

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

May 19, 2022

Dave Aube, PE
Design Group
120 Vassar Dr. SE Suite 100
Albuquerque, NM 87106

**Re: Commissary Kichen
1411 4th St. SW
Traffic Circulation Layout
Architect's Stamp 4-21-22 (L14-D063)**

Dear Mr. Aube,

The TCL submittal received 05-19-2022 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Jeanne Wolfenbarger

Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\xxx via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Commissary Kitchen **Building Permit #:** _____ **Hydrology File #:** L-14
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: 001 001LOT 1 BLK 1 GUTIERREZ ADD, BERNALILLO COUNTY, NEW MEXICO
City Address: 1411 South 4th Street SW

Applicant: Homewise **Contact:** Carl Davis
Address: 1301 Siler Road Building D, Santa Fe, NM 87507
Phone#: 505-469-0572 **Fax#:** _____ **E-mail:** cdavis@homewise.org

Other Contact: Design Group **Contact:** Dave Aube
Address: 120 Vassar Drive SE
Phone#: 505-463-4503 **Fax#:** 505-242-6881 **E-mail:** daube@designgroupnm.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? ☒ Yes _____ No

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 03-21-2022 **By:** Dave Aube

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



- | Required Parking | Square Footage | Parking Ratio Required | Parking Spaces |
|--|----------------|--|----------------|
| SFI Commissary (Catering Service/Vocational School) | 5547 | 2 spaces / 1000 square feet | 11 |
| 2 nd Floor Workspaces (Artisan Manufacturing/Office) | 5547 | 2.5 spaces / 1000 square feet | 13 |
| Subtotal for Shared Use Parking Reduction | | | 24 |
| Subtotal after Shared Parking Reduction Factor (1.5) ¹ | | | 16 |
| Glass Screen Repair (Commercial Services) | 1371 | 2.4 spaces / 1000 square feet ² | 3 |
| Small Engine Repair (Light Vehicle Repair) | 2040 | 0.8 spaces / 1000 square feet ² | 1 |
| Art Gallery (Museum or Art Gallery) | 1189 | 2 spaces / 1000 square feet | 2 |
| West Building (Light Vehicle Repair) | 4984 | 0.8 spaces / 1000 square feet ² | 3 |
| Subtotal for Transit Reduction | | | 25 |
| Transit Reduction ³ | | | 3 |
| Total Parking Spaces Required | | | 22 |
| | | | |
| Parking Provided | | | |
| Regular Spaces | | | 8 |
| On-Street Spaces | | | 7 |
| ADA Parking Spaces | | | 1 |
| Electric Vehicle Charging Space (+1 credit per space) | | | 2 |
| Shared Parking Agreement with Barelaz Coffee House lot to south | | | 7 |
| Total Parking Provided | | | 25 |
| Notes: | | | |
| 1. Vocational School = Civic/Institutional and Artisan Manufacturing/Office = Other Non-residential uses per Table 5-5-3. | | | |
| 2. 20% Reduction Applied for Location in M5 and MT Area of Change per IDO Section 14-16-5-5(C)(5)(a) | | | |
| 3. Per 5-5(C)(5)(c)(2) The bus stop at 4th and Barelaz Road is approximately 75 feet from the site with a peak service frequency of 45 minutes (Route 54). | | | |

PER TABLE 5-5-4 MINIMUM MOTORCYCLE PARKING
REQUIREMENTS WITH LESS THAN 25 OFF-STREET PARKING
REQUIRED WE NEED 1 MC SPACE. (1 PROVIDED)

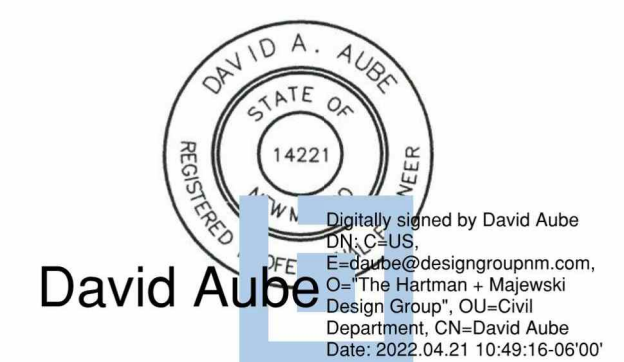
PER TABLE 5-5-5 MINIMUM BICYCLE PARKING FOR
NON-RESIDENTIAL USES NOT LISTED IN TABLE, 3 SPACES OR
10% OF REQUIRED OFF-STREET PARKING SPACES WHICHEVER
IS GREATER. 3 SPACES REQUIRED.



