

CONSTRUCTION PLANS
FOR
TRANSIT DEPARTMENT YALE MAINTENANCE FACILITY
STORM DRAINAGE & PARKING IMPROVEMENTS
ALBUQUERQUE, NEW MEXICO

INDEX

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NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
2. ALL CURVE DATA AND DIMENSIONS REFER TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
3. ANY ADDITIONAL GRADING REQUIRED TO MATCH PROPOSED STREET GRADES SHALL BE INCIDENTAL TO PAVING ITEMS.
4. CONTRACTOR SHALL PROVIDE THE INSPECTORS, (CITY AND PRIVATE) WITH THE PROPOSED HYDROSTATIC TESTING PLAN. THE PLAN MUST BE APPROVED BEFORE TESTING OPERATIONS BEGIN.
5. REMOVAL OF THE EXISTING CURB & CUTTER SHALL BE AS PER COA STD. DWG. 2415 (SAWCUT ONLY), REMOVE CURB TO NEAREST JOINT.
6. ELECTRONIC MARKER SPHERES (EMS) WILL BE PLACED ACCORDING TO SECTION 170 OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #8, AMENDMENT #1.
7. ANY DAMAGE TO THE EXISTING FACILITIES (CURB & CUTTER, PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES, ETC.) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.

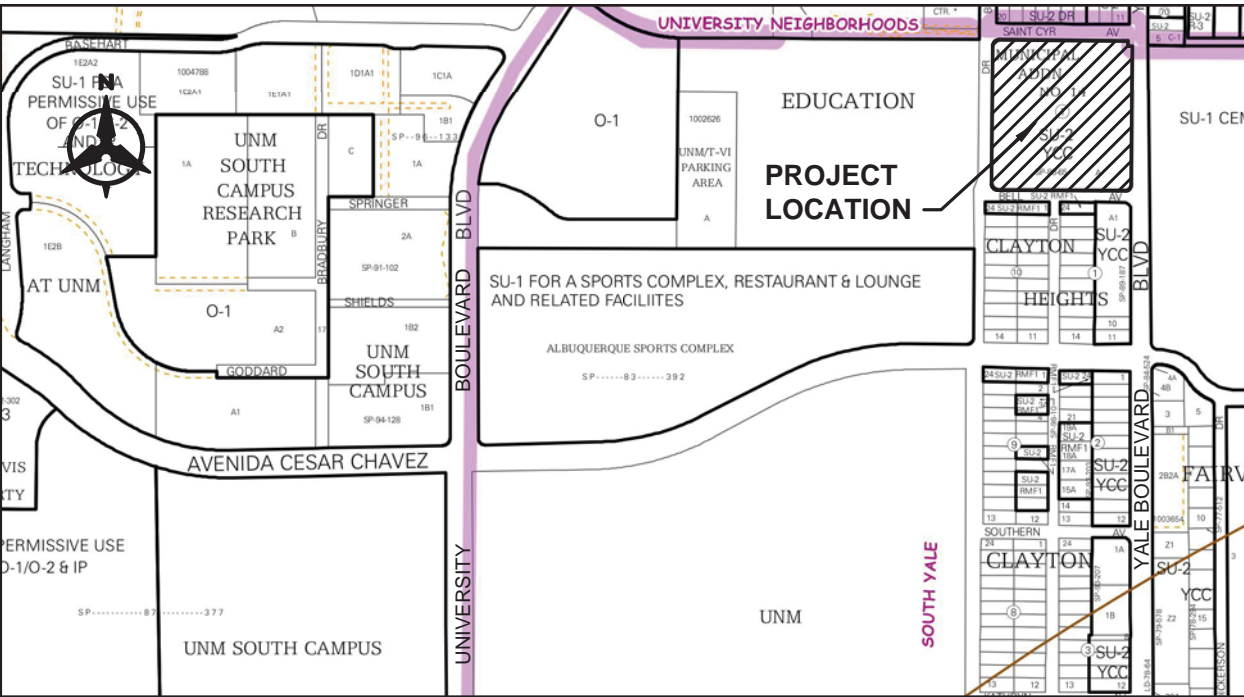
CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS.
2. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
3. DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE CONSTRUCTION ENGINEER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.

4. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION ENGINEER.
5. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY COSTS INCURRED FOR REPAIRS SHALL BE THE COST OF THE CONTRACTOR.
6. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
7. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E. BARRICADING, SURFACE DISTURBANCE).

8. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), U.S. DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
9. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
10. ALL SAWCUT PAVEMENT SHALL HAVE A UNIFORM EDGE AND BE SPRAYED WITH TACK.
11. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENTS, PAVEMENT MARKINGS, CURB & GUTTER, DRIVE PADS, WHEELCHAIR RAMPS, AND SIDEWALK DURING CONSTRUCTION, APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS AND SHALL REPAIR OR REPLACE PER COA STANDARDS, AT HIS OWN EXPENSE.

12. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.652.
13. CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL CONSTRUCTION SIGNAGE UNTIL THE PROJECT HAS BEEN ACCEPTED BY THE CITY OF ALBUQUERQUE.
14. ALL SWPPP EROSION CONTROL MEASURES MUST BE REMOVED FROM THE RIGHT OF WAY PRIOR TO FINAL ACCEPTANCE.



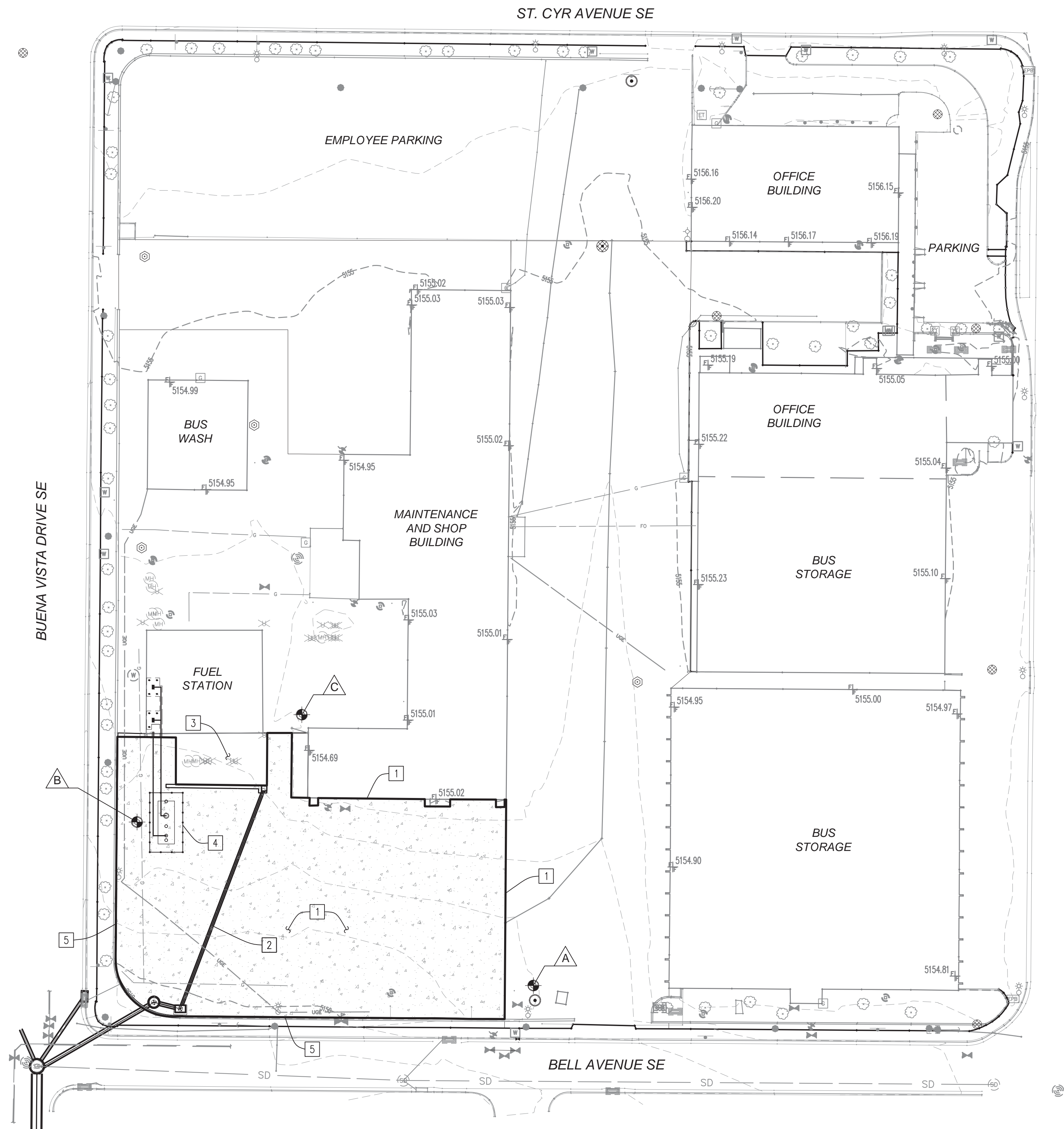
NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE NO. 8, INCLUDING AMENDMENT NO. 1.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. SEVEN (7) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT, TO THE CONSTRUCTION COORDINATION DIVISION, A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONST. COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY CONSTRUCTION COORDINATION ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
6. ALL WORK AFFECTING ARTERIAL ROADWAYS REQUIRES TWENTY-FOUR HOUR CONSTRUCTION.
7. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED W/ PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO THE SAME LOCATION AS EXISTING, OR AS INDICATED BY THIS PLAN SET.
8. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO ENSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
9. CONTRACTOR SHALL RECORD DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS CONSTRUCTED" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
10. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY GRAFFITI FROM ALL EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
11. THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT <http://ghcwua.org/content/view/full/463/779/>.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☐ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- ☐ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE ENGINEER.
- ☒ SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☐ IF CURB IS DEPRESSED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- ☒ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.
- ☒ THE REQUESTOR OR DEVELOPER SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ALL CURB AND GUTTER OR SIDEWALK DAMAGED AFTER APPROVAL BY THE CITY ENGINEER OF WORK COMPLETED BY THE CONTRACTOR.

