POOL PARKING STALL WITH SIGN AND PAINTED LETTERS
- MOTORCYCLE PARKING SPACE WITH SIGN AND 12" TALL "MC" LETTERS.
- STRIPING IN 4TH STREET SHOWN ONLY TO DETERMINE AVAILABLE PARKING. DO NOT PAINT PARKING STRIPES IN PUBLIC ROW.

STAMP + SIGNATURE

David Aube
DAVID A. AUBE
STATE OF NEW MEXICO
REGISTERED PROFESSIONAL ENGINEER
14221
Digitally signed by David Aube
DN: cn=David Aube, o=The Hartman + Majewski Design Group, ou=Civil Engineering, email=daube@designgroupnm.com, c=US
Date: 2022.04.21 10:49:16-0600

KEY PLAN

28
+4954.58'
ACS MOP

Transportation Cert.(L14D063)

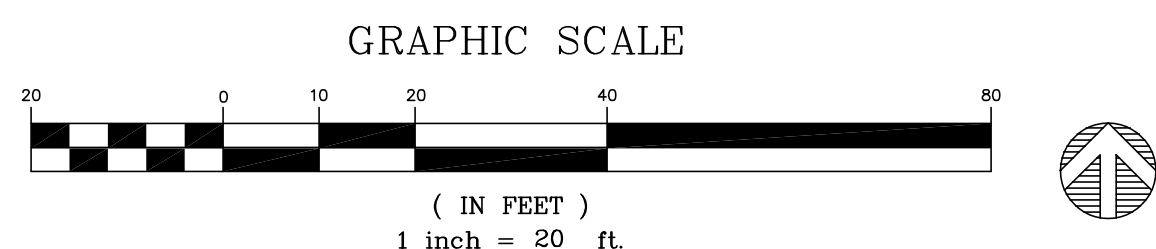
I, David B. Thompson, NMPE 9677, of the firm Thompson Engineering Consultants, INC. (TEC), hereby certify that the TCL improvements surrounding 1411 South 4th Street, SW is in substantial compliance with and in accordance with the design intent of the TCL for 1411 4th Street SW dated September 5, 2024. I certify that I personally visited the project site on January 9, 2025 and have determined by visual inspection that the actual site conditions shown on this plan to be true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy for the building located at 1411 4th Street SW. This will be the second and final submittal for CO for the campus.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the drainage aspects of this project. Those relying on the record documents are advised to obtain independent verification of its accuracy before using it for any other purpose.

DAVID B. THOMPSON
9677
1-10-25

Jeanne Wolfenbarger

A1 SITE PAVING PLAN
1" = 20'-0"



BARELES COMMISSARY KITCHEN

1411 4TH STREET SW,
ALBUQUERQUE, NM 87107

02/23/2022

TRAFFIC CIRCULATION LAYOUT
SCALE: 1"=20'



TCL1