NOTES

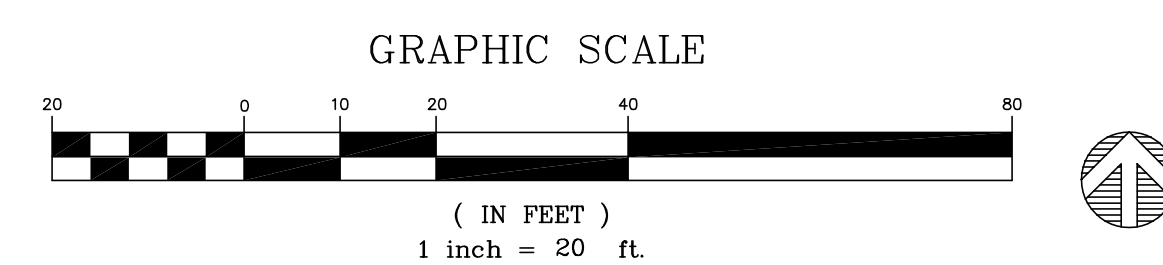
1. CONCRETE PAVEMENT PER DETAIL D4/C501.
2. STANDARD CURB AND GUTTER PER COA STD DWG 2415A.
3. CONCRETE SIDEWALK ALONG 4TH STREET PER COA STD DWG 2430.
4. EXISTING CURB AND GUTTER TO REMAIN.
5. ESTATE CURB PER COA STD DWG 2415B.
6. MEDIAN GUTTER PER DETAIL A5/C501.
7. CONCRETE CURB ACCESS RAMP PER DETAILS ON C504.
8. CONCRETE SIDEWALK PER DETAIL B4/C501.
9. CONCRETE SIDEWALK CULVERT PER DETAIL E3/C501.
10. TURNDOWN EDGE ON SIDEWALK PER DETAIL E4/C501.
11. CONCRETE PARKING BLOCK PER DETAIL F2/C501.
12. ADA RESERVED PARKING STALL, PER DETAIL A3/C502.
13. SEE LANDSCAPING PLANS.
14. BICYCLE RACK PER DETAIL F3/C501.
15. NOT USED
16. ADA VAN ACCESSIBLE RESERVED SIGN PER DETAIL D2/C502.
17. CONCRETE STOOP PER DETAIL C1/C501.
18. RIP RAP EROSION PROTECTION PER DETAIL D3/C501.
19. 4" WIDE WHITE TRAFFIC PARKING.
20. PAINT CURB RED WITH 6" TALL WHITE LETTERS READING "NO PARKING FIRE LANE".
21. "NO PARKING FIRE LANE SIGNS AT 100' INTERVALS ON EACH SIDE OF BELL AVENUE SW.
22. PAINT CURB YELLOW WHERE HEIGHT IS BETWEEN $\frac{3}{4}$ " AND 6" TALL.
23. 6" TALL CMU SCREEN WALL PER DETAIL C1/C502.
24. PAINTED CROSSWALK, 12" WIDE WHITE STRIPES, 6' LONG AT 4' ON CENTER.
25. HANDRAIL PER DETAIL A2/C501.
26. CONCRETE RAMP WITH MAX SLOPE 1" / 12". PROVIDE TURN DOWN EDGE SIMILAR TO DETAIL F4/C501 WITH MINIMUM BURY OF 12". SLOPE CONCRETE SURFACE AWAY FROM BUILDING AT 1.6%.
27. CONCRETE PLATFORM WITH TURN DOWN EDGE SIMILAR TO DETAIL E4/C501 WITH MINIMUM BURY OR 12". SLOPE CONCRETE SURFACE AWAY FROM BUILDING AT 1.6%.
28. CHAIN PAINTED SAFETY YELLOW BETWEEN SECTIONS OF HANDRAIL TO IDENTIFY HAZARD. PROVIDE SIGN HANGING FROM CHAIN INDICATING "FALL HAZARD" AT 6' INTERVALS.
29. BIKE RACK PER DETAIL F3/C-501.
30. 6" STEEL BOLLARD.
31. GATES PER ARCHITECTURAL PLANS.
32. ELECTRICAL VEHICLE CHARGING STATION PARKING STALL WITH SIGN AND PAINTED LETTERS.
33. VAN POOL PARKING STALL WITH SIGN AND PAINTED LETTERS
34. MOTORCYCLE PARKING SPACE WITH SIGN AND 12" TALL "MC" LETTERS.
35. STRIPING IN 4TH STREET SHOWN ONLY TO DETERMINE AVAILABLE PARKING. DO NOT PAINT PARKING STRIPES IN PUBLIC ROW.

STAMP + SIGNATURE



KEY PLAN

A1 SITE PAVING PLAN
1" = 20'-0"



BARELES COMMISSARY KITCHEN

1411 4TH STREET SW,
ALBUQUERQUE, NM 87107

02/23/2022

TRAFFIC CIRCULATION LAYOUT
SCALE: 1"=20'

PERMIT SET

TCL1

| Line Table | | |
|------------|--------|----------------------|
| Line # | Length | Direction |
| L6 | 40.03 | NORTH 09°26'39" WEST |
| L7 | 23.00 | SOUTH 80°33'21" WEST |
| L8 | 6.00 | NORTH 08°38'20" WEST |
| L9 | 7.47 | NORTH 08°38'20" WEST |
| L10 | 12.55 | NORTH 09°41'25" WEST |
| L11 | 59.89 | NORTH 80°18'35" EAST |
| L12 | 13.95 | NORTH 10°12'09" WEST |
| L13 | 6.56 | NORTH 10°12'09" WEST |
| L14 | 7.69 | NORTH 10°12'09" WEST |
| L15 | 58.36 | SOUTH 09°15'28" WEST |

| Curve Table | | | | | | |
|-------------|--------|--------|---------|---------|------------------------|--|
| Curve # | Length | Radius | Delta | Chord L | Chord Brg. | |
| C5 | 15.03 | 15.00 | 57°25' | 14.41 | NORTH 18° 30' 28" EAST | |
| C4 | 4.28 | 2.00 | 122°35' | 3.51 | SOUTH 71° 29' 32" EAST | |
| C2 | 11.90 | 15.00 | 45°28' | 11.59 | SOUTH 31° 22' 05" EAST | |
| C3 | 4.75 | 2.00 | 136°06' | 3.71 | NORTH 57° 51' 00" EAST | |

TRAFFIC CIRCULATION LAYOUT APPROVED
05/19/2022

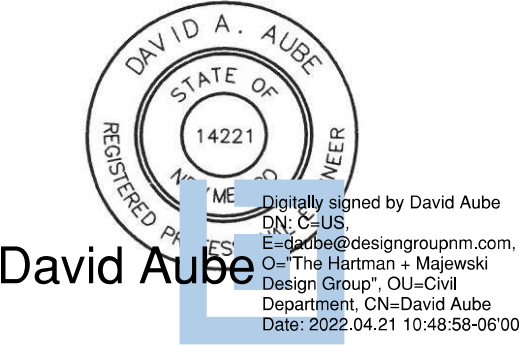
Jeannie Wolfenbarger

REVISIONS

| No. | Description | Date |
|-----|---------------|-----------|
| 1 | CITY COMMENTS | 3-21-2022 |
| 2 | TCL COMMENTS | 3-30-2022 |

