

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

December 21, 2022

Joseph Casares, Jr., P.E.
JCII Group
8105 Sand Springs Cir NW
Albuquerque, NM 87114

**RE: Isotopes Park Additions
1601 Avenida Cesar Chavez SE
Grading and Drainage Plans
Engineer's Stamp Date: 10/12/22
Hydrology File: L15D013**

Dear Mr. Casares:

PO Box 1293
Albuquerque
NM 87103
www.cabq.gov

Based upon the information provided in your submittal received 12/08/2022, the Grading & Drainage Plans are approved for Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PRIOR TO CERTIFICATE OF OCCUPANCY:

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: COA Isotopes Park **Building Permit #** 22-02099 **Hydrology File #** _____

DRB# _____ **EPC#** _____

Legal Description: Tract CA summary plat for ABQ sport complex **City Address OR Parcel** 1601 Avenida Cesar Chavez

Applicant/Agent: JCII Group, LLC **Contact:** Joe Casares

Address: 8105 Sand Spring Circle NW, ABQ, 87114 **Phone:** 505-264-6918

Email: JCIIGroup@gmail.com

Applicant/Owner: City of Albuquerque **Contact:** _____

Address: _____ **Phone:** _____

Email: _____

TYPE OF DEVELOPMENT: PLAT (#of lots) RESIDENCE DRB SITE ADMIN SITE: X

RE-SUBMITTAL: YES X NO

DEPARTMENT: TRANSPORTATION X HYDROLOGY/DRAINAGE

Check all that apply:

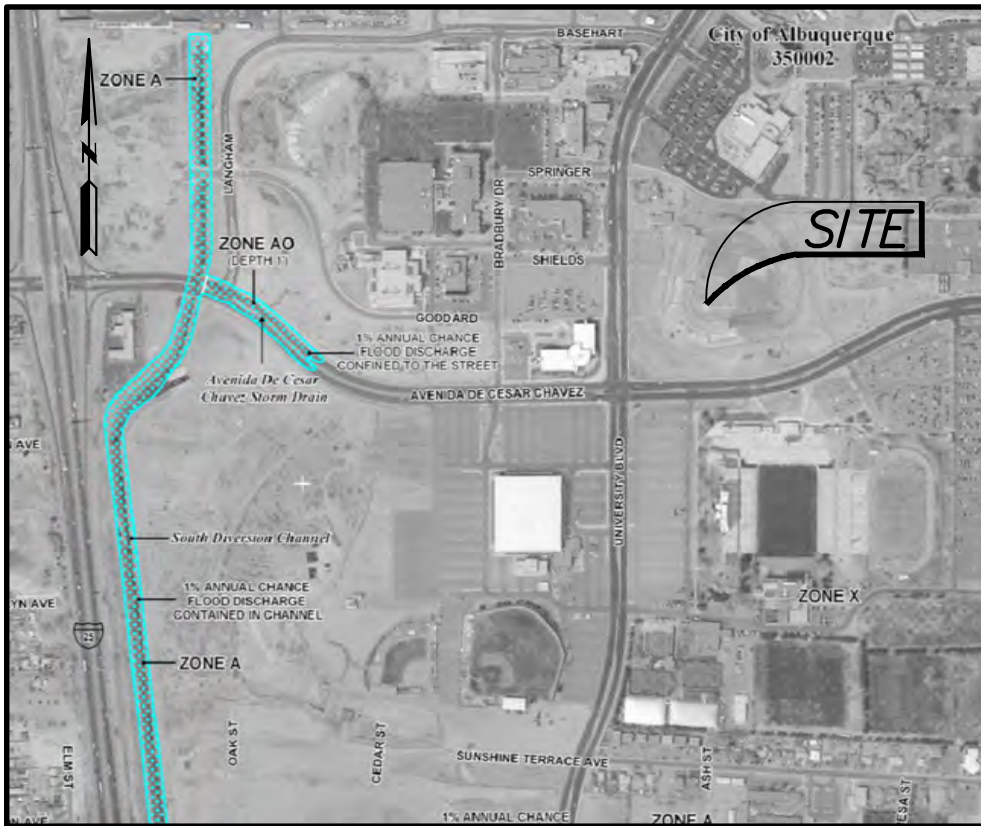
TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G&D PLAN
- X GRADING PLAN
- X DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- FLOOD PLAN DEVELOPMENT PERMIT APP.
- ELEVATION CERTIFICATE
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ADMINISTRATIVE
- TRAFFIC CIRCULATION LAYOUT FOR DRB
- APPROVAL
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY)
- PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- X BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- CONCEPTUAL TCL DRB APPROVAL
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- FLOOD PLAN DEVELOPMENT PERMIT
- OTHER (SPECIFY) _____

DATE SUBMITTED: 12/8/2022



FEMA FIRM MAP

FIRM: 35001C0334G
ZONE ATLAS: L-15

DRAINAGE CALCULATIONS

THE CALCULATIONS HEREON ANALYZE THE HYDROLOGY FOR THE DEVELOPED CONDITIONS UPON A 100 YEAR, 24-HOUR RAINFALL EVENT. PROCEDURE FOR 40 ACRES AND SMALLER BASINS, AS SET FORTH IN THE DEVELOPMENT PROCESS MANUAL (DPM), ARE USED FOR ANALYSIS. RESULTS OF THE HYDROLOGY AND HYDRAULIC CALCULATIONS ARE PRESENTED BELOW.

HYDROLOGY ANALYSIS FOR PEAK RATE OF DISCHARGE (Q) AND PEAK VOLUME (V):

SITE CHARACTERISTICS:
LAND TREATMENT (PER DPM CH. 22, TABLE A-4)
PRECIPITATION ZONE = 2 (PER DPM CH. 22, TABLE A-1)