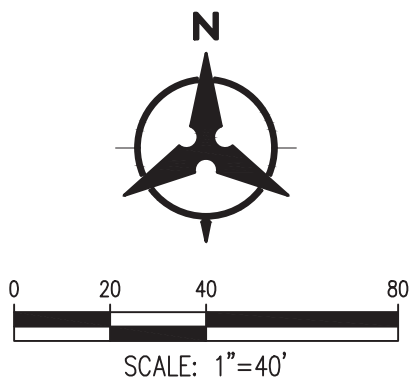
REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS	ENGINEER	DATE	*****		
		DRC Chairman			APPROVED FOR CONSTRUCTION		
		Transportation					
		Water/Wastewater					
		Hydrology					
		Parks					
		Const. Mngmt.					
		Const. Coord.			CITY ENGINEER DATE		
		NMUI					
DRB CASE NUMBER		CITY PROJECT NO.		SHEET		OF	
—		5798.91		1		16	



BHI SURVEY CONTROL				
	DESCRIPTION	NORTHING	EASTING	ELEVATION
A	BHI-01	1481964.7220	1528731.7420	5151.98
B	BHI-02	1482063.7650	1528491.8210	5152.43
C	BHI-03	1482128.7210	1528591.5570	5153.42

- KEYED NOTES**
- 1 LIMITS OF PAVEMENT REMOVAL AND REPLACEMENT. SEE PAVING PLAN SHEET 5.
 - 2 NEW STORM DRAIN SYSTEM. SEE GRADING PLAN SHEET 4.
 - 3 PRESERVE AND PROTECT EXISTING FUEL TANK
 - 4 NEW UNLEADED FUEL TANK. SEE FUEL TANK SITE PLAN SHEET XX.
 - 5 PRESERVE AND PROTECT EXISTING CMU BLOCK WALL

- LEGEND**
- PAVEMENT REMOVAL & REPLACEMENT LIMITS
 - CONCRETE PAVEMENT
 - SURVEY BENCH MARK
 - BUILDING LINE & FINISHED FLOOR ELEVATION



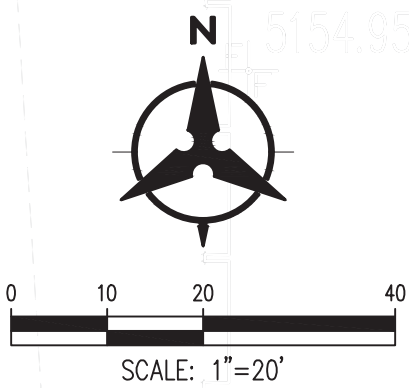
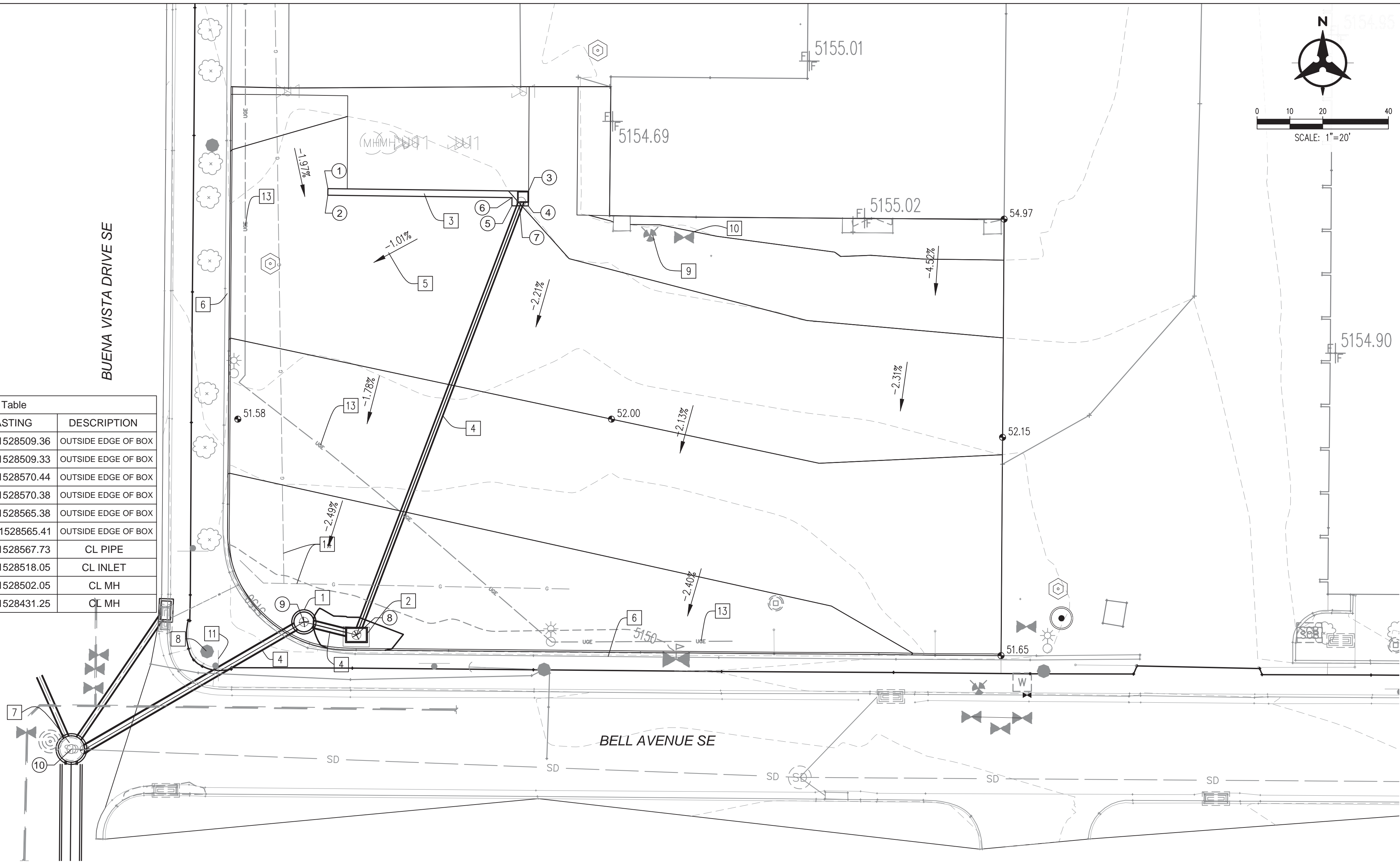
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YALE MAINTENANCE FACILITY
SITE PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	
			MO./DAY/YR.	MO./DAY/YR.
5798.91	DRAWING NO.	ZONE MAP NO. L-15	SHEET	OF
			2	16

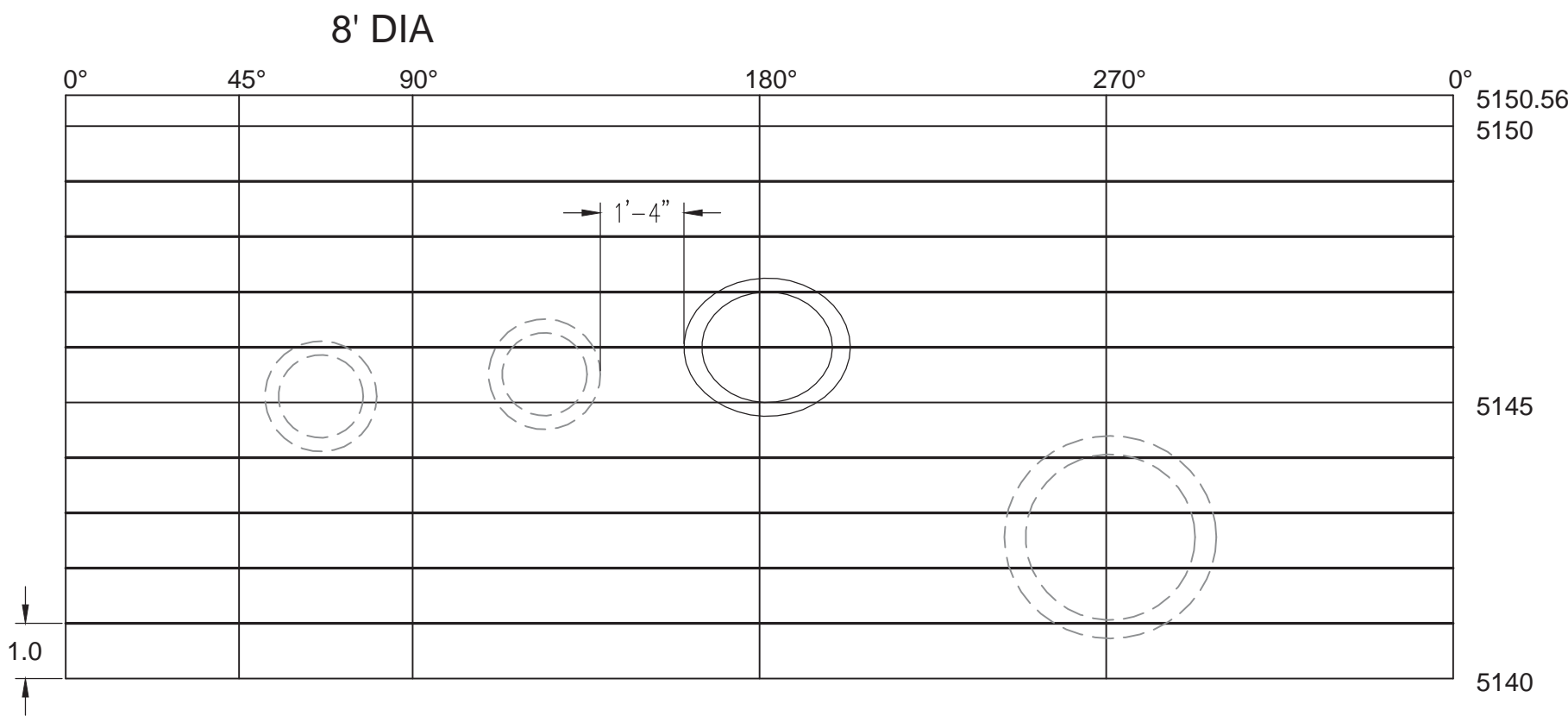
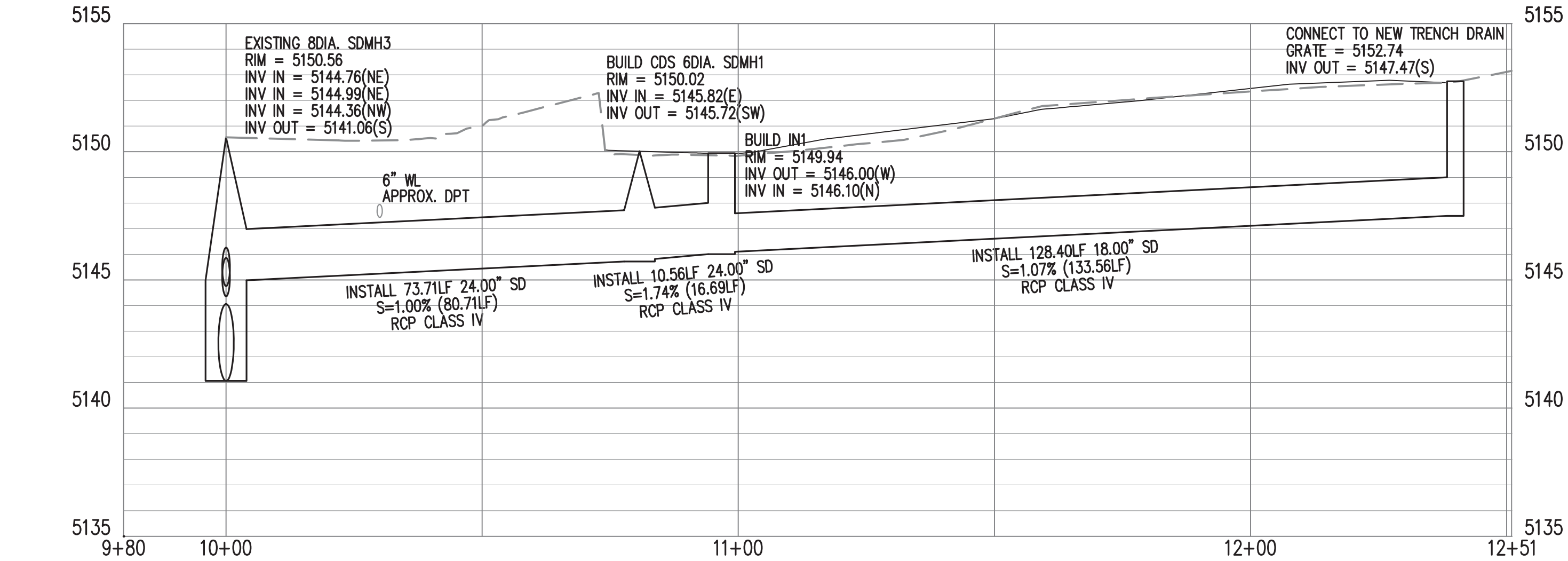
AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL		REVISIONS		DESIGNED BY: RGG		DRAWN BY: LAH		CHECKED BY: RGG	
CONTRACTOR	DATE	NO.	BY	DATE	NO.	BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
WORK	DATE														
STARTED BY	DATE														
ACCEPTANCE BY	DATE														
FIELD STATION BY	DATE														
DRAWINGS CORRECTED BY	DATE														
MICRO-FILM INFORMATION															
RECORDED BY	DATE														
NO.	DATE														