NOTES

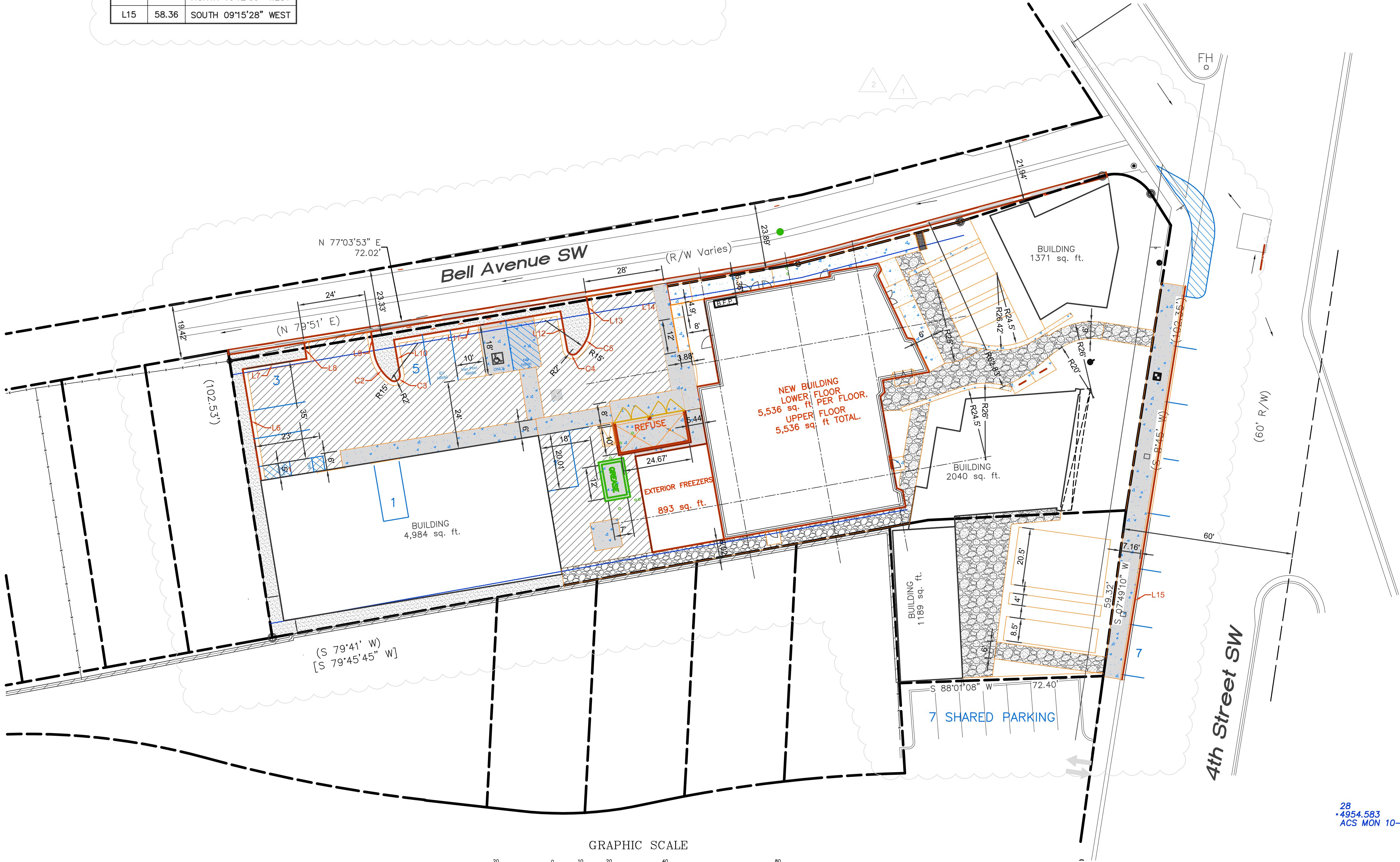
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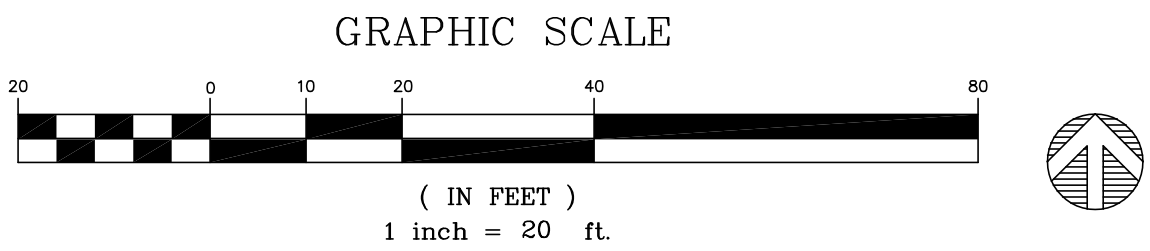
KEY PLAN

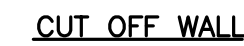
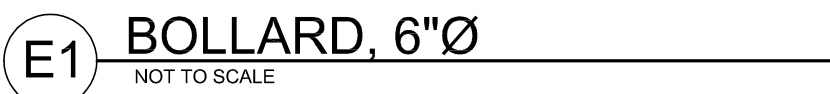
PERMIT SET

TCL2



A1 HORIZONTAL CONTROL PLAN
1" = 20'-0"





- A. CURBS, GUTTERS & CUT-OUT WALLS TO BE CONSTRUCTED OF 3500 PSI P.C.C. UNLESS OTHERWISE NOTED.
- B. EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE EDGED WITH A 3/8" EDGING TOOL.
- C. REMOVE & REPLACE 12" WIDE STRIP OF PAVEMENT BEYOND LIP OF GUTTER WHEN CONSTRUCTING CURB & GUTTER ADJACENT TO EXISTING A.C. PAVEMENT.
- D. DIMENSIONS AT ROUNDED CORNERS MEASURED TO INTERSECTION OF STRAIGHT LINES.
- E. FOR 6" CURB & GUTTER PROVIDE CONTROL JTS. @ 6' O.C. MAX. ALSO PROVIDE 1/2" EXPANSION JTS. AT 30' O.C. MAX. AT CURB RETURN POINTS AT EACH SIDE OF DRIVEWAYS.
- F. FOR ALL OTHER CURBING PROVIDE CONTROL JOINTS @ 10' O.C., PROVIDE EXPANSION JOINTS @ 50' O.C. & ADJACENT TO BUILDINGS AND WALLS.