HOME CLUB FACILITY ROOF DRAINS

EXISTING ESTIMATED RUN OFF

TOTAL ROOF AREA
A = 17,415 SF
LAND TREATMENT
D = 100%
ANALYSIS RESULTS
Q = 1.89 CFS

PROPOSED ESTIMATED RUN OFF

TOTAL ROOF AREA
A = 18,565 SF
LAND TREATMENT
D = 100%
ANALYSIS RESULTS
Q = 2.00 CFS

MERCHANDISE AREA

EXISTING ESTIMATED RUN OFF

TOTAL ROOF AREA
A = 15,530 SF
LAND TREATMENT
D = 100%
ANALYSIS RESULTS
Q = 1.67 CFS

PROPOSED ESTIMATED RUN OFF

TOTAL ROOF AREA
A = 16,430 SF
LAND TREATMENT
D = 100%
ANALYSIS RESULTS
Q = 1.77 CFS

VISITOR CLUB FACILITY

EXISTING ESTIMATED RUN OFF

TOTAL SITE AREA
A = 14,675 SF
LAND TREATMENT
D = 100%
ANALYSIS RESULTS
Q = 1.58 CFS

PROPOSED ESTIMATED RUN OFF

TOTAL SITE AREA
A = 15,475 SF
LAND TREATMENT
D = 100%
ANALYSIS RESULTS
Q = 1.67 CFS

ON-SITE DRAINAGE AREA

EXISTING ESTIMATED RUN OFF

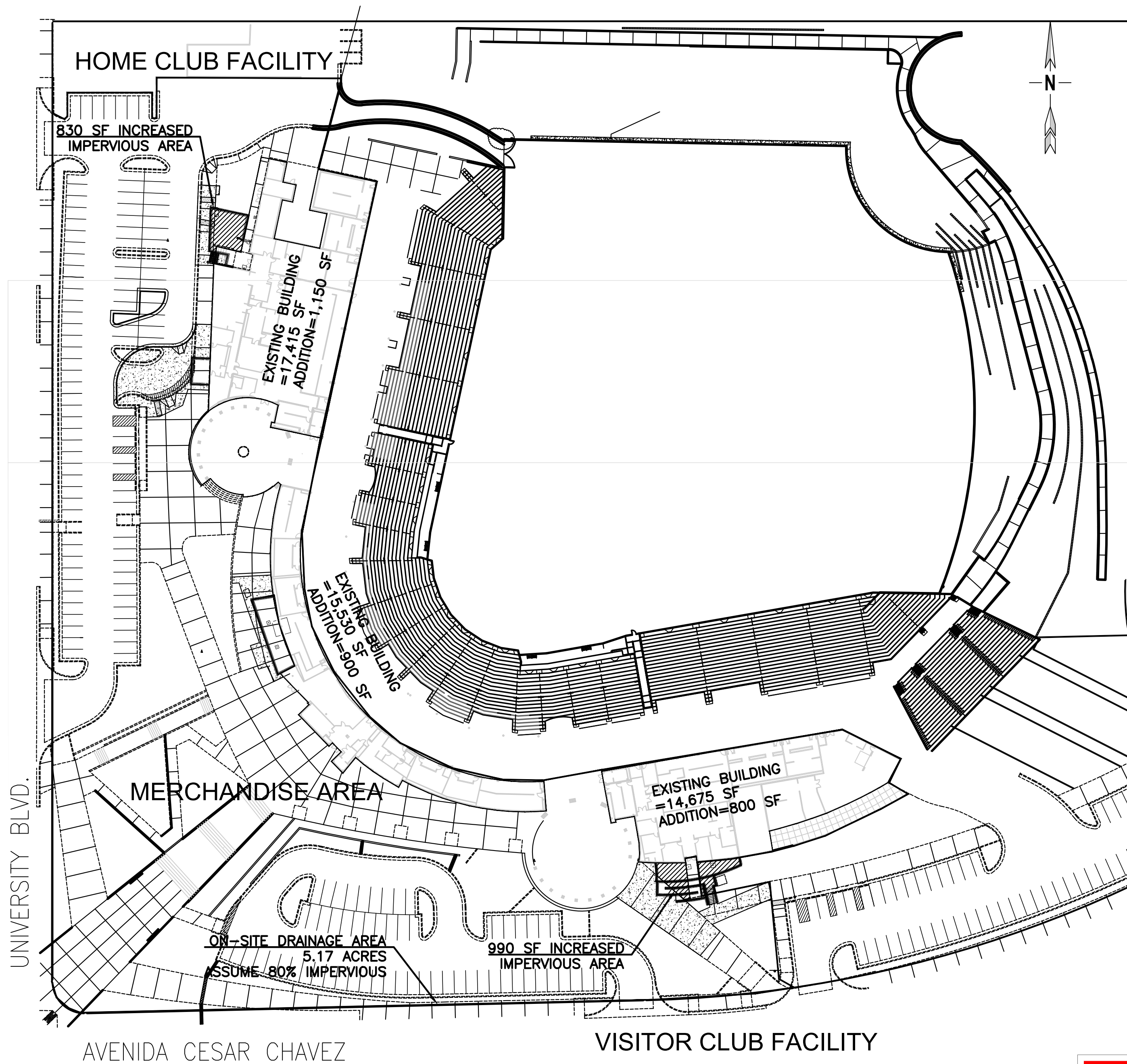
TOTAL SITE AREA
A = 5.17 AC
LAND TREATMENT
B = 20%
D = 80%
ANALYSIS RESULTS
Q = 21.80 CFS

PROPOSED ESTIMATED RUN OFF

TOTAL SITE AREA
A = 5.17 AC
LAND TREATMENT
B = 19.2%
D = 80.8%
ANALYSIS RESULTS
Q = 21.90 CFS

CONCLUSION

THE PROPOSED GRADING AND DRAINAGE PLAN IS DESIGNED TO CONVEY STORMWATER GENERATED ON-SITE BY A 100 YEAR, 24-HOUR STORM EVENT. HISTORIC RUN-OFF INTO THE ROW FLOWING FROM THE SITE WILL BE MAINTAINED THROUGH SIDEWALK CULVERTS. THE INCREASED STORMWATER GENERATED ON-SITE (0.10 CFS) BY THE PROPOSED IMPROVEMENTS WILL ALSO FLOW TO THE ROW, AND IS CONSIDERED TO HAVE A NEGLIGIBLE IMPACT ON DOWN STREAM STORMDRAINS. ON-SITE STORM DRAINAGE FACILITIES WILL BE THE CITY OF ALBUQUERQUE.




DRAINAGE MAP

SCALE: 1" = 60'

City of Albuquerque Planning Department Development Review Services	
HYDROLOGY SECTION	
APPROVED	
DATE: 12/21/22	BY: <i>Renee C. Brissette</i>
HydroTeam #	L15D013
THE APPROVAL OF THESE PLANS AND SPECIFICATIONS SHALL NOT BE CONSIDERED TO PREVENT VIOLATIONS OF ANY CITY, ORDINANCE OR FEDERAL, STATE AND LOCAL LAWS. THE CITY OF ALBUQUERQUE IS NOT RESPONSIBLE FOR CORRECTIONS OR ERRORS OR DIMENSIONS IN PLANS, SPECIFICATIONS OR CONSTRUCTIONS. SUCH APPROVED PLANS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.	



NO.	DATE	REVISIONS	CHECKED BY:
LEE GAMELSKY ARCHITECTS P.C.			
2412 MILES ROAD SE ALBUQUERQUE, NM 87106 505.842.8865 lee@lganm.com			

COA ISOTOPES PARK

PROJECT ARCHITECT: LEE GAMELSKY, AIA	LGA Project #: 20-01-ABQ.8
GRADING AND DRAINAGE & SITE PLAN	Date: 08.30.2022

By:	Sheet: X Of:
File:	C-100b

EX. CONCRETE
 EL. 5113.81

60.2 FC

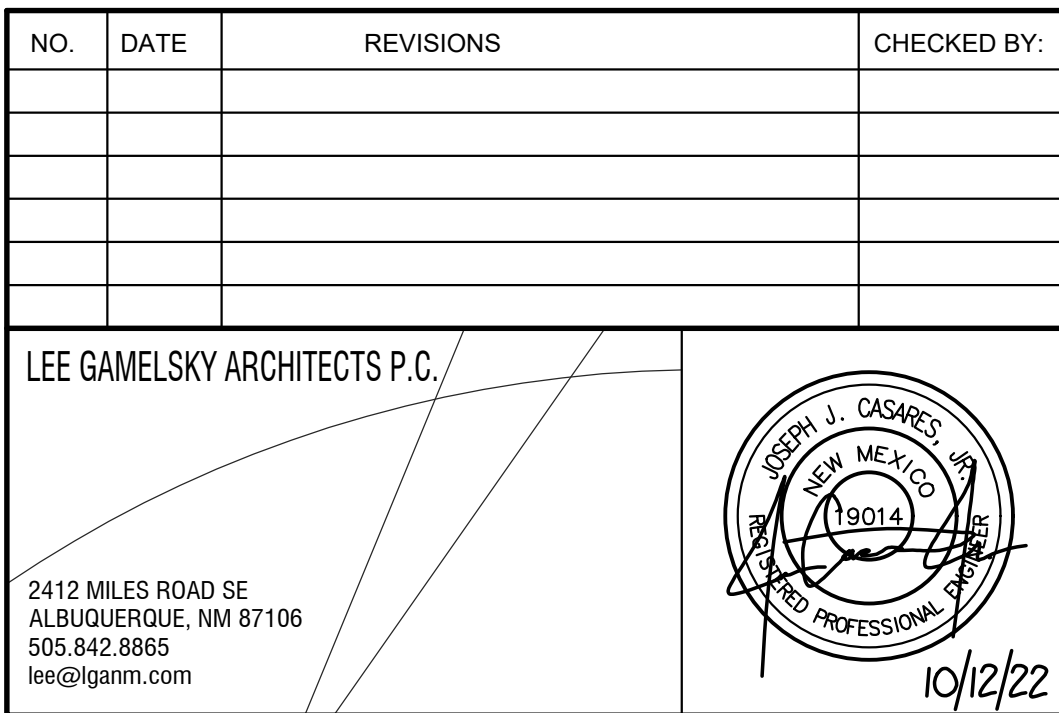
EXISTING ELEVATION
 GD = EXISTING GRADE
 TBM = TEMPORARY BENCHMARK
 TBC = TOP BACK OF CURB
 FL = FLOW LINE OF GUTTER