Point Table			
	NORTHING	EASTING	DESCRIPTION
1	1482086.62	1528509.36	OUTSIDE EDGE OF BOX
2	1482084.62	1528509.33	OUTSIDE EDGE OF BOX
3	1482085.86	1528570.44	OUTSIDE EDGE OF BOX
4	1482081.36	1528570.38	OUTSIDE EDGE OF BOX
5	1482081.42	1528565.38	OUTSIDE EDGE OF BOX
6	1482083.92	1528565.41	OUTSIDE EDGE OF BOX
7	1482081.39	1528567.73	CL PIPE
8	1481950.67	1528518.05	CL INLET
9	1481954.65	1528502.05	CL MH
10	1481915.92	1528431.25	CL MH



- GENERAL NOTES**
1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
 2. ALL CURVE DATA AND DIMENSIONS ARE CALCULATED FROM CENTERLINE OF PIPE OR MANHOLE. ALL SAS AND SD SLOPES ARE CALCULATED TO TRUE PIPE DIMENSIONS FROM INVERT TO INVERT.
 3. CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL UTILITY CONDUITS AND EXISTING LINES.
 4. CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES AS NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS ON SITE.
 5. ANY DAMAGE TO THE EXISTING FACILITIES (CURB & GUTTER, PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES, ETC.) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS' EXPENSE.
 6. MANHOLE RIMS AND CATH BASIN INLET ELEVATIONS ARE APPROXIMATE.
 7. MANHOLES SHALL BE TYPE "E" BUILT PER COA STD DRAWING 2102 UNLESS OTHERWISE NOTED.
 8. FOR RCP STORM DRAIN CONSTRUCTION: ALL RCP JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION SHALL DETERMINE WHICH JOINTS ARE TO BE GROUTED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION.
 9. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
 10. AREA STORM DRAIN INLETS SHALL BE DOUBLE TYPE "D" INLETS BUILT PER COA STD. DRAWING 2206.
 11. INLET GRATES SHALL BE BUILT PER COA STD. DRAWING 2220.
 12. LOCATION DATA FOR MANHOLES AND INLETS IN CENTER OF STRUCTURE UNLESS NOTED OTHERWISE.
 13. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
 14. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT.
 15. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 16. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND WETTING THE SOIL TO KEEP IT FROM BLOWING. CONTRACTOR SHALL FOLLOW SWPPP AND BMP.
 17. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
 18. GRADE ELEVATIONS WHERE NOTED ARE FOR FLOWLINE OF CURB UNLESS OTHERWISE SPECIFIED.

- KEYED NOTES**
- 1 PROPOSED CDS MANHOLE, 6' DIA. PER DETAIL, SHEET 6. SYSTEM MODEL 3020-6.
 - 2 PROPOSED DROP INLET. SEE GENERAL NOTE 10.
 - 3 INSTALL TRENCH DRAIN PER DETAILS, SHEET S2.
 - 4 PROPOSED RCP CLASS IV.
 - 5 PROPOSED FUEL STORAGE TANK
 - 6 EXISTING CMU BLOCK WALL TO REMAIN
 - 7 EXISTING 8' MANHOLE TO BE REMOVED AND REPLACED. SEE MANHOLE CONNECTION DETAIL FOR PIPE PENETRATION, THIS SHEET
 - 8 SUPPORT EXISTING UTILITY POLE. CONTRACTOR SHALL COORDINATE W/ UTILITY OWNERS
 - 9 EXISTING FIRE HYDRANT TO REMAIN.
 - 10 ADJUST WATER VALVE TO GRADE
 - 11 REMOVE AND RESET EXISTING SIGN
 - 12 EXISTING LIGHT POLE TO REMAIN.
 - 13 EXISTING UTILITY TO REMAIN. DO NOT DISTURB.
 - 14 ABANDONED GAS LINE.



MANHOLE CONNECTION DETAIL

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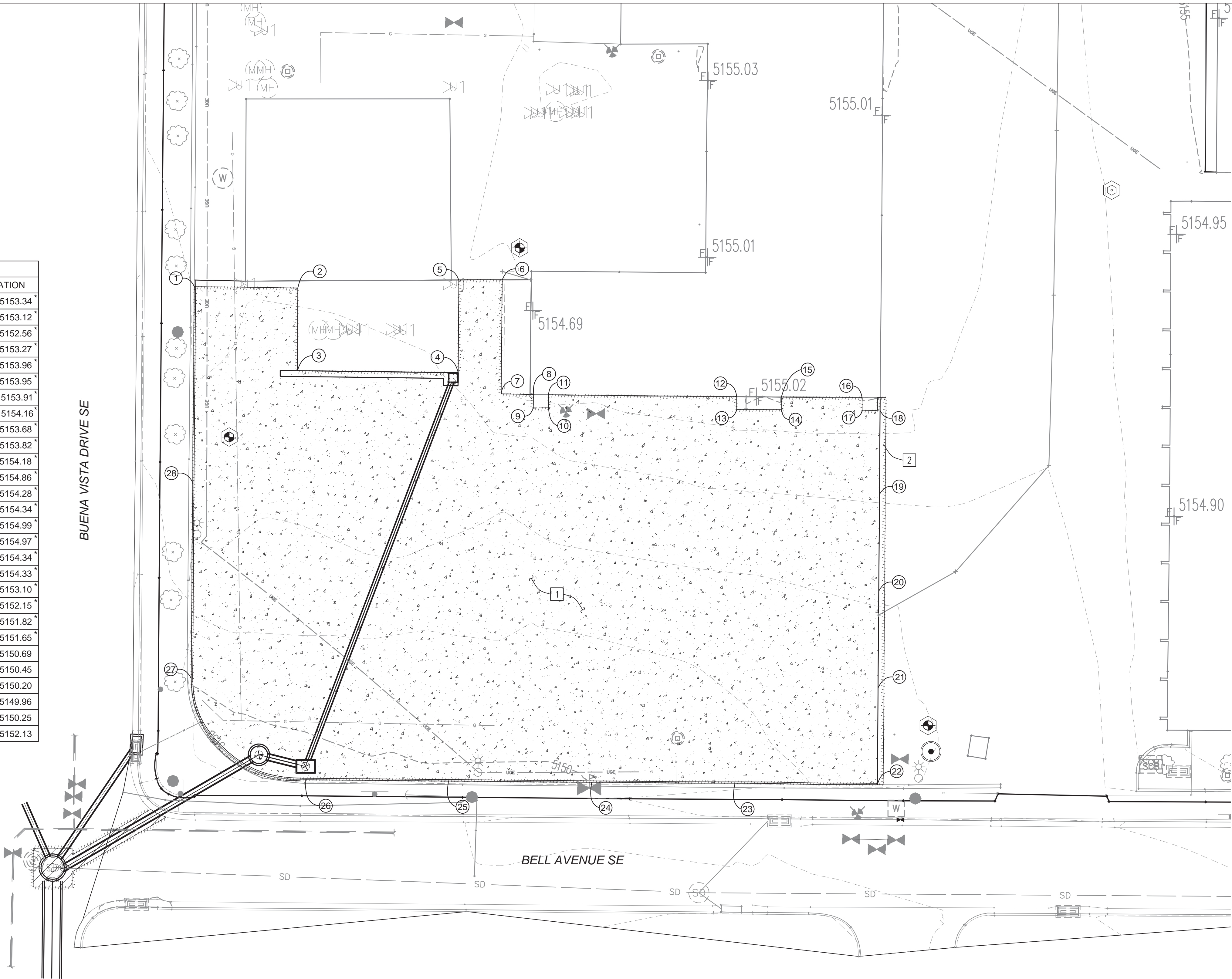
GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.