NOTES

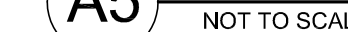
DAVID A. AUBE
STATE OF
14221
NEW MEXICO
REGISTERED PROFESSIONAL ENGINEER

KEY PLAN

PERMIT SET

Date
3-21-2022

NOTES



SUMMARY
FILENAME

GENERAL NOTES:

1. NMOT IS RECOGNIZED AS A TITLE IF PUBLIC ENTITY UNDER THE AMERICANS WITH DISABILITIES ACT (ADA), OF 1990 (PUBLIC LAW 101-336). A TITLE IF ENTITY IS DEFINED AS ANY STATE OR LOCAL GOVERNMENT ENTITY AND PROHIBITS DISCRIMINATION ON THE BASIS OF DISABILITY. THE ADA EXTENDS THE PRINCIPLES OF SECTION 504 OF THE REHABILITATION ACT, OF 1973, AS AMENDED, TO PROTECT PERSONS WITH DISABILITIES IN ALL PUBLIC FACILITIES AND PROGRAMS (RESPECTIVE OF THE FUNDING SOURCE).
2. THESE DRAWINGS PROVIDE GUIDANCE FOR COMPLIANCE WITH THE PROPOSED ACCESSIBILITY GUIDELINES FOR PEDESTRIAN FACILITIES IN THE PUBLIC RIGHT-OF-WAY (PROWAG), JULY 26, 2011, OR LATEST EDITION. THESE GUIDELINES SHALL APPLY TO ALL NEW AND ALTERED PEDESTRIAN ACCESS ROUTES (PAR).
3. REFER TO CONSTRUCTION PLANS FOR THE DETAILED LAYOUTS AND DETAILS.
4. PEDESTRIAN ACCESS ROUTES (PAR) SHALL BE FIRM, STABLE, AND SLIP RESISTANT. PROVIDE SLIP RESISTANT TEXTURE ON SIDEWALKS AND CURB RAMPS BY BROOMING TRANSVERSE TO THE SLOPE OF THE RAMP AND/OR PERPENDICULAR TO PEDESTRIAN TRAVEL. EXTEND TEXTURE THE FULL WIDTH AND LENGTH OF THE CURB RAMP INCLUDING SIDE FLARES. DO NOT SCORE OR MAKE GROOVES IN SLOPED SURFACE. LINES SHOWN ON STANDARD DETAILS ARE FOR ILLUSTRATION ONLY.
5. VERTICAL SURFACE DISCONTINUITIES SHALL BE 0.5 INCHES MAXIMUM. VERTICAL DISCONTINUITIES BETWEEN 0.25 INCHES AND 0.5 INCHES SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 20 PERCENT. THE BEVEL SHALL BE APPLIED ACROSS THE ENTIRE VERTICAL SURFACE DISCONTINUITY. HORIZONTAL OPENINGS IN GRATINGS AND JOINTS SHALL NOT PERMIT PASSAGE OF A SPHERE MORE THAN 0.5 INCHES IN DIAMETER. ELONGATED OPENINGS IN GRATINGS SHALL BE PLACED SO THAT THE LONG DIMENSION IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL.
7. PROVIDE EXPANSION JOINT MATERIAL, 0.5 INCHES THICK WHERE CURB RAMP ADJOINS ANY ROAD PAVEMENT, SIDEWALK OR STRUCTURE WITH THE TOP OF JOINT FILLER FLUSH WITH ADJACENT CONCRETE SURFACE.
8. SEAL ALL JOINTS WITH AN APPROVED SEALING MATERIAL.
9. INSTALL JOINTS WHERE CURB RAMPS, TURNING SPACES, FLARES, AND SIDEWALKS ABUT. ALL JOINTS AND TRANSITIONS SHALL BE FLUSH.
10. VERTICAL WALLS OR HEADER CURBS ARE PERMITTED WHEN ADJACENT TO NON-WALK AREAS OR ELEVATION DIFFERENCES CANNOT BE ACCOMMODATED BY CURB RAMP FLARES OR GRADING. GRADE NON-WALK AREAS AT 3:1 OR FLATTER.
11. CONSTRUCTION TOP / BOTTOM OF CURB TO BE FLUSH WITH ADJACENT SURFACES (CURB RAMPS, SIDEWALKS, AND FLARES). VERTICAL LIPS NOT PERMITTED AT THE BOTTOM OF CURB RAMP WHERE THE RAMP MEETS STREET LEVEL.

SIDEWALKS

12. SIDEWALK, AND CURB AND GUTTER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SERIAL 609-01-1/1.
13. SIDEWALK CROSS SLOPE IS RECOMMENDED TO BE CONSTRUCTED FOR CROSS SLOPE OF 1.5% TYPICAL, BUT SHALL NOT EXCEED 2.0% CROSS SLOPE ON THE PEDESTRIAN ACCESS ROUTE (PAR).
14. SIDEWALK SHALL HAVE A MINIMUM WIDTH OF 5.0 FT, EXCLUSIVE OF THE WIDTH OF THE CURB RETURN.
EXCEPTION: WHERE SIDEWALK WIDTH NEEDS TO BE REDUCED TO NO LESS THAN 4.0 FT, PASSING SPACES SHALL BE PROVIDED AT INTERVALS OF 200 FT MAXIMUM. PASSING SPACES SHALL BE 4.0 FT MINIMUM BY 4.0 FT MINIMUM.
15. ANY SIGNS, POSTS, UTILITY POLES, FIRE HYDRANTS, TRAFFIC SIGNALS, STREET FURNITURE, AND OTHER OBJECTS SHALL NOT REDUCE THE CLEAR WIDTH TO LESS THAN 4.0 FT.
16. THE CLEAR WIDTH OF PEDESTRIAN ACCESS ROUTES (PAR) WITHIN MEDIANS AND PEDESTRIAN REFUGE ISLANDS SHALL BE 5.0 FT MINIMUM.