PROPOSED ELEVATION
 FG = TOP OF FINISHED CONCRETE
 FG = TOP OF FINAL FINISHED GRADE
 INV = PIPE INVERT

— GAS — GAS —
 — SAS — SAS —
 — WTR — WTR —
 — ELC — ELC —
 — SD — SD —

UNDERGROUND GAS LINE
 SANITARY SEWER LINE
 POTABLE WATER LINE
 UNDERGROUND ELECTRIC
 STORMDRAIN

- A. GRADE AREA TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND STRUCTURES AT 4% FOR APPROXIMATELY 20 FEET.
- B. PROVIDE SITE AMENITIES PER ARCHITECTURAL DETAILS.
- C. CONSTRUCT CURB AND GUTTER PER COA DETAIL 2415.
- D. REMOVE EXISTING SIDEWALK CULVERT (AS APPLICABLE) AND CONSTRUCT 6" THICK (OR MATCH EXISTING) CONCRETE SIDEWALK WITH #10X#10 WIRE MESH REINFORCING. PROVIDE 3" THICK GRAVE SUBGRADE OVER 95% COMPACTION.
- E. CONSTRUCT SIDEWALK CULVERT PER COA DETAIL 2236. PROVIDE 1% MIN. SLOPE.
- F. NOTE NOT USED.
- G. ENCASE EXISTING UTILITY WITH CONCRETE PROVIDE 6" MIN. AROUND PIPE.
- H. REMOVE EXISTING AND PROVIDE NEW GREASE TRAP IN LOCATION SHOWN ON PLANS. MATCH EXISTING.
- I. REROUTE STORMDRAINS AS SHOWN (MIN SLOPE = 1.0%). PROVIDE OUTLET TOWARDS SIDEWALK CULVERT.
- J. DIRECT ROOF DRAINS TOWARDS WALL DOWNSPOUTS AND OUTLET WITH PIPE AND APPURTENANCES PER ARCH. PLAN.
- K. CONSTRUCT ADA RAMP PER COA DETAIL 2442, AND PER ELEVATIONS SHOWN. PROVIDE 8.3% MAX. LONGITUDINAL SLOPE, AND 0.5% MAX CROSS SLOPE.
- L. REROUTE GAS AS SHOWN. CONNECT TO EXISTING 4" GAS LINE.
- M. REROUTE SEWER AS SHOWN. CONNECT TO EXISTING 6" SEWER. PROVIDE DOUBLE CLEANOUT (CO).
- N. RELOCATE ELECTRICAL LIGHT POLE AND/OR SERVICE LINE AS SHOWN. CONNECT TO EXISTING POWER SOURCE.
- O. REMOVE AND RELOCATE EXISTING BIKE RACK AS SHOWN ON PLAN.
- P. REROUTE WATER LINE AS SHOWN. CONNECT TO EXISTING.
- Q. REMOVE EXISTING AND INSTALL NEW POST INDICATOR VALVE (PIV).
- R. REMOVE EXISTING AND INSTALL NEW FIRE DEPARTMENT CONNECTION (FDC) AS SHOWN ON PLAN.
- S. PROVIDE NEW ASPHALT PAVEMENT, MATCH IN-KIND.
- T. RAISE CLEANOUT TO FINISHED FLOOR ELEVATION AND PROVIDE LID FLUSH WITH FFE.
- U. REMOVE EXISTING BOLLARDS AND INSTALL NEW AS SHOWN ON PLAN.



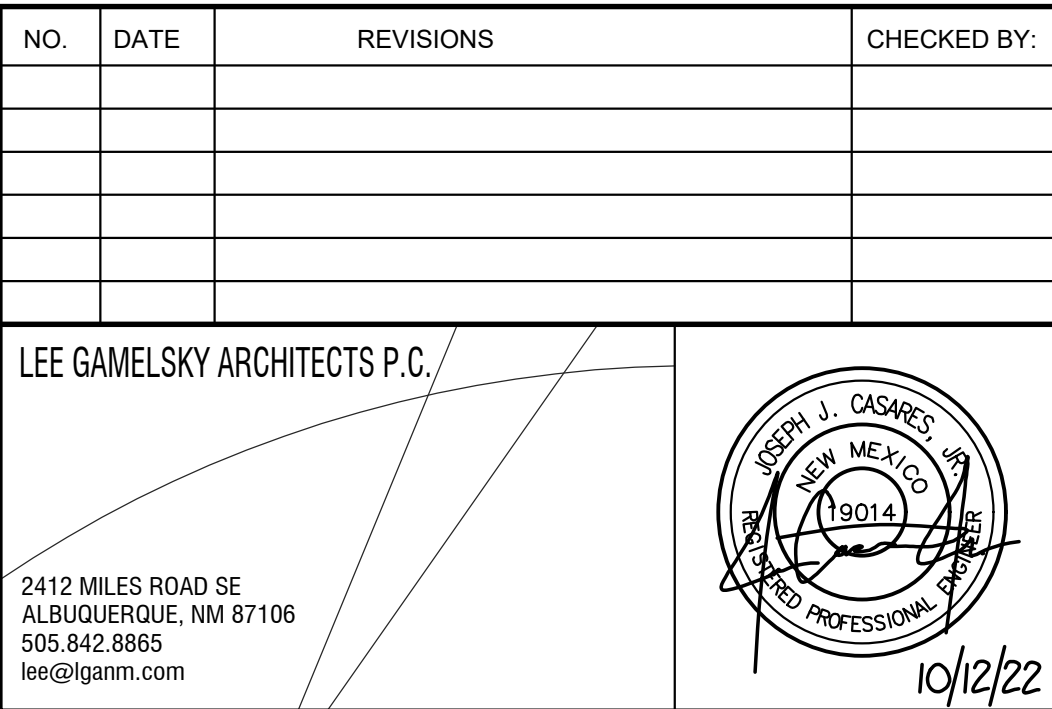
By:	Sheet: X Of:
File:	C-101

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 12/21/22
BY: Renee C. Braselton
HydroTrans # L15D013

THE APPROVAL OF THESE PLANS/PURPOSE SHALL NOT BE
CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY
ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT
THE CITY OF ALBUQUERQUE FROM REQUESTING
CORRECTION OF ERRORS OR OMISSIONS IN PLANS,
SPECIFICATIONS, OR CONSTRUCTIONS. SUCH APPROVED PLANS
SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT
AUTORIZATION.