5798.91 DRAWING NO. ZONE MAP NO. L-15 SHEET 4 OF 16

Point Table			
○	NORTHING	EASTING	ELEVATION
1	1482115.38	1528479.87	5153.34*
2	1482114.93	1528515.38	5153.12*
3	1482086.55	1528515.27	5152.56*
4	1482085.86	1528570.44	5153.27*
5	1482117.71	1528570.65	5153.96*
6	1482117.71	1528585.54	5153.95*
7	1482078.61	1528585.18	5153.91*
8	1482078.37	1528596.34	5154.16*
9	1482073.70	1528596.19	5153.68*
10	1482073.80	1528601.45	5153.82*
11	1482078.29	1528601.42	5154.18*
12	1482077.62	1528666.04	5154.86*
13	1482073.21	1528666.03	5154.28*
14	1482073.15	1528681.38	5154.34*
15	1482077.51	1528681.37	5154.99*
16	1482077.37	1528709.08	5154.97*
17	1482072.78	1528709.11	5154.34*
18	1482072.86	1528715.26	5154.33*
19	1482044.10	1528715.06	5153.10*
20	1482010.87	1528714.82	5152.15*
21	1481977.63	1528714.58	5151.82*
22	1481944.39	1528714.34	5151.65*
23	1481944.82	1528665.44	5150.69
24	1481945.25	1528616.27	5150.45
25	1481945.67	1528567.11	5150.20
26	1481946.10	1528517.95	5149.96
27	1481980.96	1528478.79	5150.25
28	1482048.17	1528479.33	5152.13

* MATCH EXISTING



GENERAL NOTES

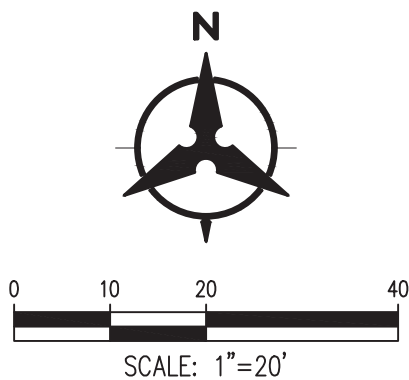
1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
2. ALL CURVE DATA AND DIMENSIONS REFER TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
3. ALL ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
4. CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL UTILITY CONDUITS AND EXISTING LINES.
5. ANY ADDITIONAL GRADING REQUIRED TO MATCH PROPOSED STREET GRADES SHALL BE INCIDENTAL TO PAVING ITEMS.
6. CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES AS NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS ON SITE.
7. ANY DAMAGE TO THE EXISTING FACILITIES (CURB & GUTTER, PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES ETC.) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS' EXPENSE.
8. REMOVAL OF THE EXISTING CURB & GUTTER SHALL BE PER COA STD. DWG. 2415 (SAWCUT ONLY).
9. WHEELCHAIR RAMPS SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB & GUTTER.

KEYED NOTES

- 1 INSTALL CONCRETE PAVEMENT PER TYPICAL PCCP PAVEMENT SECTION, SHEET 6.
- 2 REMOVE AND REPLACE EXISTING ASPHALT PER ON-SITE ASPHALT PAVEMENT SECTION, SHEET 6.

LEGEND

- SAWCUT LINE
- CONCRETE PAVEMENT PER TYPICAL PCCP PAVEMENT SECTION, SHEET 6
- SURVEY BENCH MARK
- REMOVE AND REPLACE EXISTING PAVEMENT PER EXISTING TYPICAL PAVEMENT SECTION, SHEET 6.



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YALE MAINTENANCE FACILITY

PAVING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	
			MO./DAY/YR.	MO./DAY/YR.

5798.91

DRAWING NO.

ZONE MAP NO.

L-15

SHEET

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OF

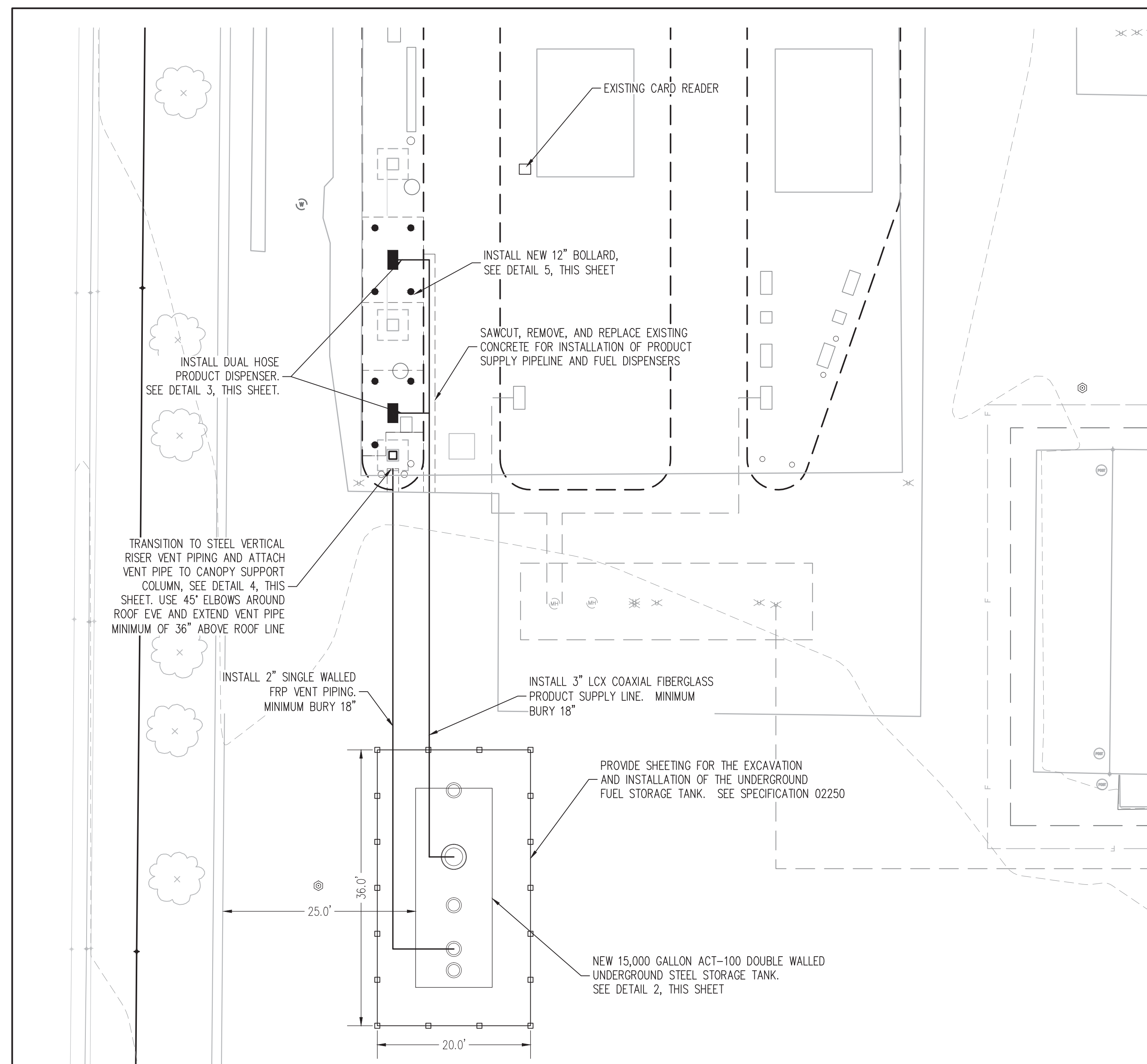
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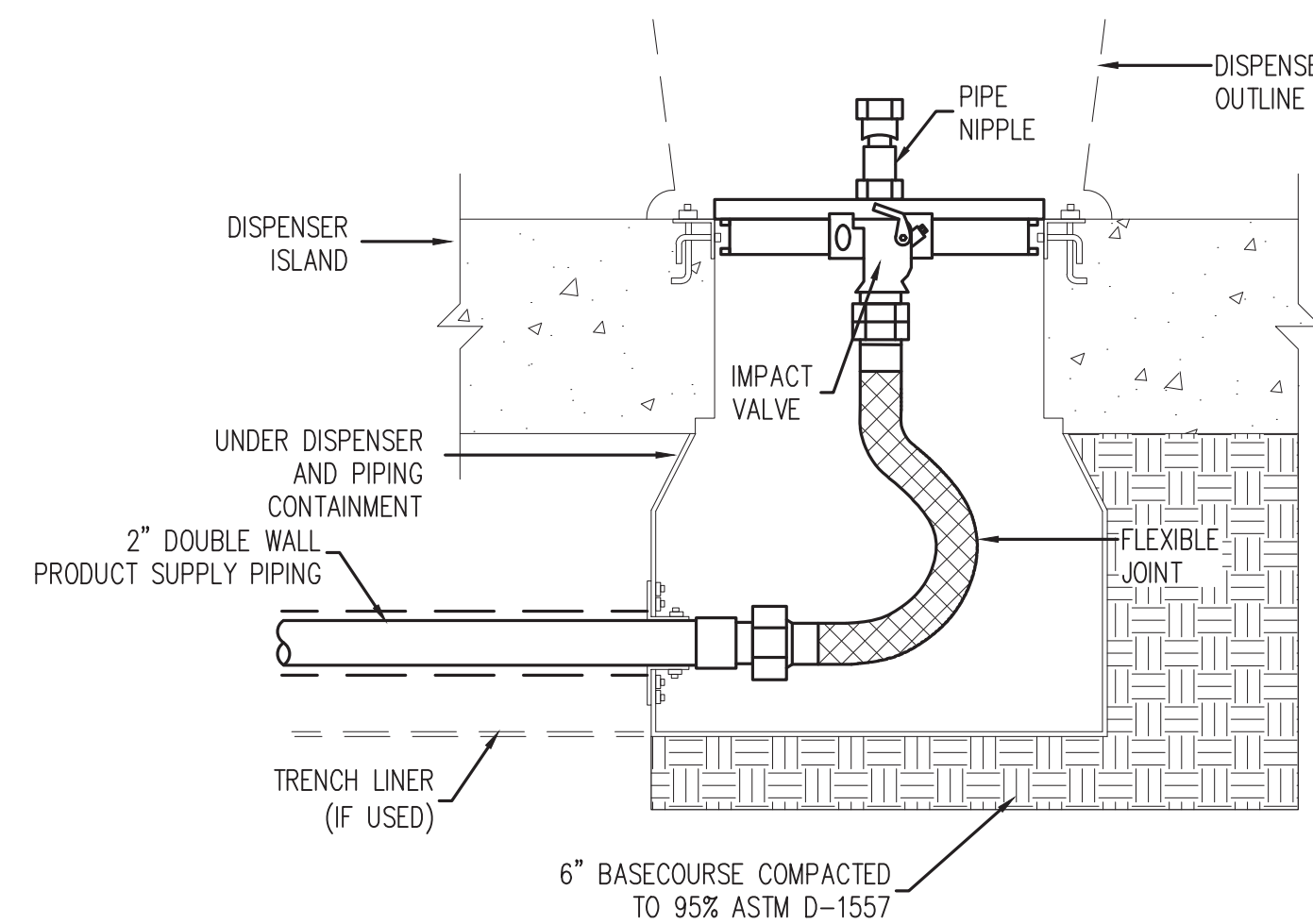


1. WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION.
2. STRUCTURAL CAST-IN-PLACE CONCRETE: STRUCTURAL CONCRETE SHALL BE IN ACCORDANCE WITH SPECIFICATIONS TABLE 101.C, CONCRETE FOR STRUCTURES ($f'_c = 4000$ P.S.I.).
3. REINFORCING STEEL: STEEL REINFORCEMENT AND PLACEMENT SHALL BE IN ACCORDANCE WITH SPECIFICATIONS SECTION 102 AND SHALL CONFORM TO ASTM A615, GRADE 60. ALL DIMENSIONS ARE TO CENTERLINE OF BAR UNLESS NOTED OTHERWISE.
4. SUBGRADE PREPARATION: PRIOR TO PLACEMENT OF CONCRETE SLAB, EXPOSED SOIL SHALL BE SCARIFIED TO A DEPTH OF 8" INCHES MOISTENED TO A NEAR OPTIMUM MOISTURE CONTENT ($\pm 2\%$), AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D-1557.
5. TESTS FOR DEGREE OF COMPACTION SHALL BE DETERMINED BY THE ASTM D-1556 METHOD OR ASTM D-6938. OBSERVATION AND FIELD TEST SHALL BE CARRIED ON DURING FILL AND BACKFILL PLACEMENT BY THE GEOTECHNICAL ENGINEER TO ASSIST THE CONTRACTOR IN OBTAINING THE REQUIRED DEGREE OF COMPACTION. IF LESS THAN 95% RELATIVE COMPACTION IS INDICATED, ADDITIONAL COMPACTION EFFORT SHALL BE MADE WITH ADJUSTMENT OF THE MOISTURE CONTENT AS NECESSARY UNTIL 95% COMPACTION IS OBTAINED.
6. THE CONTRACTOR SHALL BE RESPONSIBLE TO SEE THAT ALL REBAR IS PROPERLY ALIGNED AND TIED IN PLACE BEFORE PLACING CONCRETE. ALL STEEL SHALL BE ACCURATELY LOCATED AND SECURED IN PLACE SO THAT IT REMAINS IN POSITION DURING THE PLACEMENT OF THE CONCRETE. CONTINUOUS REINFORCEMENT SHALL HAVE A MINIMUM LAP OF (30) BAR DIAMETERS BUT NOT LESS THAN (12) INCHES, AND SPLICES IN ADJACENT BARS SHALL BE NOT LESS THAN (3) FEET APART. ANY REBAR IMPROPERLY INSTALLED SHALL BE CORRECTED AT NO ADDITIONAL COST TO THE OWNER.
7. ALL ITEMS TO BE CAST IN CONCRETE SUCH AS REINFORCING, DOWELS, BOLT ANCHORS, PIPES, SLEEVES, ETC. SHALL BE SECURELY POSITIONED IN THE FORMS BEFORE PLACING CONCRETE AND ARE INCIDENTAL TO THE SLAB CONSTRUCTION.
8. TESTS FOR DEGREE OF COMPACTION SHALL BE DETERMINED BY THE ASTM D-1556 METHOD OR ASTM D-6938. OBSERVATION AND FIELD TEST SHALL BE CARRIED ON DURING FILL AND BACKFILL PLACEMENT BY THE GEOTECHNICAL ENGINEER TO ASSIST THE CONTRACTOR IN OBTAINING THE REQUIRED DEGREE OF COMPACTION. IF LESS THAN 95% RELATIVE COMPACTION IS INDICATED, ADDITIONAL COMPACTION EFFORT SHALL BE MADE WITH ADJUSTMENT OF THE MOISTURE CONTENT AS NECESSARY UNTIL 95% COMPACTION IS OBTAINED AT NO ADDITIONAL COST TO THE OWNER.
9. THE CONTRACTOR SHALL CLEAN ALL CONSTRUCTION DEBRIS FROM THE AREA.
10. GRATE AND FRAME SHALL BE CAST GRAY IRON (ASTM A-48, CLASS 35B) UNCOATED.

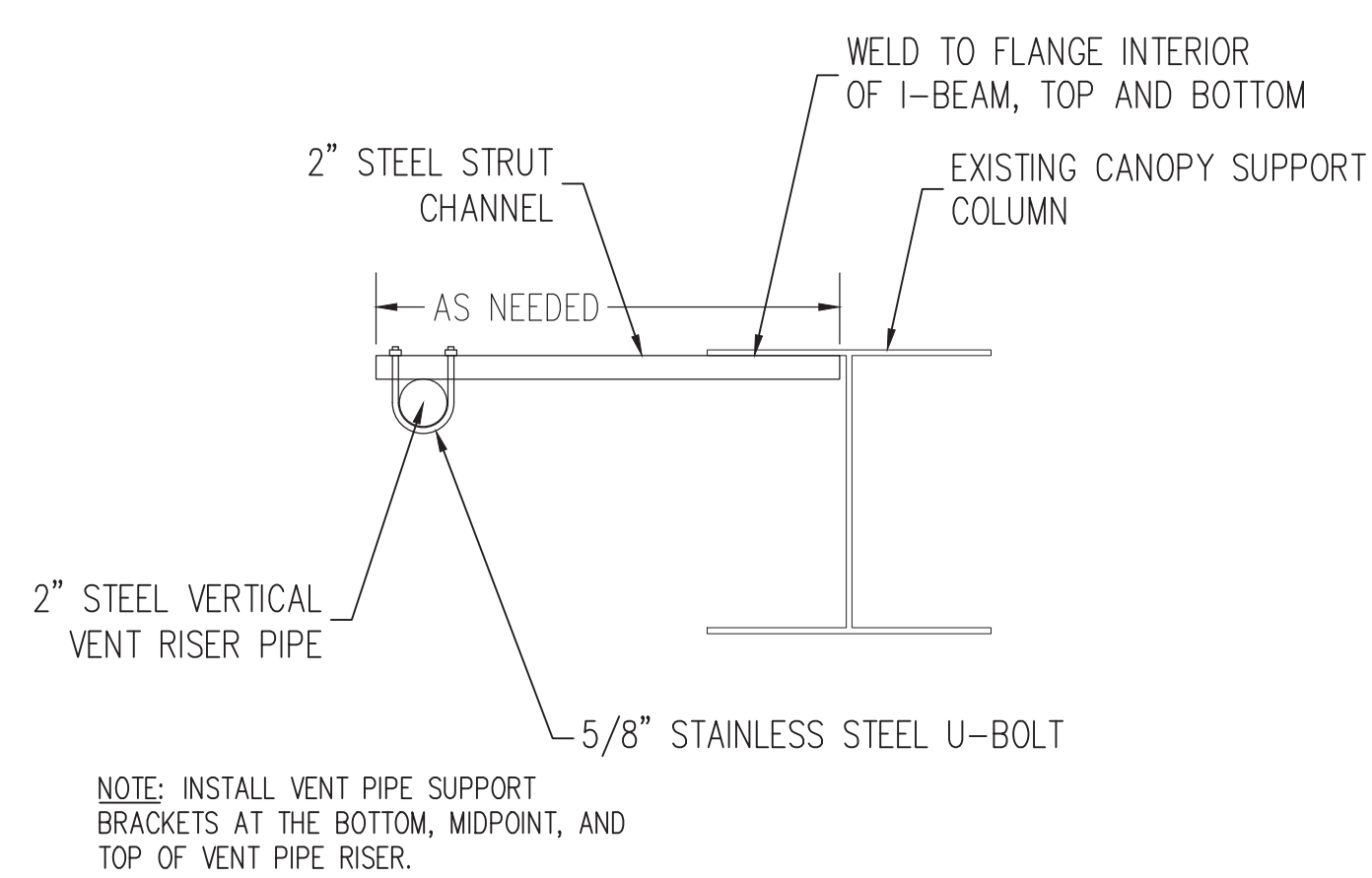
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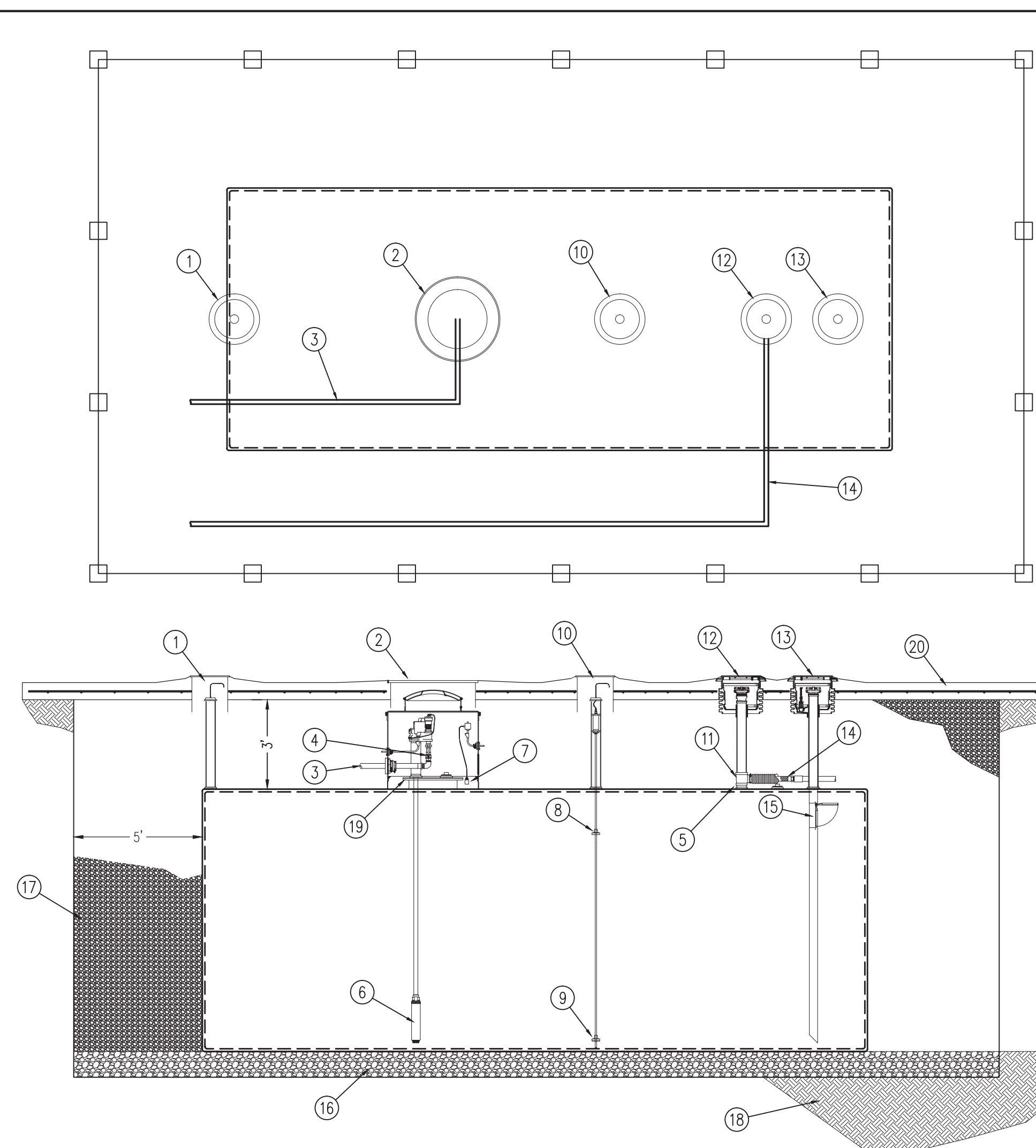
1 SITE PLAN
-- SCALE: 1" = 10'