CURB RAMPS

17. FOR NEW CONSTRUCTION AND ALTERATIONS, CONSTRUCT CURB RAMP AND FLARE SLOPES WITH THE FLATTEST SLOPE FEASIBLE. THE MAXIMUM SLOPE ALLOWABLE IS INDICATED IN NOTE 18 OF THE CURB RAMP STANDARD DETAILS. SLOPES THAT EXCEED THOSE INDICATED IN THE CURB RAMP STANDARD DETAILS OR CONSTRUCTION PLANS WILL NOT BE ACCEPTED AND WILL BE REMOVED AND RECONSTRUCTED.
18. RUNNING SLOPE OF THE CURB RAMP SHALL BE 8.3% MAX (RECOMMENDED 7.0%) BUT SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 15.0 FT TO AVOID CHASING THE SLOPE INDEFINITELY WHEN CONNECTING TO STEEP GRADES. WHEN APPLYING THE 15 FOOT MAX LENGTH, THE RUNNING SLOPE OF THE CURB RAMP SHALL BE EXTENDED AS FLAT AS MAXIMUM EXTENT PRACTICABLE.
19. CONSTRUCT THE CLEAR WIDTH OF CURB RAMP RUNS (EXCLUDING ANY FLARED SIDES), BLENDED TRANSITIONS, AND TURNING SPACES AS TYPICAL, 5.0 FT X 5.0 FT AND MINIMUM 4.0 FT X 4.0 FT CLEAR SPACE BEYOND THE CURB FACE, WITHIN THE WIDTH OF THE CROSSWALK AND WHOLLY OUTSIDE THE PARALLEL VEHICLE TRAVEL LANE.
20. CURB RAMP AND SIDE FLARE LENGTHS ARE VARIABLE AND BASED ON CURB HEIGHT AND THE SIDEWALK SLOPE.
21. THE CHANGE IN GRADE AT THE BOTTOM OF THE CURB RAMP AND ADJOINING ROAD SURFACE SHALL NOT EXCEED AN ALGEBRAIC DIFFERENCE OF 13.3%. THE COUNTER SLOPE OF THE GUTTER OR ROAD AT THE FOOT OF A CURB RAMP RUN, TURNING SPACE OR BLENDED TRANSITION IS NOT TO EXCEED 6.0%.
22. CONSTRUCT CURB RAMPS FLUSH TO ADJACENT ROADWAY. GRADE EDGE OF ROAD ELEVATIONS AT THE FLOW LINE TO ENSURE POSITIVE DRAINAGE AND PREVENT PONDING. FOR LEVEL TURNING SPACES BEYOND SLOPES TO PROVIDE POSITIVE DRAINAGE.
23. GRADE BREAKS AT THE TOP AND BOTTOM OF CURB RAMPS SHALL BE PERPENDICULAR TO THE DIRECTION OF THE CURB RAMP RUN. GRADE BREAKS SHALL NOT BE PERMITTED ON THE SURFACE OF CURB RAMP RUNS AND TURNING SPACES. SURFACE SLOPES THAT MEET AT GRADE BREAKS SHALL BE FLUSH.
24. ALL SLOPES ARE MEASURED WITH RESPECT TO A LEVEL PLANE. THEREFORE, THE LENGTH OF CURB RAMP IS NOT SOLELY DEPENDENT ON THE HEIGHT OF CURB. (FOR EXAMPLE, A 9" CURB DOES NOT NECESSARILY MEAN A RAMP LENGTH OF 6.0 FT FOR AN 8.3% SLOPE).

CROSSWALKS

25. PROVIDE A SEPARATE CURB RAMP FOR EACH MARKED OR UNMARKED CROSSWALK. CURB RAMP LOCATIONS SHALL BE PLACED WITHIN THE WIDTH OF THE MARKED OR UNMARKED CROSSWALK AS SHOWN IN THE CONSTRUCTION PLANS.

DETECTABLE WARNING

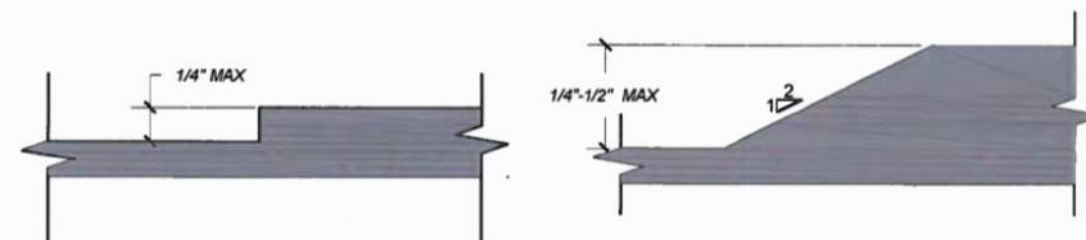
26. DETECTABLE WARNING SURFACES (DWS) CONSISTING OF TRUNCATED DOMES SHALL BE UTILIZED WHERE CURB RAMPS, BLENDED TRANSITIONS, OR TURNING SPACE PROVIDE A FLUSH PEDESTRIAN CONNECTION TO THE STREET OR WHERE THE PEDESTRIAN ACCESS ROUTE (PAR) CROSSES A STREET, ALLEY, TRAFFIC ISLAND, MEDIAN, OR RAILROAD. DETECTABLE WARNING SURFACES (DWS) WILL NOT BE INSTALLED AT RESIDENTIAL DRIVEWAYS. DETECTABLE WARNING SURFACE MUST BE LOCATED BETWEEN THE PAR AND COMMERCIAL DRIVEWAYS THAT ARE STOP OR YIELD CONTROLLED OR ARE CONTROLLED BY A SIGNAL.
27. DETAILS OF DETECTABLE WARNING SURFACE ARE SHOWN IN CONTRACT PLANS AND SHEET 608-001-8/12 OF THE STANDARD DRAWINGS.