EX. CONCRETE EL. 5113.81
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GRADING AND DRAINAGE & SITE PLAN

By:	Sheet: X Of:
File:	C-102



GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER THIS CONTRACT, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON. SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, AND THE CITY OF ALBUQUERQUE SPECIFICATIONS (AS APPLICABLE).
- AT LEAST TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990), FOR LOCATION OF EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES AND OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR WILL NOTIFY THE ENGINEER/OWNER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- ALL EXCAVATION SHALL BE GOVERNED BY FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH, OSHA 29 CFR 1926.650. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO KNOW AND COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970".
- CONTRACTOR SHALL SCARIFY AREA UNDER NEW BUILDING AND PARKING TO A DEPTH OF 12" AND RECOMPACT SUBGRADE TO 95% MAX. DENSITY AS DETERMINED BY ASTM D-1557 UNLESS NOTED OTHERWISE IN GEOTECHNICAL REPORT.
- WHEN ABUTTING NEW CONCRETE TO EXISTING, CUT BACK EXISTING TO A NEAT STRAIGHT LINE AS REQUIRED TO REMOVE ANY BROKEN OR CRACKED CONCRETE, AND MATCH NEW TO EXISTING. CUTTING OF PAVEMENT OR CONCRETE SHALL BE IN CONFORMANCE WITH PROJECT SPECIFICATIONS.
- EXERCISE CARE TO AVOID DISTURBING EXISTING UTILITIES. COORDINATE WITH UTILITY COMPANIES FOR ANY REQUIRED SERVICE RELOCATIONS, AND IN ORDER TO PREVENT SERVICE DISRUPTION.
- ADJUST EXISTING UTILITIES TO NEW GRADE AS REQUIRED TO FACILITATE A SMOOTH, ADA COMPLIANT WALKING SURFACE.
- CONTRACTOR SHALL PROVIDE REASONABLE ACCESS TO ALL FACILITIES WITHIN THE PROJECT AREA DURING CONSTRUCTION.
- CONTRACTOR AGREES TO TAKE NECESSARY SAFETY PRECAUTIONS AS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES TO PROTECT PEDESTRIAN AND VEHICULAR TRAFFIC IN THE CONSTRUCTION AREA, WHICH INCLUDE BUT ARE NOT LIMITED TO: MAINTAINING ADEQUATE WARNING SIGNS, BARRICADES, LIGHTS, GUARD FENCES, WALKS AND BRIDGES IN COMPLIANCE WITH CURRENT ADA STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL DEMOLITION DEBRIS. WORK MATERIALS SHALL BE DISPOSED OF IN AN APPROVED WASTE AREA, IN ACCORDANCE WITH PROJECT SPECIFICATIONS, SECURED BY AND AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ABANDONED UTILITY LINES THAT ARE EXPOSED AS A RESULT OF CONSTRUCTION UNLESS OTHERWISE DIRECTED BY THE OWNER.
- THE CONTRACTOR SHALL PROVIDE THE OWNER WITH "AS-BUILT" PLANS. THESE PLANS SHALL BE KEPT AS CURRENT AS POSSIBLE THROUGHOUT CONSTRUCTION AND SHALL BE SUBJECT TO REVIEW BY THE ENGINEER. THE FINAL AS-BUILT PLANS SHALL BE SUBMITTED TO THE OWNER AND ENGINEER.
- CONTRACTOR'S WORK ZONE, AND ANY OTHER AREAS DISTURBED BY CONSTRUCTION THAT MAY NOT BE INCLUDED ON THIS PLAN, SHALL BE RE-ESTABLISHED TO OWNER'S SATISFACTION.
- OWNER IS RESPONSIBLE FOR A GEOTECHNICAL REPORT CERTIFIED BY A GEOTECHNICAL ENGINEER. IF ANY GEOTECHNICAL CRITERIA CANNOT BE MET BY THIS PROPOSED PLAN, CONTACT THE ENGINEER FOR SUPPLEMENTAL RECOMMENDATIONS. IF NO GEOTECHNICAL EVALUATION REPORT IS PROVIDED, OWNER ASSUMES ALL RESPONSIBILITY FOR SITE SOIL CONDITIONS AND ANY ADVERSE IMPACTS (I.E. CONSOLIDATION, EXPANSION, PERMEABILITY, ETC.) TO THESE SITE IMPROVEMENTS CAUSED BY SUBSTANDARD SOILS.
- SAFETY RAILS ARE REQUIRED AT ALL LOCATION ADJACENT TO A PEDESTRIAN WALKWAY WHERE A VERTICAL DROP OF 24" OR MORE EXISTS, OR AS APPLICABLE PER GOVERNING BUILDING CODE. COORDINATE WITH OWNER FOR SAFETY RAIL DETAILS.
- ALL SIDEWALKS AND RAMPS TO BE APPROXIMATELY 4" ABOVE ADJACENT LANDSCAPE FINISH.
- COORDINATE IMPROVEMENTS SHOWN ON THIS PLAN WITH THE ARCHITECT'S SITE PLAN. COORDINATE ANY DISCREPANCIES WITH THE ENGINEER.
- A PROFESSIONAL SURVEYOR LICENSED IN THE STATE OF NEW MEXICO SHALL OVERSEE AND VERIFY ALL CONSTRUCTION MARKINGS, AND STAKING PRIOR TO ANY CONSTRUCTION. PROPOSED ELEVATIONS SHALL BE RELATIVE TO LOWEST ADJACENT TOP OF EXISTING CURB ELEVATION.
- SUBSURFACE UTILITY LOCATIONS SHOWN ON THIS SHEET ARE APPROXIMATE, A SUBSURFACE UTILITY SURVEY AND CONFLICT ANALYSIS IS RECOMMENDED PRIOR TO CONSTRUCTION. EXERCISE CARE TO AVOID DISTURBING EXISTING UTILITIES. COORDINATE WITH UTILITY COMPANIES FOR CLEARANCE REQUIREMENTS, RELOCATIONS, CONNECTIONS, AND SHUT-OFFS. (SEE UTILITY NOTES FOR ADDITIONAL INFORMATION)
- FIELD SURVEY ELECTRONIC FILE CAN BE MADE AVAILABLE UPON REQUEST. CONSTRUCTION CONTROL POINTS ARE AS SHOWN ON PLAN.
- COORDINATE CONSTRUCTION WITH GEOTECHNICAL AND STRUCTURAL PLANS AND REPORTS.
- POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS SHALL BE PROVIDED.
- ALL WORK SHOWN ON THIS PLAN SHALL ABIDE BY NM APWA STANDARD SPECIFICATION FOR PUBLIC WORKS CONSTRUCTION, AND CITY OF ALBUQUERQUE POLICIES.
- CONTRACTOR SHALL EXCAVATE AND CONFIRM EXISTING UTILITY LOCATION AND MATERIAL. CONTRACTOR SHALL MAKE CONNECTIONS TO EXISTING WATER LINE PRIOR TO CONSTRUCTION OF ON-SITE SERVICE LINES.
- CONTRACTOR SHALL EXPOSE EXISTING UTILITY LINES PRIOR TO STARTING CONSTRUCTION. SHOULD A CONFLICT BE IDENTIFIED, ADJUSTMENTS TO ALIGNMENT OR ELEVATION SHALL BE MADE WITH APPROVAL BY THE ENGINEER
- PAVEMENT CUTS AND PAVEMENT REPLACEMENT SHALL BE MADE IN CONFORMANCE WITH CITY STANDARDS, AND REPLACED IN-KIND, OR PER CITY INSPECTOR'S DIRECTION.
- PER CODE OF FEDERAL REGULATIONS §61.145, THE OWNER OR OPERATOR WHO PLANS TO DEMOLISH OR RENOVATE A COMMERCIAL FACILITY SHALL PERFORM A THOROUGH INSPECTION OF THE FACILITY(S) FOR THE PRESENCE OF ASBESTOS. THIS APPLIES TO ANY INSTITUTIONAL, COMMERCIAL, PUBLIC, INDUSTRIAL, OR RESIDENTIAL STRUCTURE CONSISTING OF 5 OR MORE DWELLINGS (I.E. APARTMENT BUILDING). IF ASBESTOS CONTAINING MATERIAL IS FOUND AT THE FACILITY, IT MUST BE REMOVED PRIOR TO RENOVATION OR DEMOLITION. A NATIONAL EMISSIONS STANDARDS FOR HAZARDOUS AIR POLLUTANTS (NESHAP) FORM IS REQUIRED AND MUST BE EMAILED OR HAND-DELIVERED TO THE CITY OT STATE ENVIRONMENTAL HEALTH DEPARTMENT, AIR QUALITY.

UTILITY GENERAL NOTES

- ALL WORK SHOWN ON THIS PLAN SHALL ABIDE BY NM APWA STANDARD SPECIFICATION FOR PUBLIC WORKS CONSTRUCTION AND CITY OF ALBUQUERQUE SPECIFICATIONS.
- EXISTING UTILITY INFORMATION SHOWN ON THIS PLAN, INCLUDING VERTICAL AND HORIZONTAL ALIGNMENTS, INVERTS, AND MATERIAL TYPES ARE APPROXIMATE AND PROVIDED BY THE OWNER.
- CONTRACTOR SHALL CONDUCT A UTILITY CONFLICT ANALYSIS. SHOULD A CONFLICT BE IDENTIFIED, ADJUSTMENTS TO ALIGNMENT OR ELEVATION SHALL BE MADE WITH APPROVAL BY THE ARCHITECT.
- CONTRACTOR SHALL EXCAVATE AND CONFIRM ALL EXISTING UTILITY LOCATIONS AND MATERIAL TYPES PRIOR TO DEMOLITION.
- CONTRACTOR SHALL VERIFY USABILITY OF EXISTING SERVICE LINES. IF THESE EXISTING SERVICES ARE NOT USED, THEY SHALL BE REMOVED UP TO THE ROW LINE AND CAPPED. COORDINATE WITH THE OWNER.
- COORDINATE WITH APPROPRIATE UTILITY OWNER FOR NEW SERVICE DISRUPTIONS.
- ALL EXCAVATION SHALL BE GOVERNED BY FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH, OSHA 29 CFR 1926.650. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.