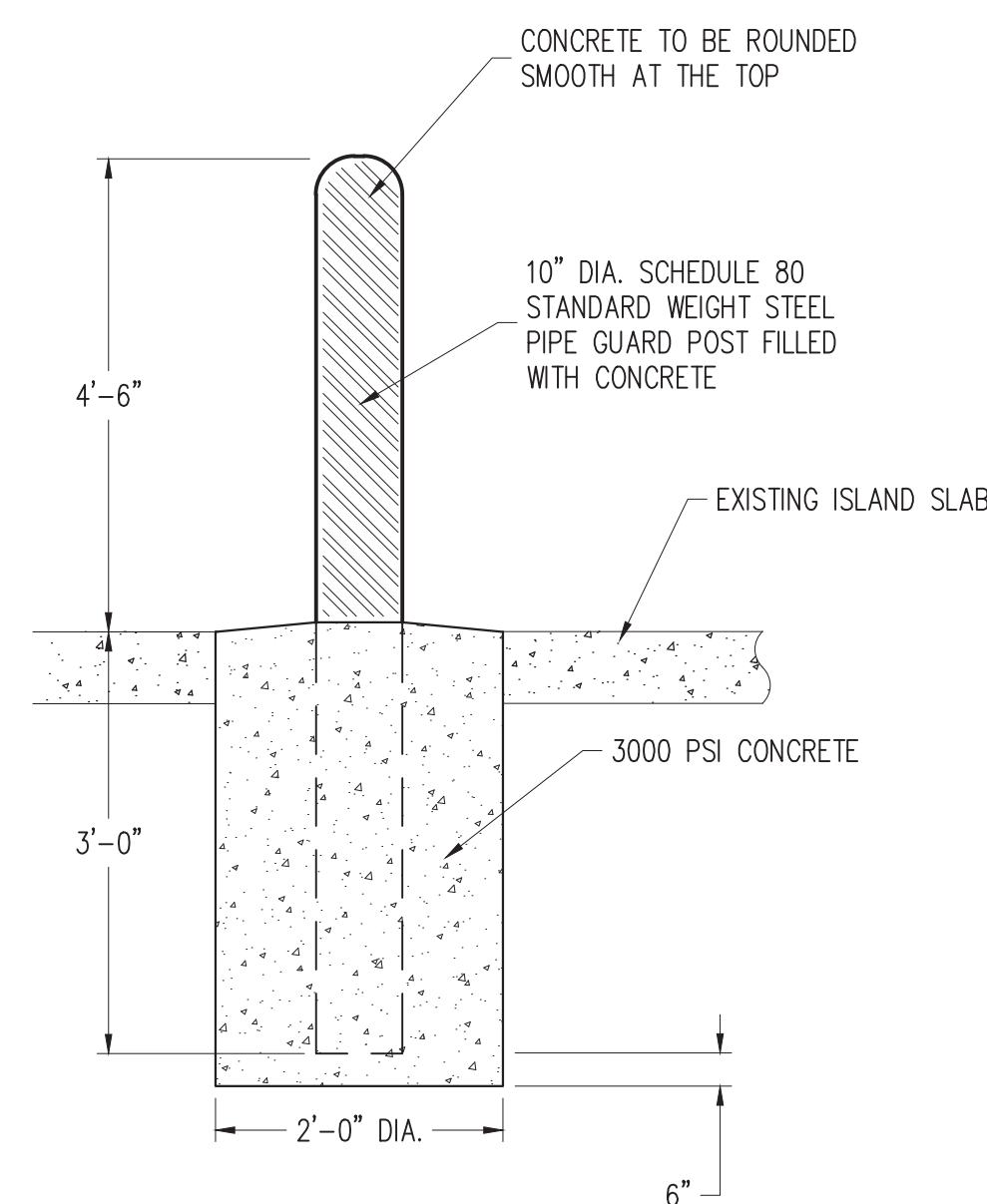
3 DISPENSER BASE DETAIL
-- NOT TO SCALE



4 VENT PIPE SUPPORT
-- NOT TO SCALE



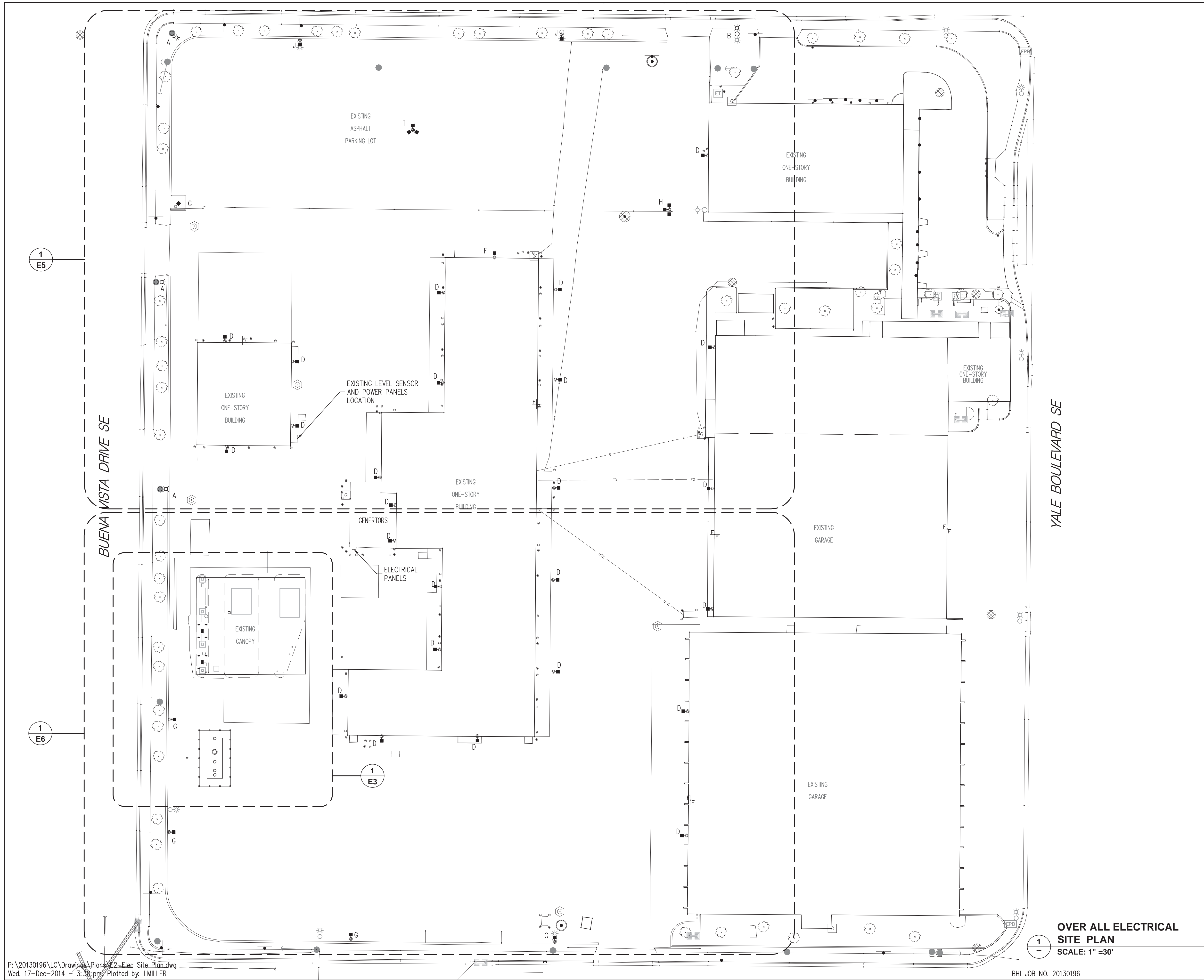
2 FUEL TANK PLAN AND PROFILE
SCALE: 1/4" = 1'



5 BOLLARD DETAIL
-- SCALE: NOT TO SCALE

- ## CONSTRUCTION NOTES
1. INTERSTITIAL LEAK SENSOR WITH OPW 18"Ø CAST IRON MONITORING MANHOLE (MODEL #104AOW-1800) AND LID.
 2. OPW 42" DIAMETER MANHOLE FOR 3/4HP SUBMERSIBLE TURBINE PUMP MANHOLE, MODEL #6110-42WT
 3. 3" LCX COAXIAL FIBERGLASS PRODUCT SUPPLY LINE WITH SECONDARY CONTAINMENT. EXTEND TO DISPENSER.
 4. FULL PORT BALL VALVE, OPW MODEL #21BV-0300LH.
 5. EXTRACTOR ASSEMBLY, OPW MODEL #233-4430.
 6. 3/4HP SUBMERSIBLE TURBINE PUMP, RED JACKET MODEL #75U1RJ2.
 7. DISTINGUISHING SUMP LEAK SENSOR.
 8. PRODUCT FLOAT.
 9. WATER FLOAT.
 10. OPW CAST IRON 18"Ø MANHOLE (MODEL #104A-1800WT) AND LID FOR TANK LEVEL SENSOR (VEEDER MODEL #846391-109). LEVEL SENSOR SHALL BE PLACED IN CENTER OF TANK.
 11. EXTRACTOR ASSEMBLY
 12. 5 GALLON OPW STAGE 1 VAPOR MANHOLE (MODEL #1C-3112-D) WITH EXTRACTABLE INNER LINER, VAPOR CAP (MODEL #1711T-7085-EVR) AND ADAPTER.
 13. 5 GALLON OPW SPILL FILL MANHOLE (MODEL #1C-3112-D) WITH EXTRACTABLE INNER LINER, FILL CAP (MODEL #634T1-7085-EVR) AND ADAPTER.
 14. SINGLE WALL VENT PIPING WITH FLEXIBLE CONNECTOR AND BOOT.
 15. OVERFILL PREVENTION VALVE, OPW MODEL #7150-410CT.
 16. 12" OF CLEAN COURSE GRAVEL.
 17. PEA GRAVEL FILL.
 18. UNDISTURBED NATIVE SOIL.
 19. 24" DOUBLE RING MANWAY WITH TWO (2) 4" NPT FITTINGS.
 20. CONCRETE TANK COVER SLAB, SEE DRAWING S1.

