

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

February 7, 2023

David B. Thompson, P.E.
Thompson Engineering Consultants, Inc.
P.O. Box 65760
Albuquerque, NM 87193

Re: 1407 Warm Shell
1407 4th St. SW
Traffic Circulation Layout
Engineer's Stamp 12-15-22 (L14-D063A)

Dear Mr. Thompson,

The TCL submittal received 01-09-2023 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File

MATERIAL LEGEND

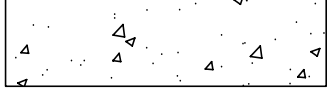
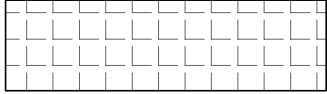
	CONCRETE SIDEWALK PER DETAIL B4/C501
	PERMEABLE PAVEMENT PER LANDSCAPING PLANS

Table 2-4-3: MX-L Zone District Dimensional Standards Summary		
See Table 5-1-2 for complete Dimensional Standards		
Development Location	General	UC-MS-PT
Site Standards		
A Usable open space, minimum	≤1 BR: 225 sq. ft./unit 2 BR: 285 sq. ft./unit ≥3 BR: 350 sq. ft./unit	50% reduction
Setback Standards		
B Front, minimum / maximum	5 ft. / N/A	0 ft. / 15 ft.
C Side, minimum / maximum	Interior: 0 ft.; Street side: 5 ft. / N/A	0 ft. / Street side: 15 ft.
D Rear, minimum	15 ft.	Street or alley: 0 ft.
Building Height		
E Building height, maximum	38 ft.	55 ft.

TRAFFIC CIRCULATION
LAYOUT APPROVED

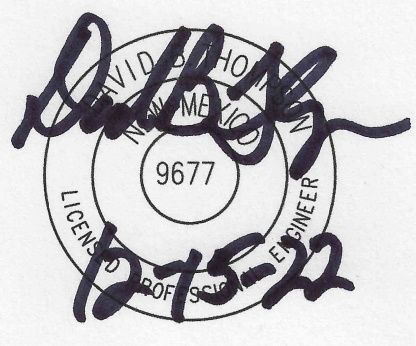
Ernest Olmigo 2/8/2023

Signed Date

scout

ARCHITECTURE + DESIGN

ARCHITECT/ENGINEER



1407 WARM SHELL


1407 4TH STREET SW
ALBUQUERQUE, NM 87102

PAVING PLAN KEYED NOTES

- EXISTING CURB AND GUTTER TO REMAIN.
- EXISTING ESTATE CURB TO REMAIN.
- EXISTING VALLEY GUTTER TO REMAIN.
- EXISTING ALLEY TO REMAIN.
- NOT USED.
- CONCRETE SIDEWALK PER DETAIL B4/C501.
- CONCRETE HEADER CURB PER DETAIL A5/C501.
- TURNDOWN EDGE ON SIDEWALK PER DETAIL E4/C501.
- EXISTING BICYCLE RACK.
- EXISTING CONCRETE SIDEWALK TO REMAIN.
- EXISTING DECORATIVE ACCESSIBLE PATH TO REMAIN.
- PROVIDE 12" WIDE OPENING IN HEADER CURB FOR DRAINAGE.
- EXISTING PAINT CURB RED WITH 6" TALL WHITE LETTERS READING "NO PARKING FIRE LANE".
- EXISTING "NO PARKING FIRE LANE SIGNS AT 100' INTERVALS ON EACH SIDE OF BELL AVENUE SW.
- CONCRETE STOOP 5'X5' WITH THICKENED EDGES PER DETAIL B1/C501.
- SLOPING CONCRETE SIDEWALK PER DETAIL B4/C501.
- CONCRETE LANDING/SIDEWALK PER DETAIL B4/C501.

PAVING PLAN GENERAL NOTES

- SEE SHEET CG01 FOR COMPLETE LIST OF GENERAL NOTES AND SYMBOL/LINETYPE LEGEND THAT APPLY TO ALL SHEETS.