UTILITY GENERAL NOTES (CONTINUED)

- CONTRACTOR SHALL PROVIDE AND MAINTAIN A SAFE AND ADEQUATE MEANS OF CHANNELIZING TRAFFIC AROUND AND THROUGH THE CONSTRUCTION AREA. ANY PEDESTRIAN CHANNELIZATION SHALL MEET ADA REQUIREMENTS.
- CONTRACTOR SHALL PROVIDE REASONABLE ACCESS TO PROPERTIES WITHIN THE PROJECT AREA DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY ALL OWNERS OF BUSINESSES IMPACTED BY CONSTRUCTION OF CHANGES IN ACCESS.
- PAVEMENT CUTS AND PAVEMENT REPLACEMENT SHALL BE MADE IN CONFORMANCE WITH CITY STANDARDS, AND REPLACED IN-KIND, OR PER CITY/COUNTY INSPECTOR DIRECTION.
- THIS UTILITY SURVEY IS A DEPICTION OF VISIBLE UTILITY FEATURES AND ASCERTAINABLE SUBSURFACE UTILITY LOCATIONS THAT HAVE BEEN DESIGNATED AND/OR OBSERVED BY, AND SUBSEQUENTLY SURVEYED BY OTHERS. THESE SERVICES WERE PERFORMED IN ACCORDANCE WITH ASCE STANDARD 38-02 (STANDARD GUIDELINE FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA). SUBSURFACE UTILITY ENGINEERING (SUE) QUALITY LEVELS B, AND C HAVE BEEN COMPLETED FOR THIS PROJECT.
- SUBSURFACE UTILITY DESIGNATION HAS BEEN BASED UPON EXISTING UTILITY RECORDS AND VARIOUS OTHER RESOURCES OF INFORMATION ALONG WITH CURRENT SITE CONDITIONS INCLUDING ACCESSIBLE SURFACE FEATURES FOUND WITHIN THE PROJECT LIMITS. RESULTS OF THIS UTILITY DESIGNATION EFFORT HAVE BEEN CORRELATED TO EXISTING AS-BUILT OR RECORD DRAWINGS AND/OR SITE UTILITY PLANS THAT WERE AVAILABLE AT THE TIME THIS WORK WAS PERFORMED. UTILITY LOCATIONS THAT COULD NOT BE ASCERTAINED THROUGH SURFACE GEOPHYSICAL UTILITY LOCATING METHODS, BUT WERE RECONCILED FROM UTILITY RECORDS, HAVE BEEN IDENTIFIED AND LABELED ON THIS SURVEY ACCORDINGLY. ADDITIONALLY, ANY DISCOVERED DISCREPANCIES RELATED TO THE RECORD DRAWINGS, UTILITY CONNECTIVITY OR PUBLIC UTILITY RESPONSE HAVE BEEN DOCUMENTED. REFER TO KEYED SUBSURFACE UTILITY NOTES ON THIS SHEET, AND SHEETS 2 AND 3 FOR LOCATIONS AND SUBSURFACE UTILITY KEYED NOTES BELOW FOR DETAILS.

UTILITY GENERAL NOTES (CONTINUED)

- PUBLICLY-OWNED UTILITIES REPRESENTED ON THIS SURVEY HAVE BEEN IDENTIFIED BY THE OWNER IN RESPONSE TO SURVEY AND NM811 DESIGN LOCATE REQUEST (NM811 TICKET 22AG290801 08/29/22 1:53PM) AND/OR THROUGH SUPPLEMENTAL DESIGNATION EFFORTS BY OTHERS BASED UPON SURFACE EVIDENCE AND VARIOUS OTHER RESOURCES OF UTILITY RECORD INFORMATION OBTAINED FROM THE OWNER AT THE ONSET OF THE PROJECT. A LIST OF UTILITY OWNERS REGISTERED WITH NM811 HAS BEEN PROVIDED BELOW.
- THIS UTILITY SURVEY AND SUBSURFACE UTILITY ENGINEERING EFFORT IS NOT ALL-INCLUSIVE AND MAY NOT REPRESENT UTILITIES/INFRASTRUCTURE THAT HAVE BEEN ABANDONED-IN-PLACE, WERE INACCESSIBLE, OR OTHERWISE UNDETECTABLE DUE TO UNFORESEEN AND UNCONTROLLABLE SITE AND/OR UTILITY CONDITIONS. FURTHER, THIS UTILITY INVESTIGATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE PROPERTY OWNER, DEVELOPER, OR CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUES, NEW MEXICO EXCAVATION LAWS (NM811), MUNICIPAL AND LOCAL ORDINANCES, SITE SPECIFIC RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE UTILITY LINES AND FACILITIES.

UTILITY OWNER LIST

ALBUQUERQUE/BERNALILLO COUNTY WUA
1-505-842-9287
ALBUQUERQUE PUBLIC SCHOOLS
1-505-848-8810
CENTURYLINK LOCAL NETWORK CENTRAL
1-800-283-4237
CITY OF ALBUQUERQUE (C.O.A.)
1-505-857-8044
C.O.A.-STORM DRAINS
1-505-857-8022
C.O.A.-STREET LIGHTING DEPT.
1-505-508-0744
COMCAST OF ALBUQUERQUE
(NUMBER NOT AVAILABLE)
MCI CABLE SEC
1-800-624-9675
NEW MEXICO GAS COMPANY
1-505-934-5853
PNM ELECTRIC OF ALBUQUERQUE
1-505-241-0577
UNITE PRIVATE NETWORKS, LLC
1-816-368-9039
UNIVERSITY OF NEW MEXICO (UNM)
1-505-277-8996

TELEPHONE NUMBERS OBTAINED THROUGH NM811 WEB PORTAL

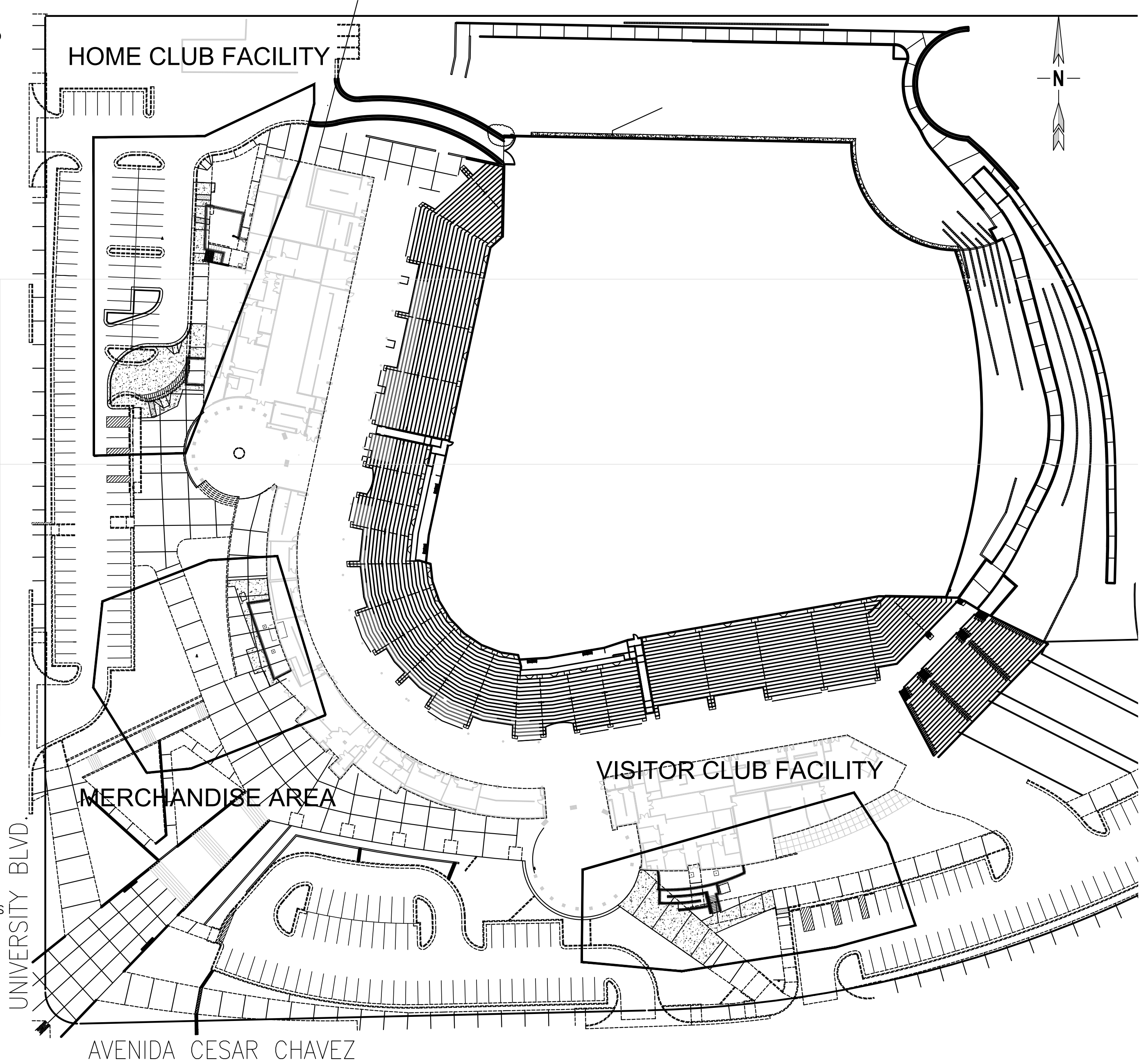
CIVIL SHEET INDEX

GENERAL NOTES & MAPS	C100a
DRAINAGE MAP	C100b
CIVIL SITE PLAN	C101
CIVIL SITE PLAN	C102
SURVEY DATA	10F3
UTILITY SURVEY (SUE)	20F3
UTILITY SURVEY (SUE)	30F3