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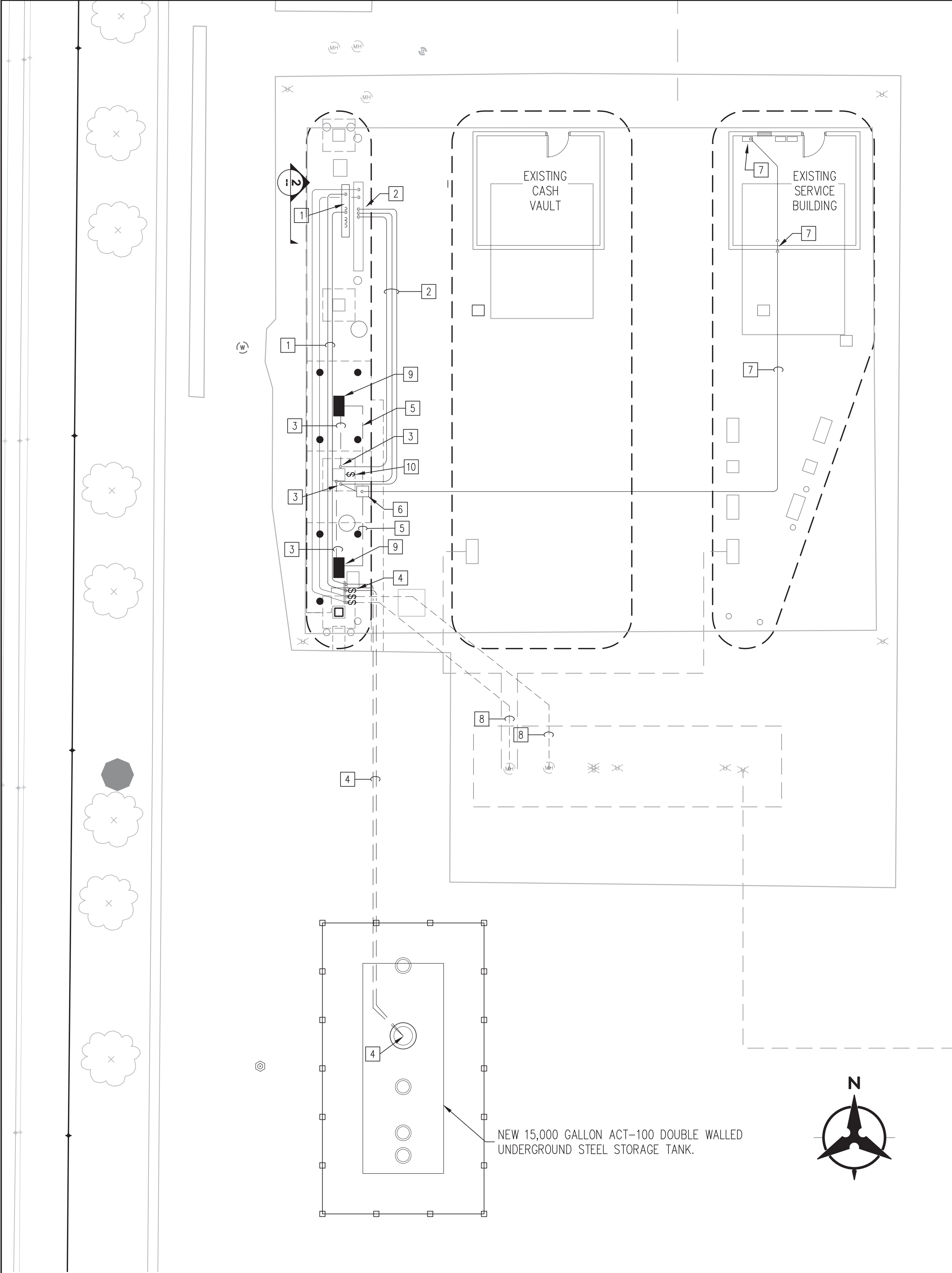
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Wed, 17-Dec-2014 - 3:30pm Plotted by: L MILLER

BHI JOB NO. 20130196

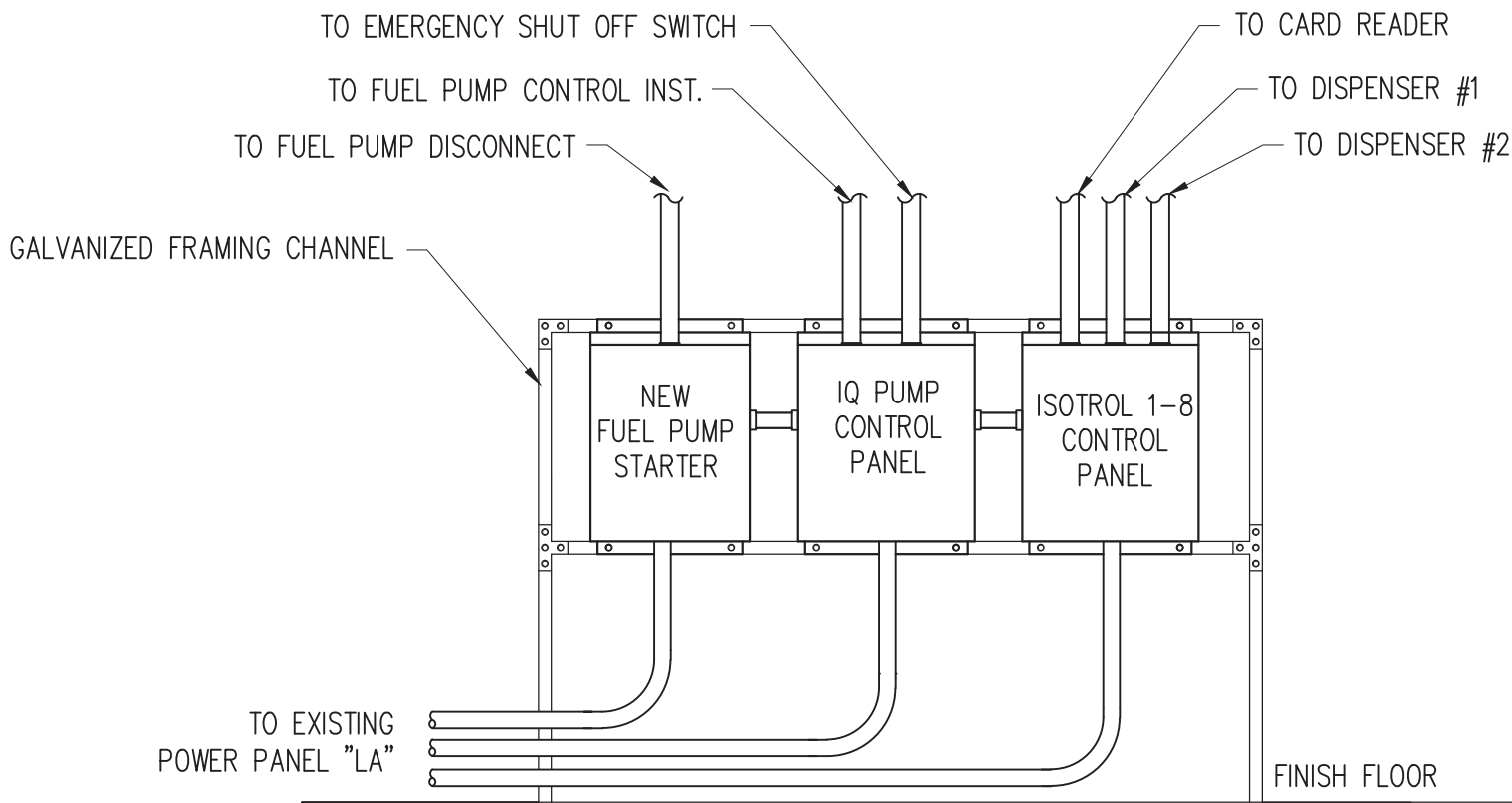
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YALE MAINTENANCE FACILITY ELECTRICAL SITE PLAN					
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.		MO./DAY/YR.
20130196	DRAWING NO. E2	ZONE MAP NO. L-15-Z	SHEET XX	OF XX	

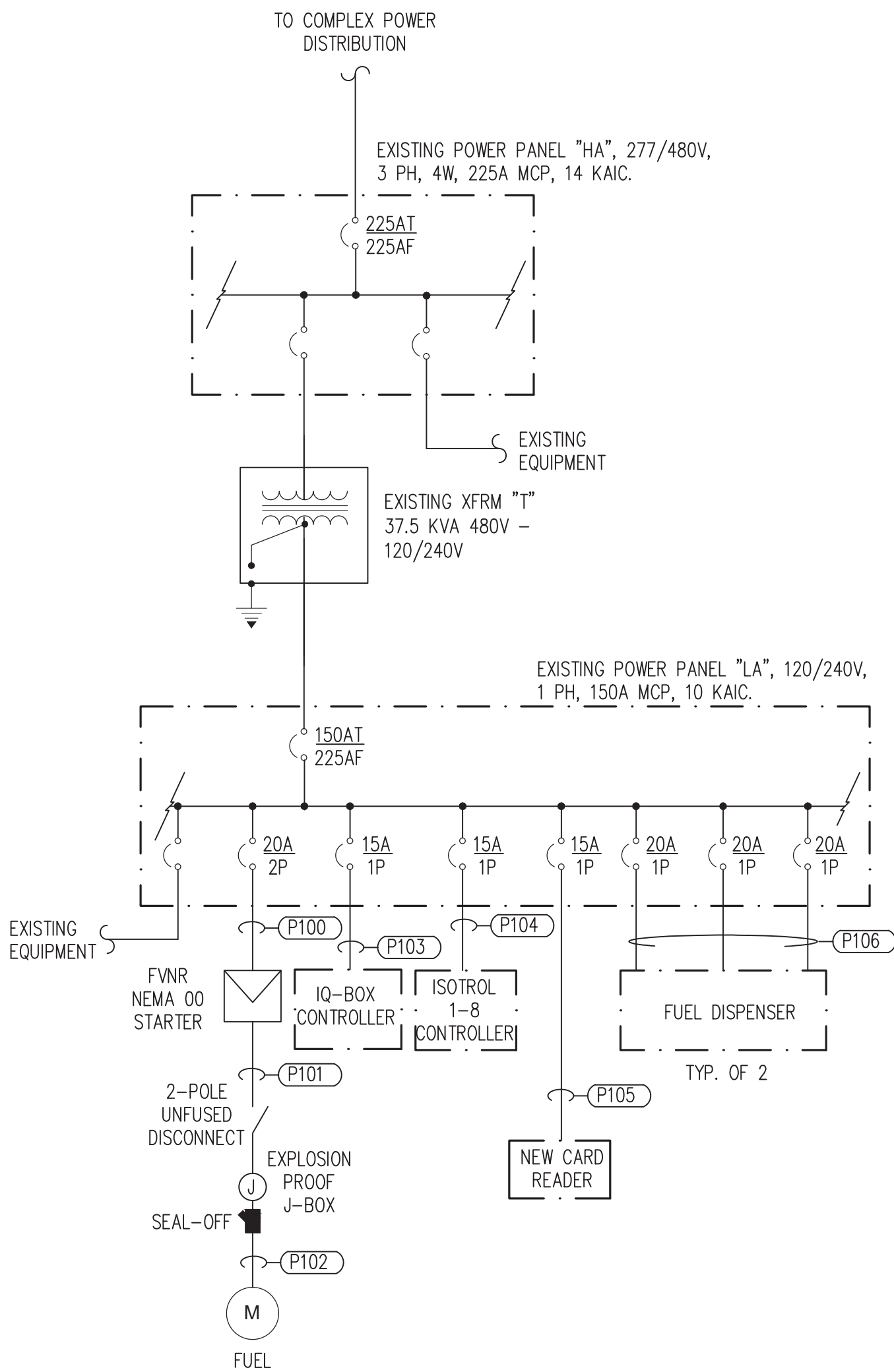
ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
60% COMPLETION FOR REVIEW ONLY		FIELD NOTES		SEE SURVEY CONTROL PLAN, SHEET 3		CONTRACTOR	
		NO.		BY		DATE	
		NO.		DATE		DATE	
		NO.		DATE		DATE	
REVISIONS		REMARKS		BY		DATE	
DESIGN		DATE: 01/01/2014		DATE: 01/01/2014		DATE: 01/01/2014	
DESIGNED BY: MAB		DRAWN BY: LLM		CHECKED BY: MRT		RECORDED BY: NO.	
DATE: 01/01/2014		DATE: 01/01/2014		DATE: 01/01/2014		DATE: 01/01/2014	