Tompson
Engineering
Consultants, Inc.

tecnm@yahoo.com

P.O. BOX 65760
ALBUQUERQUE, NM 87193

PHONE: (505) 271-2199
FAX: (505) 630-9248

PERMIT SET

REVISION DATE

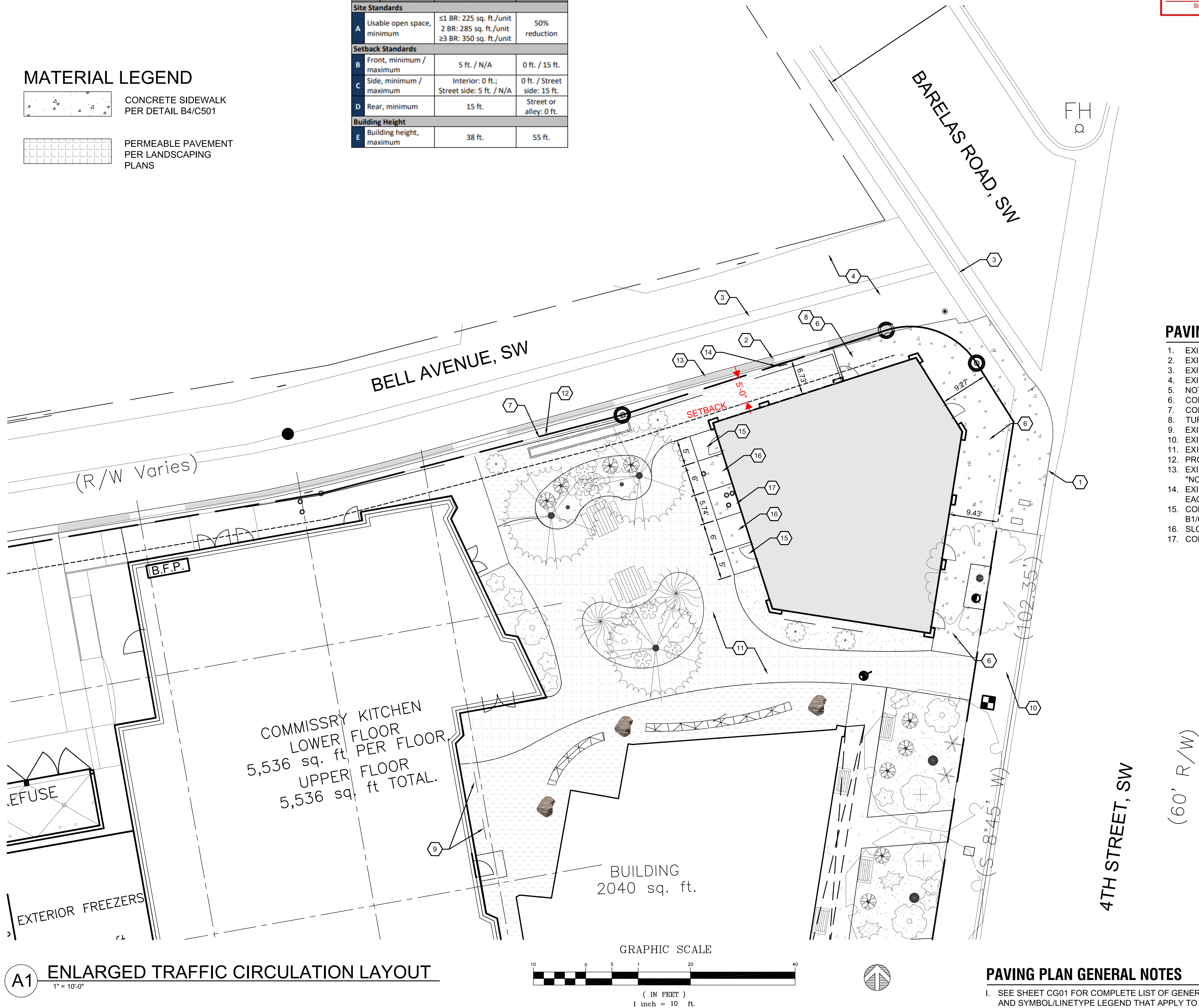
DATE 12.15.22

PROJECT NO 2028

SITE
PAVING
PLAN

SHEET NO.

TCL2



A1 ENLARGED TRAFFIC CIRCULATION LAYOUT

1" = 10'-0"