ESTIMATED QUANTITIES

CONCRETE SIDEWALK:	790 S.Y.
CURB AND GUTTER:	280 L.F.
EARTHWORK CUT:	5 C.Y.
EARTHWORK FILL:	190 C.Y.
WATER LINE:	110 L.F.
SEWER LINE:	280 L.F.
GAS LINE:	200 L.F.
STORMDRAIN PIPE:	740 L.F.
SIDEALK CULVERT:	1 EA.

SEE PLANS FOR OTHER QUANTITIES



SITE MAP

SCALE: 1" = 60'



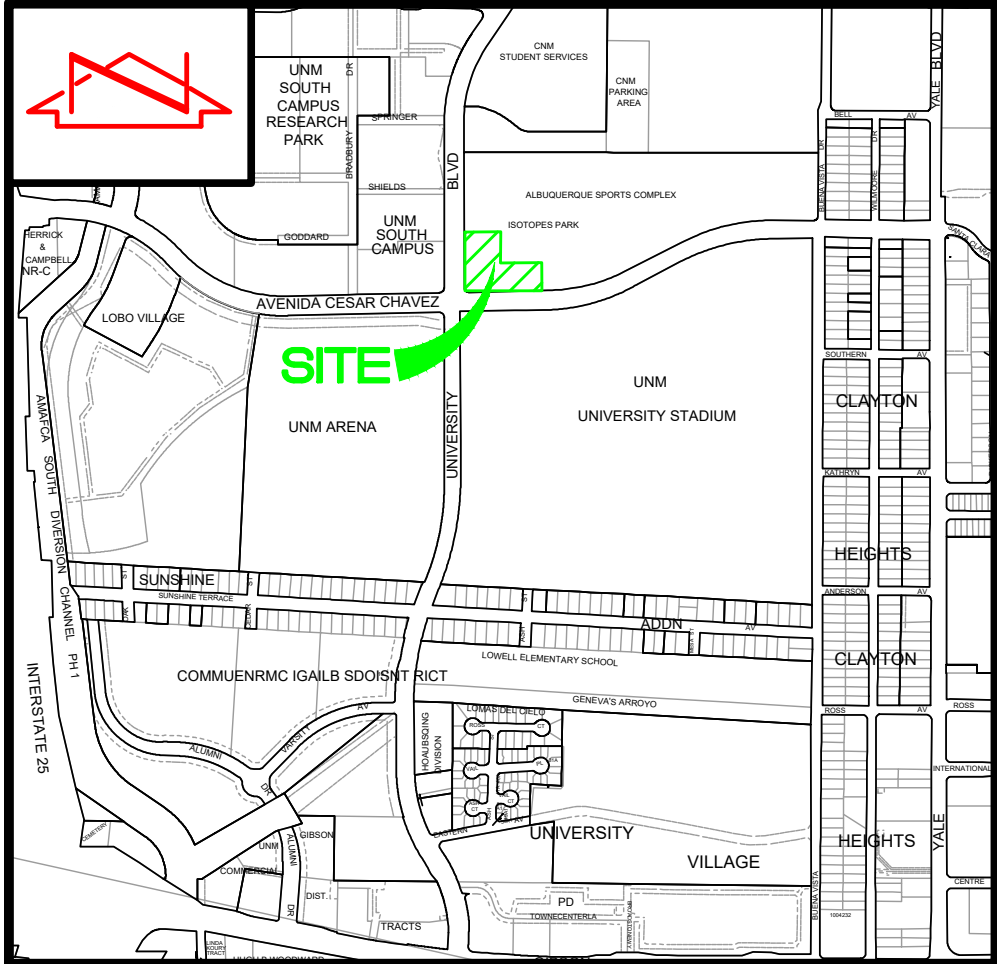
NO.	DATE	REVISIONS	CHECKED BY:
LEE GAMELSKY ARCHITECTS P.C.			
2412 MILES ROAD SE ALBUQUERQUE, NM 87106 505.842.8865 lee@jganm.com			

COA ISOTOPES PARK
Albuquerque, New Mexico

PROJECT ARCHITECT: LEE GAMELSKY, AIA	LGA Project #: Date:	20-01-ABQ.8 08.30.2022
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GRADING AND
DRAINAGE
& SITE PLAN

By:	Sheet: X Of:
File:	C-100a



VICINITY MAP
NOT TO SCALE

GENERAL NOTES

- A UTILITY SURVEY WAS PERFORMED IN SEPTEMBER, 2022. THIS IS NOT A BOUNDARY SURVEY OR A RIGHT-OF-WAY SURVEY.
- SITE LOCATED WITHIN PROJECTED SECTION 28, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M. (TOWN OF ALBUQUERQUE LAND GRANT).
- ORTHOPHOTOGRAPHY WAS CAPTURED BY HMCg UNMANNED AERIAL VEHICLE (UAV) ON SEPTEMBER 16, 2022.
- ALL DISTANCES ARE GROUND DISTANCES.
- KEY MAP BASE IMAGE, PROVIDED BY CLIENT AND IS FOR INFORMATION PURPOSES ONLY.
- THIS SURVEY HAS BEEN PREPARED BASED UPON NAVD 88 DATUM. PREVIOUS SURVEYS OF THIS AREA CONDUCTED BY OTHER CONSULTANTS MAY HAVE BEEN CONDUCTED BASED UPON NGVD 29 DATUM. SPECIAL CARE SHOULD BE EXERCISED WHEN COMPARING ELEVATIONS FROM THIS SURVEY TO CURRENT AND PREVIOUS SURVEYS, PLANS AND AS-BUILT DOCUMENTS.**

SUBSURFACE UTILITY NOTES

- THIS UTILITY SURVEY IS A DEPICTION OF VISIBLE UTILITY FEATURES AND ASCERTAINABLE SUBSURFACE UTILITY LOCATIONS THAT HAVE BEEN DESIGNATED AND/OR OBSERVED BY, AND SUBSEQUENTLY SURVEYED BY HIGH MESA CONSULTING GROUP. THESE SERVICES WERE PERFORMED IN ACCORDANCE WITH ASCE STANDARD 38-02 (STANDARD GUIDELINE FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA). SUBSURFACE UTILITY ENGINEERING (SUE) QUALITY LEVELS B, AND C HAVE BEEN COMPLETED FOR THIS PROJECT.
- SUBSURFACE UTILITY DESIGNATION HAS BEEN BASED UPON EXISTING UTILITY RECORDS AND VARIOUS OTHER RESOURCES OF INFORMATION ALONG WITH CURRENT SITE CONDITIONS INCLUDING ACCESSIBLE SURFACE FEATURES FOUND WITHIN THE PROJECT LIMITS. RESULTS OF THIS UTILITY DESIGNATION EFFORT HAVE BEEN CORRELATED TO EXISTING AS-BUILT OR RECORD DRAWINGS AND/OR SITE UTILITY PLANS THAT WERE AVAILABLE AT THE TIME THIS WORK WAS PERFORMED. UTILITY LOCATIONS THAT COULD NOT BE ASCERTAINED THROUGH SURFACE GEOPHYSICAL UTILITY LOCATING METHODS, BUT WERE RECONCILED FROM UTILITY RECORDS, HAVE BEEN IDENTIFIED AND LABELED ON THIS SURVEY ACCORDINGLY. ADDITIONALLY, ANY DISCOVERED DISCREPANCIES RELATED TO THE RECORD DRAWINGS, UTILITY CONNECTIVITY OR PUBLIC UTILITY RESPONSE HAVE BEEN DOCUMENTED. REFER TO KEYED SUBSURFACE UTILITY NOTES ON THIS SHEET, AND SHEETS 2 AND 3 FOR LOCATIONS AND SUBSURFACE UTILITY KEYED NOTES BELOW FOR DETAILS.
- PUBLICLY-OWNED UTILITIES REPRESENTED ON THIS SURVEY HAVE BEEN IDENTIFIED BY THE OWNER IN RESPONSE TO HMCg NM811 DESIGN LOCATE REQUEST (NM811 TICKET 22AG290801 08/29/22 1:53PM) AND/OR THROUGH SUPPLEMENTAL DESIGNATION EFFORTS BY HMCg BASED UPON SURFACE EVIDENCE AND VARIOUS OTHER RESOURCES OF UTILITY RECORD INFORMATION OBTAINED FROM THE OWNER AT THE ONSET OF THE PROJECT. A LIST OF UTILITY OWNERS REGISTERED WITH NM811 HAS BEEN PROVIDED BELOW.