1 ELECTRICAL SITE PLAN - FUEL DISPENSING FACILITY
SCALE: 1/8" = 1'- 0"



2 PUMP CONTROL RISER
NOT TO SCALE



3 ONE LINE DIAGRAM - NEW FUELING SYSTEM
NOT TO SCALE

#	CONSTRUCTION NOTES									
<div>1. INSTALL A C-CHANNEL METAL FRAME BOLTED TO THE FLOOR. MOUNT NEW FUEL PUMP MOTOR STARTER, IQ CONTROL BOX, AND ISOTROL 1-8 CONTROL BOX. ROUTE POWER CONDUITS AND CONTROL CONDUITS FROM STARTER AND CONTROL BOXES TO THEIR DESTINATION THRU CANOPY TRUSSES. SEE RISER DETAIL 02 ON THIS SHEET.</div> <div>2. ROUTE POWER CONDUIT FROM EXISTING PANEL "LA" TO FUEL DISPENSERS AND CARD READER THRU CANOPY TRUSSES. SEE ONE LINE DIAGRAM FOR ADDITIONAL INFORMATION.</div> <div>3. ROUTE CONDUIT FROM CANOPY TRUSSES TO THE CLOSEST I-BEAM COLUMN TO THE DIFFERENT ELECTRICAL COMPONENTS. THEN, ROUTE POWER CONDUCTORS UNDERGROUND TO FUEL DISPENSERS AND TO CARD READER.</div> <div>4. INSTALL NEW 2-POLE SWITCH DISCONNECT FOR NEW FUEL PUMP. ROUTE POWER CONDUIT AND CONTROL CONDUIT 18" UNDERGROUND TO TANK'S CONNECTOR. COORDINATE WITH EXISTING EQUIPMENT. SEE CONDUIT SCHEDULE FOR ADDITIONAL INFORMATION.</div> <div>5. ROUTE, UNDER SLAB, CONTROL CONDUITS FROM FUEL DISPENSER TO CARD READER.</div> <div>6. INSTALL NEW CARD READER PER MANUFACTURING RECOMMENDATIONS.</div> <div>7. ROUTE CONTROL CONDUIT AND CONDUCTORS FROM CARD READER TO USER CONTROL INTERFACE LOCATED INSIDE EXISTING SERVICE BUILDING.</div> <div>8. EXISTING UNDERGROUND CONDUITS AND CONDUCTORS NOT TO BE DISTURBED.</div> <div>9. INSTALL AND CONNECT NEW FUEL DISPENSERS PER MANUFACTURER'S RECOMMENDATIONS.</div> <div>10. INSTALL AND CONNECT NEW EMERGENCY SHUT OFF SWITCH TO SERVE NEW FUEL SYSTEM. COORDINATE WITH EXISTING SHUT OFF SWITCHES AND INTERLOCK.</div>										
AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL		<div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div><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1 LIGHTING DEMOLITION PLAN
SCALE: 1" = 30'

YALE MAINTENANCE FACILITY
ELECTRICAL LIGHTING DEMOLITION PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
20130196	DRAWING NO. E4	ZONE MAP NO. L-15-Z	SHEET XX	OF XX

[illegible]

BUENA VISTA DRIVE SE

ST. CYR AVENUE SE

EXISTING
ASPHALT
PARKING LOT

EXISTING
ONE-STORY
BUILDING

EXISTING
ONE-STORY
BUILDING

EXISTING
ONE-STORY
BUILDING

EXISTING PANEL
"P"

GENERATORS

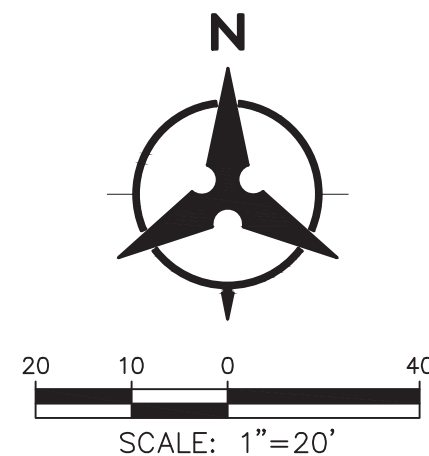
MATCHLINE
SEE SHEET E6

MATCHLINE
SEE SHEET E6

1
--
EXTERIOR LIGHTING PLAN - NORTH
SCALE: 1" = 20'

CONSTRUCTION NOTES

1. INSTALL NEW LIGHT FIXTURE TO EXISTING FIXTURE LOCATION. SEE LIGHT FIXTURE SCHEDULE DWG E7.
2. INSTALL LIGHT POLE FOUNDATION, POLE AND LIGHT FIXTURE PER DETAIL AND LIGHT FIXTURE SCHEDULE DWG E7.
3. EXISTING FIXTURE TO REMAIN AS-IS.
4. ROUTE 1" CONDUIT AND CONDUCTORS BELOW GRADE TO LIGHT POLE FOUNDATIONS. SAWCUT AND REMOVE ASPHALT DRIVEWAY 24" WIDE. REPLACE ALL EXISTING SURFACES REQUIRED TO BE REMOVED DUE TO SAWING OR TRENCHING WITH MATERIALS AND THICKNESSES TO MATCH EXISTING.
5. INSTALL NEMA 3R JUNCTION BOX ON WALL AT 5'-0" AFG. NIPPLE THROUGH WALL AND INSTALL JUNCTION BOX ON BUILDING INTERIOR WALL.
6. RISE CONDUIT FROM JUNCTION BOX TO CEILING AND EXTEND TO EXISTING PANEL "P".
7. INSTALL 12"x18" HEAVY DUTY PULLBOX. SEE DETAIL 3 DWG E7.

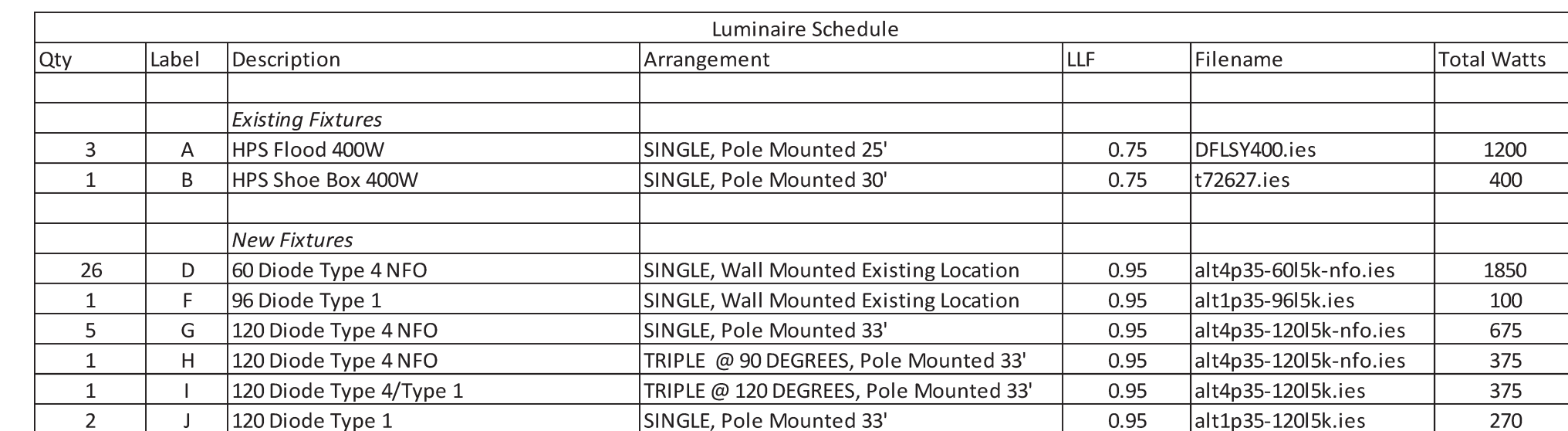


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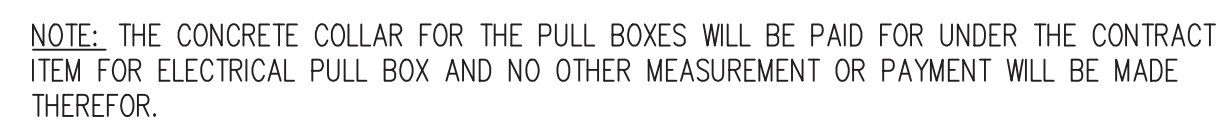
YALE MAINTENANCE FACILITY
EXTERIOR LIGHTING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	
			MO./DAY/YR.	MO./DAY/YR.
20130196	DRAWING NO. E5	ZONE MAP NO. L-15-Z	SHEET XX	OF XX

BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
SEE SURVEY CONTROL PLAN, SHEET 3		FIELD NOTES		60% COMPLETION FOR REVIEW ONLY	
		NO.	BY		
		DATE	DATE		
				NO.	DATE
				REMARKS	BY
				REVISIONS	
				DESIGN	
				DESIGNED BY: MAB	DATE: 01/01/2014
				DRAWN BY: LLM	DATE: 01/01/2014
				CHECKED BY: MRT	DATE: 01/01/2014



2 LIGHT FIXTURE SCHEDULE
-- NOT TO SCALE



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YALE MAINTENANCE FACILITY					
ELECTRICAL DETAILS					
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.	
20130196	DRAWING NO. E7	ZONE MAP NO. L-15-Z	SHEET XX	OF XX	