ACCESSIBLE PEDESTRIAN SIGNALS (APS) AND PEDESTRIAN PUSHBUTTONS

28. FOR ALTERATION PROJECTS, PROVIDE ACCESS TO EXISTING PEDESTRIAN PUSHBUTTONS TO THE MAXIMUM EXTENT PRACTICABLE. INSTALL PEDESTRIAN STUD POLES, WHERE APPLICABLE, SO AS NOT TO CREATE PEDESTRIAN TRIP HAZARDS. REFER TO THE MANUAL FOR FURTHER GUIDANCE.
29. PEDESTRIAN SIGNAL PUSH BUTTONS SHALL COMPLY WITH THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND LOCATED WITHIN A HORIZONTAL REACH OF 0' TO 10' AND SHALL BE WITHIN 36" TO 44" ABOVE THE SIDEWALK SURFACE.
30. PEDESTRIAN SIGNAL SHALL HAVE 4" DIA FT MIN TURNING SPACE TO PROVIDE ACCESS TO PUSH BUTTONS.

ALTERATIONS TO EXISTING FACILITIES - GENERAL NOTES:

- ADDITIONS OR ALTERATIONS TO ANY FACILITY SHALL CONFORM TO THE REQUIREMENTS OF THE NEW CONSTRUCTION STANDARDS WITHIN THE NMOT PEDESTRIAN ACCESS STANDARDS AND PROWAG 2011 OR LATEST EDITION. ANY DESIGN / CONSTRUCTION DEVIATION THAT IS DEEMED AN VARIANCE OR TECHNICALLY INFEASIBLE BY THE DEFINITION BELOW SHALL REQUIRE SUBMITTAL AND APPROVAL OF ADA DESIGN VARIANCE PROCEDURES.
31. EXCEPTION: IN ALTERATION WORK, IF COMPLIANCE IS TECHNICALLY INFEASIBLE, THE ALTERATION SHALL PROVIDE ACCESSIBILITY TO THE MAXIMUM EXTENT PRACTICABLE. ANY ELEMENTS OR FEATURES OF THE BUILDING OR FACILITY THAT IS BEING ALTERED AND CAN BE MADE ACCESSIBLE SHALL BE MADE ACCESSIBLE WITHIN THE SCOPE OF THE ALTERATION.
32. TECHNICAL INFEASIBILITY: MEANS, WITH RESPECT TO AN ALTERATION OF A BUILDING OR A FACILITY, THAT IT HAS LITTLE LIKELIHOOD OF BEING ACCOMPLISHED BECAUSE EXISTING STRUCTURAL CONDITIONS WOULD REQUIRE REMOVING OR ALTERING A LOAD-BEARING MEMBER WHICH IS AN ESSENTIAL PART OF THE STRUCTURAL FRAME; OR BECAUSE OTHER EXISTING PHYSICAL OR SITE CONSTRAINTS PREVENT.
33. IN ALTERATIONS WHERE EXISTING PHYSICAL CONSTRAINTS PREVENT COMPLIANCE TO PROVIDE A CURB RAMP FOR EACH PEDESTRIAN CROSSING A SINGLE DIAGONAL CURB RAMP SHALL BE PERMITTED TO SERVE BOTH PEDESTRIAN STREET CROSSINGS.