A. NM811 UTILITY OWNER/OPERATOR LIST

NAME	*TELEPHONE NUMBER
ALBUQUERQUE/BERNALILLO COUNTY WUA	1-505-842-9287
ALBUQUERQUE PUBLIC SCHOOLS	1-505-848-8810
CENTURYLINK LOCAL NETWORK CENTRAL	1-800-283-4237
CITY OF ALBUQUERQUE (C.O.A.)	1-505-857-8044
C.O.A.-STORM DRAINS	1-505-857-8022
C.O.A. - STREET LIGHTING DEPT.	1-505-508-0744
COMCAST - ALBUQUERQUE (NUMBER NOT AVAILABLE FROM NM811)	
MCI CABLE SEC	1-800-624-9675
NEW MEXICO GAS COMPANY - ALBUQUERQUE	1-505-934-5853
PNM ELECTRIC - ALBUQUERQUE	1-505-241-0577
UNITE PRIVATE NETWORKS, LLC	1-816-368-9039
UNIVERSITY OF NEW MEXICO (UNM)	1-505-277-8996

*TELEPHONE NUMBERS OBTAINED THROUGH NM811 WEB PORTAL

- THIS UTILITY SURVEY AND SUBSURFACE UTILITY ENGINEERING EFFORT IS NOT ALL-INCLUSIVE AND MAY NOT REPRESENT UTILITIES/INFRASTRUCTURE THAT HAVE BEEN ABANDONED-IN-PLACE, WERE INACCESSIBLE, OR OTHERWISE UNDETECTABLE DUE TO UNFORESEEN AND UNCONTROLLABLE SITE AND/OR UTILITY CONDITIONS. FURTHER, THIS UTILITY INVESTIGATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE PROPERTY OWNER, DEVELOPER, OR CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, NEW MEXICO EXCAVATION LAWS (NM811), MUNICIPAL AND LOCAL ORDINANCES, SITE SPECIFIC RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE UTILITY LINES AND FACILITIES.

CONTROL SURVEY NOTE

A CONTROL SURVEY WAS CONDUCTED AT THE SITE ON SEPTEMBER 16, 2022. CONTROL WAS PROJECTED ONTO THE SUBJECT SITE UTILIZING RTK GPS OBSERVATIONS COMBINED WITH GEOID MODEL 18 TO ESTABLISH HORIZONTAL AND VERTICAL POSITIONS BASED UPON NAD 83/NAVD 88 DATUM. THE RTK OBSERVATIONS WERE USED TO ESTABLISH THE TEMPORARY BENCHMARKS AT THE PROJECT SITE.

THE POINTS OBSERVED HAVE BEEN QUALITY CONTROLLED FOR RELATIVE ACCURACY. ALL HORIZONTAL COORDINATES ARE MODIFIED NAD 83 GRID VALUES AND HAVE BEEN ADJUSTED TO THE GROUND AT THE PROJECTION POINT (THE SCALE FACTOR USED IS 1/CF=1.00032645941109). THE CONTROL STATION USED TO PROJECT FROM GRID TO GROUND FOR THIS PROJECT IS THE PROJECT BENCHMARK P.B.M. 201" WITH NAD GRID COORDINATES OF:

NORTHING= 1,480,856.79 FEET
EASTING= 1,526,576.59 FEET
ELEVATION= 5112.80 FEET

THE ELEVATIONS ARE BASED UPON THE NAVD DATUM AND REQUIRE NO FURTHER ADJUSTMENT.

PROJECT BENCHMARK - #201 (P.B.M.)

A MAG NAIL, SET IN A CONCRETE JOINT AT THE 3RD BASE PARKING LOT SIDEWALK ENTRANCE, JUST SOUTH OF THE HANDICAP PARKING, ABOUT 5 FEET NORTH EAST FROM THE BASE OF A LIGHT POLE, AS SHOWN ON SHEET 3.
ELEVATION = 5112.80 FEET (NAVD 1988)

TEMPORARY BENCHMARK #202 (T.B.M.)

A MAG NAIL SET IN ASPHALT, IN THE NORTH WEST PARKING LOT, AT THE END OF A PARKING STRIPE, FOR THE NEAREST PARKING SPOT TO THE PRIVATE NORTH WEST SIDE ENTRANCE OF THE STADIUM, IN THE NORTH WEST AREA OF THE SITE, AS SHOWN ON SHEET 2.
ELEVATION = 5115.96 FEET (NAVD 1988)

TEMPORARY BENCHMARK #203 (T.B.M.)

A MAG NAIL, SET IN CONCRETE, AT THE TOP OF THE MAIN HOME PLATE ENTRANCE RAMP, ABOUT 25 FEET SOUTH EAST FROM THE BASE OF A LIGHT POLE AT THE TOP NORTH SIDE OF THE RAMP IN THE WEST SIDE OF THE PROJECT SITE, AS SHOWN ON SHEET 3.
ELEVATION = 5119.09 FEET (NAVD 1988)

TEMPORARY BENCHMARK #204 (T.B.M.)

A MAG NAIL, SET IN CONCRETE, AT THE TOP OF THE RAMP LEADING TO THE FIRST BASE ENTRANCE, ABOUT 20 FEET SOUTH WEST FROM THE LIGHT POLE BASE, NEXT TO THE RIO GRANDE CREDIT UNION FIELD SIGN, IN THE SOUTH AREA OF THE PROJECT SITE, AS SHOWN ON SHEET 3.
ELEVATION = 5118.48 FEET (NAVD 1988)

TEMPORARY BENCHMARK #205 (T.B.M.)

A MAG NAIL, SET IN ASPHALT, IN THE SOUTH EAST PARKING LOT, AT THE END OF A PARKING STRIPE, ABOUT 22 FEET NORTH FROM A LIGHT POLE BASE NEAR THE SIDEWALK, ON AVENIDA CESAR CHAVEZ, IN THE SOUTHEAST CORNER OF THE PROJECT SITE, AS SHOWN ON SHEET 3.
ELEVATION = 5114.46 FEET (NAVD 1988)

TEMPORARY BENCHMARK #206 (T.B.M.)