VERTICAL SURFACE DISCONTINUITIES

REFER TO NOTE 5

DOMINANT DIRECTION OF TRAVEL

LOW DIMENSION PERPENDICULAR TO DOMINANT DIRECTION OF TRAVEL

1/2" MAX

HORIZONTAL OPENINGS

SCALE NONE

REFER TO NOTE 4

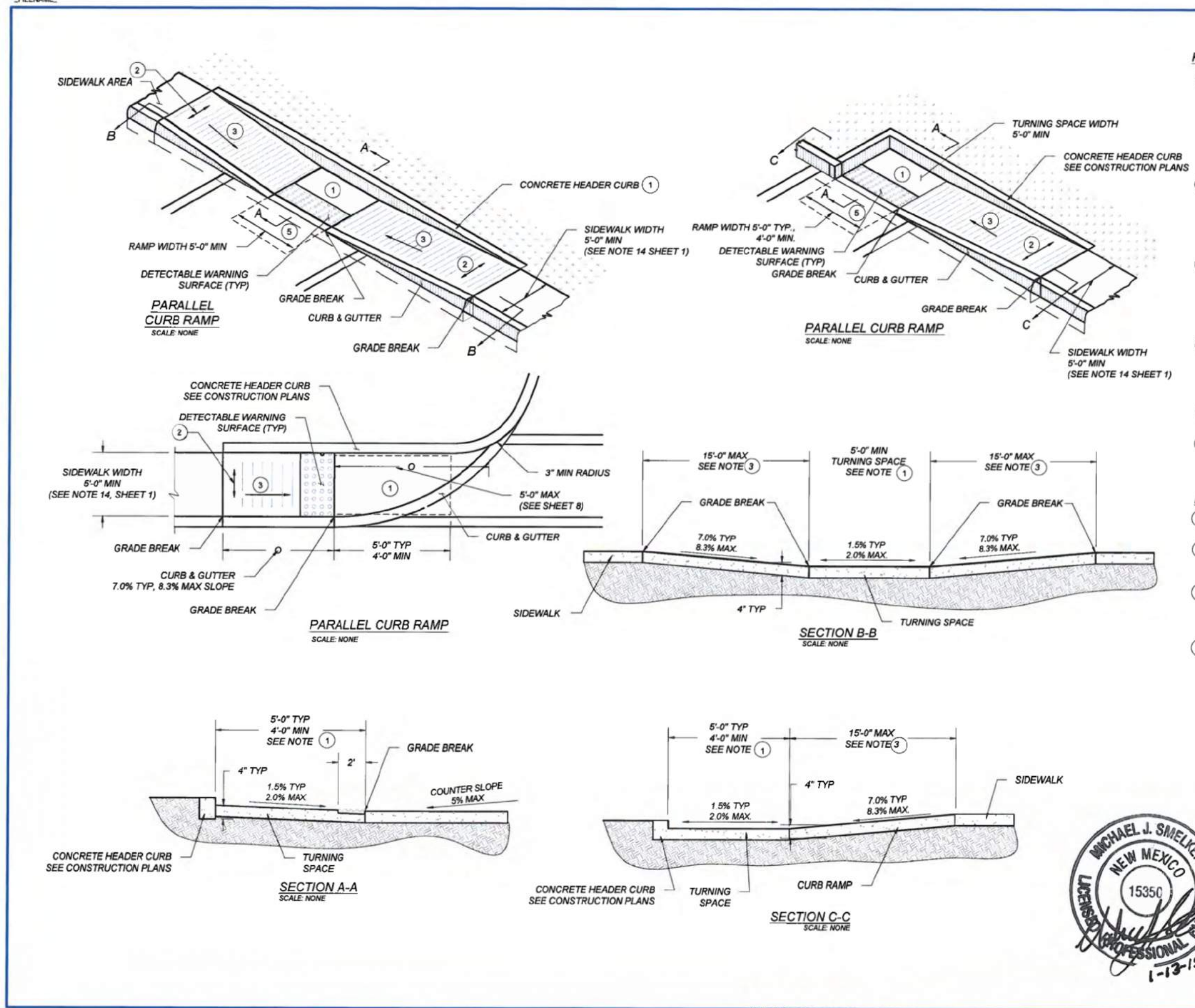


| NO. | DATE | REV. BY | DESCRIPTION |
|--|-------------|-------------|-------------|
| REVISIONS - (OR CHANGE NOTICES) | | | |
| NEW MEXICO DEPARTMENT OF TRANSPORTATION STANDARD DRAWING | | | |
| PEDESTRIAN ACCESS ROUTE GENERAL NOTES | | | |
| APPROVED | DATE | DESIGNED BY | DATE |
| 608-001-1 | 608-1 of 12 | | |

file path

DRAWING SCALE = NOT TO SCALE

SUMMARY
FILENAME



KEYED NOTES

1. TURNING SPACE SHALL HAVE MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 1.0% (RECOMMEND 1.5%). TURNING SPACE SHALL BE 4.0 FT BY 4.0 FT MIN (RECOMMEND 5.0 FT BY 5.0 FT) AT THE TOP OF THE CURB RAMP AND SHALL BE PERMITTED TO OVERLAP OTHER TURNING SPACES AND CLEAR SPACES. WHERE THE TURNING SPACE IS CONSTRAINED AT THE BACK OF SIDEWALK, THE TURNING SPACE SHALL BE 4.0 FT MIN BY 5.0 FT MIN. THE 5.0 FT SHALL BE PROVIDED IN THE DIRECTION OF THE RAMP RUN.
 2. CROSS SLOPE SHALL BE 2.0% MAX (RECOMMENDED 1.5%). EXCEPTION: THE CROSS SLOPE OF CURB RAMPS AT PEDESTRIAN STREET CROSSING WITHOUT YIELD OR STOP CONTROL, TRAFFIC SIGNALS DESIGNATED FOR THE GREEN PHASE, AND AT MIDBLOCK PEDESTRIAN STREET CROSSING, THE CROSS SLOPE IS PERMITTED TO MATCH STREET OR HIGHWAY GRADE.
 3. RUNNING SLOPE OF THE CURB RAMP SHALL BE 8.3% MAX (RECOMMENDED 7.0%) BUT SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 15.0 FT TO AVOID CHASING THE SLOPE INDEFINITELY WHEN CONNECTING TO STEEP GRADES. WHEN APPLYING THE 15 FOOT MAX LENGTH, THE RUNNING SLOPE OF THE CURB RAMP SHALL BE EXTENDED AS FLAT AS MAXIMUM EXTENT PRACTICABLE.
 4. GRADE BREAKS AT THE TOP AND BOTTOM OF CURB RAMPS RUNS SHALL BE PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN. GRADE BREAKS SHALL NOT BE PERMITTED ON THE SURFACE OF RAMP RUNS AND TURNING SPACE. SURFACE SLOPES THAT MEET AT GRADE BREAKS SHALL BE FLUSH.
 5. COUNTER SLOPE OF THE GUTTER OR STREET AT THE FOOT OF A CURB RAMP RUN OR TURNING SPACE SHALL BE 6% MAX.
 6. FLARED SIDES ARE TO HAVE A SLOPE OF 10% MAX (RECOMMEND 8%). MEASURED PARALLEL TO THE BACK OF THE CURB, UNLESS THE FLARED SIDES ARE PROTECTED FROM CROSS TRAVEL BY LANDSCAPING, STREET FURNITURE, CHAINS, FENCING, OR RAILINGS.
- NOTES:
- A. DO NOT SCORE OR MAKE GROOVES IN SLOPED SURFACE LINES SHOWN ON STANDARD DETAILS ARE FOR ILLUSTRATION ONLY.
 - B. DETAILS OF THE DETECTABLE WARNING SURFACE ARE SHOWN IN THE CONSTRUCTION PLANS AND SHEET 608-001-8/12 OF THE STANDARD DRAWINGS.
 - C. IN ALTERATIONS WHERE EXISTING PHYSICAL CONSTRAINTS PREVENT COMPLIANCE TO PROVIDE A CURB RAMP FOR EACH PEDESTRIAN CROSSING A SINGLE DIAGONAL CURB RAMP SHALL BE PERMITTED TO SERVE BOTH PEDESTRIAN STREET CROSSINGS.
 - D. CONCRETE HEADER CURBS CONSTRUCTED AS PART OF THE CURB RAMP WILL BE CONSIDERED INCIDENTAL TO ITEM NUMBER 608004 AND NO SEPARATE PAYMENT WILL BE MADE.



| NO. | DATE | REV. BY | DESCRIPTION |
|--|-------------|-------------|-------------|
| REVISIONS - (OR CHANGE NOTICES) | | | |
| NEW MEXICO DEPARTMENT OF TRANSPORTATION STANDARD DRAWING | | | |
| PARALLEL CURB RAMPS | | | |
| APPROVED | DATE | DESIGNED BY | DATE |
| 608-001-3 | 608-3 of 12 | | |

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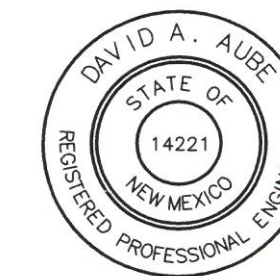
DRAWING SCALE = NOT TO SCALE

REVISIONS

No. Description Date

NOTES

STAMP + SIGNATURE



KEY PLAN

PERMIT SET



SHARED PARKING AGREEMENT

Owner/Applicant

Name: Homewise, Inc. Business Name: Homewise, Inc.

Street Address: 1411 4th St SW, Albuquerque, NM 87102 Legal Description: LT 1A BLK 1 PLAT FOR LOT 1-A, BLOCK 1

GUTIERREZ ADDITION(BEING COMPRISED OF LOT 1, BLOCK 1, GUTIERREZ ADDITION,AND A VACATED PORTION OF BELL AVENUE S.W.) CONT .7551 AC

UPC #: 101405607147721706

Owner of Off-Site Parking Area

Name: Michael A Gonzales Business Name: Jike Enterprises, LLC

Street Address: 1423 4th St SW, Albuquerque, NM 87102 Legal Description: TR A PLAT OF TRACTS A & B BARELAS COFFEE

HOUSECONT .4481 AC

UPC #: 101405607546421116

In conjunction with the development of Barelas Community Kitchen, located at 1411 4th St SW, Albuquerque, NM 87102 (the "Property") for which the legal description is

LT 1A BLK 1 PLAT FOR LOT 1-A, BLOCK 1 GUTIERREZ ADDITION(BEING COMPRISED OF LOT 1 , BLOCK 1, GUTIERREZ ADDITION,AND A VACATED PORTION OF BELL AVENUE S.W.) CONT .7551 AC

, the City of Albuquerque has allowed, and Homewise, Inc. (the "Owner") has voluntarily elected, for a reduction

to off-street parking requirements based upon § 14-16-5-5(C)(5)(b) Shared Parking Reduction of the Integrated Development Ordinance (IDO) and the currently known tenant uses proposed and/or existing on the Property.

The provided site plan, as shown on Exhibit B, includes a parking layout and the reduced parking calculations. Based on the site plan and considering the tenant uses, the IDO requires a minimum of seven (7) off-street parking spaces. Under the terms of this Agreement, seven (7) off-street parking spaces will be provided on the Property, while the difference between the required number of off-street parking spaces and the parking spaces provided on the Property – seven (7) parking spaces – will be provided on the property with the off-site parking area, TR A PLAT OF TRACTS A & B

BARELAS COFFEE HOUSECONT .4481 AC

The Owner, and its successors and assigns, agrees that it will not change the tenant uses at the Property in a manner that increases the number of required off-street parking spaces unless additional parking spaces are provided. In the event that there are changes to the tenant uses which would increase the number of required off-street parking spaces on the Property, the parking calculations shall be updated by the Owner to reflect such change and presented to the City.

Furthermore, the Owner agrees that the Property shall operate an open/shared parking arrangement, whereby, the Owner shall not segregate property access/parking rights or significantly impair access to parking on the Property by the users of any portion of the Property.

The foregoing shall not, however, impair the right of the Owner or its successors to declare exclusive parking areas for such items as spaces for disabled drivers, loading, designated timed areas such as "15 minute" temporary parking areas, or any other areas set forth on any site plan of the Property approved by the City, or to take commercially reasonable actions to prevent parking in areas which are not designated parking spaces on the site plan.

No sale or transfer of all or any portion of the Property shall be deemed to void or violate this Agreement. The terms of this Agreement shall bind the Owner, successors, and assigns. This Agreement can be amended with mutual consent of the Owner and the City of Albuquerque. If an amendment is necessary, the City will not unreasonably withhold its consent to reasonably amend the Agreement in case of a sale or transfer.

THIS AGREEMENT SHALL BE RECORDED WITH THE BERNALILLO COUNTY CLERK'S OFFICE PRIOR TO ISSUANCE OF A BUILDING PERMIT FOR THE PROPERTY.

SHARED PARKING AGREEMENT

IN WITNESS WHEREOF, the parties have executed this Agreement on the date noted below by the Planning Director.

Owner (applicant)

Date

5/19/22

Owner (off-site parking area)

Date

5/19/22

Approved as to Form – City Attorney

Date

City of Albuquerque,
Planning Director or Designee

Date

STATE OF NEW MEXICO

)

) ss.

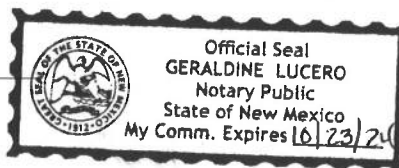
County of Bernalillo

)

The foregoing instrument was acknowledged before me this 19th day of MAY, 2022, by MICHAEL A GONZALEZ on behalf of the Owner.

My Commission Expires:

OCT 23RD 2024



Geraldine Lucero
Notary Public

STATE OF NEW MEXICO

)

) ss.

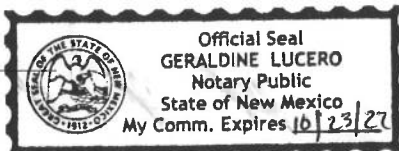
County of Bernalillo

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The foregoing instrument was acknowledged before me this 19th day of MAY, 2022, by JOHMONA MARIE GULLIGAN on behalf of the Owner.

My Commission Expires:

OCT 23RD 2024



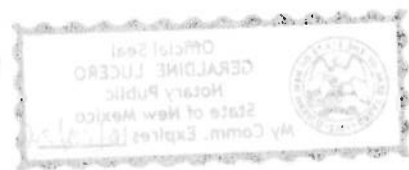
Geraldine Lucero
Notary Public

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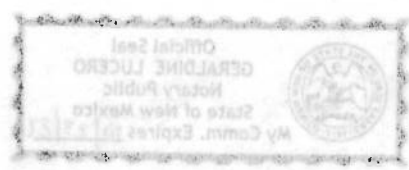


STATE OF NEW MEXICO

County of Bernalillo

The foregoing instrument was read and acknowledged before me this 19th day of MAY, 2025, by GERALDINE LUCERO on behalf of the Owner.

[Faint handwritten signature]



My Commission Expires:

OCT 25 2025