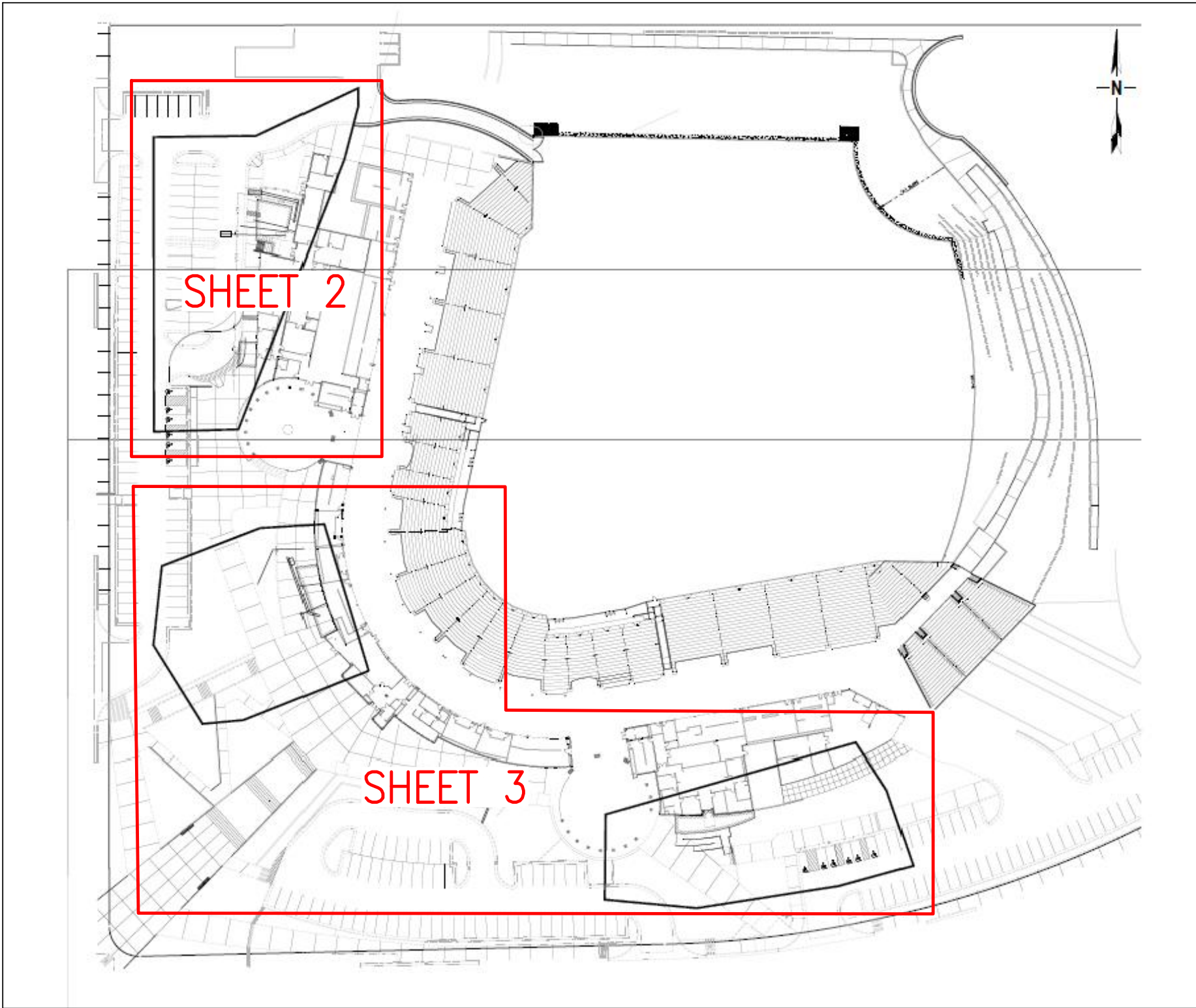
A MAG NAIL, SET IN ASPHALT, IN THE MIDDLE OF THE DRIVE BETWEEN THE MAIN BUILDING AND THE NORTH WEST MAINTENANCE BUILDING, ABOUT 19 FEET FROM THE SOUTH EAST CORNER OF THE MAINTENANCE BUILDING, ON THE NORTH WEST SIDE OF THE PROJECT SITE, AS SHOWN ON SHEET 2.
ELEVATION = 5118.18 FEET (NAVD 1988)

SUBSURFACE UTILITY ENGINEERING (SUE) QUALITY LEVEL DESCRIPTIONS

- QUALITY LEVEL B (QLB) - HORIZONTAL UTILITY LOCATIONS ASCERTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODOLOGIES AND UTILITY LOCATING TECHNIQUES. ALSO REFERRED TO AS DESIGNATION OR LINE-SPOTTING.
- QUALITY LEVEL C (QLC) - SURVEYING OF VISIBLE SURFACE FEATURES.
- QUALITY LEVEL D (QLD) - UTILITY INFORMATION DERIVED FROM EXISTING UTILITY RECORDS AND VARIOUS OTHER RESOURCES OF UTILITY INFORMATION INCLUDING BUT NOT LIMITED TO: RECORD OR AS-BUILT DRAWINGS, SITE UTILITY PLANS, DISTRIBUTION AND SERVICE MAPS, EXISTING GEOGRAPHIC INFORMATION SYSTEM (GIS) DATABASES, ORAL RECOLLECTIONS, ETC.

SUBSURFACE UTILITY KEY NOTES

- DETECTABLE DUCT ROD COULD NOT BE INSERTED BEYOND THIS POINT TO COMPLETE DESIGNATION OF STORM DRAIN PIPELINE. LOCATION OF PIPELINE BEYOND THIS POINT COULD NOT BE DETERMINED.
- DETECTABLE DUCT ROD COULD NOT BE INSERTED INTO STORM DRAIN PIPELINE BEYOND THIS POINT TO COMPLETE DESIGNATION. LOCATION OF PIPELINE IS DEPICTED ON THIS SURVEY IN AN APPROXIMATE MANNER BASED UPON RECORD DRAWINGS OR OTHER RESOURCES OF UTILITY INFORMATION THAT WERE PROVIDED AT THE ONSET OF THE PROJECT.
- GREASE TRAP WAS SURCHARGED. LOCATION OF PIPELINE COULD NOT BE DETERMINED.
- DETECTABLE DUCT ROD COULD NOT BE INSERTED BEYOND THIS POINT TO COMPLETE DESIGNATION OF THE SANITARY SEWER (SAS) PIPELINE. LOCATION OF PIPELINE BEYOND THIS POINT COULD NOT BE DETERMINED.
- STORM DRAIN DROP INLET WAS FULL OF DIRT AND DEBRIS. DIRECTION AND LOCATION OF PIPELINES COULD NOT BE DETERMINED.
- STORM DRAIN DROP INLET WAS SURCHARGED. DIRECTION AND LOCATION OF PIPELINES COULD NOT BE DETERMINED.
- SANITARY SEWER (SAS) PIPELINE COULD NOT BE DESIGNATED FROM THIS POINT. DESIGNATION IS INCOMPLETE.
- PUBLICLY-OWNED GAS LINE DESIGNATED BY HMCg.
- SIGNAL APPLIED TO TRACER WIRE (FOUND AT GAS RISER) ABRUPTLY STOPS AT POINT INDICATED ON SURVEY. PIPELINE IS DEPICTED BEYOND THIS POINT IN AN APPROXIMATE MANNER BASED UPON RECORD DRAWINGS OR OTHER RESOURCES OF UTILITY INFORMATION THAT WERE PROVIDED AT THE ONSET OF THE PROJECT.
- SIGNAL APPLIED TO STEEL GAS RISER ABRUPTLY STOPS AT THIS POINT. LOCATION OF GAS LINE COULD NOT BE DETERMINED BEYOND THIS POINT. DESIGNATION IS INCOMPLETE.
- LOCATIONS OF WATER LINES COULD NOT BE DETERMINED AT THESE LOCATIONS WHERE SURFACE EVIDENCE WAS DISCOVERED. RECORD DRAWINGS OR OTHER RESOURCES OF UTILITY INFORMATION ARE CURRENTLY NOT AVAILABLE TO INDICATE THE APPROXIMATE LOCATION OF THESE PIPELINES.
- SIGNAL APPLIED TO WATER LINE ABRUPTLY STOPS AT POINT INDICATED ON SURVEY. LOCATION OF WATER LINE COULD NOT BE DETERMINED BEYOND THIS POINT. RECORD DRAWINGS OR OTHER RESOURCES OF UTILITY INFORMATION ARE CURRENTLY NOT AVAILABLE TO INDICATE THE APPROXIMATE LOCATION OF THESE PIPELINES.



KEY MAP
(NOT TO SCALE)

INDEX OF DRAWINGS

- COVER SHEET, NOTES, VICINITY MAP, KEY MAP, SUE KEYED NOTES.
- NORTHWEST AREA, SUE KEYED NOTES.
- SOUTHWEST AREA, SOUTHEAST AREA, SUE KEYED NOTES

SURVEYORS CERTIFICATION

I, JOSEPH M. SOLOMON, JR., NEW MEXICO PROFESSIONAL SURVEYOR NO. 15075, DO HEREBY CERTIFY: THAT THIS UNCLASSIFIED SURVEY AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO, AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



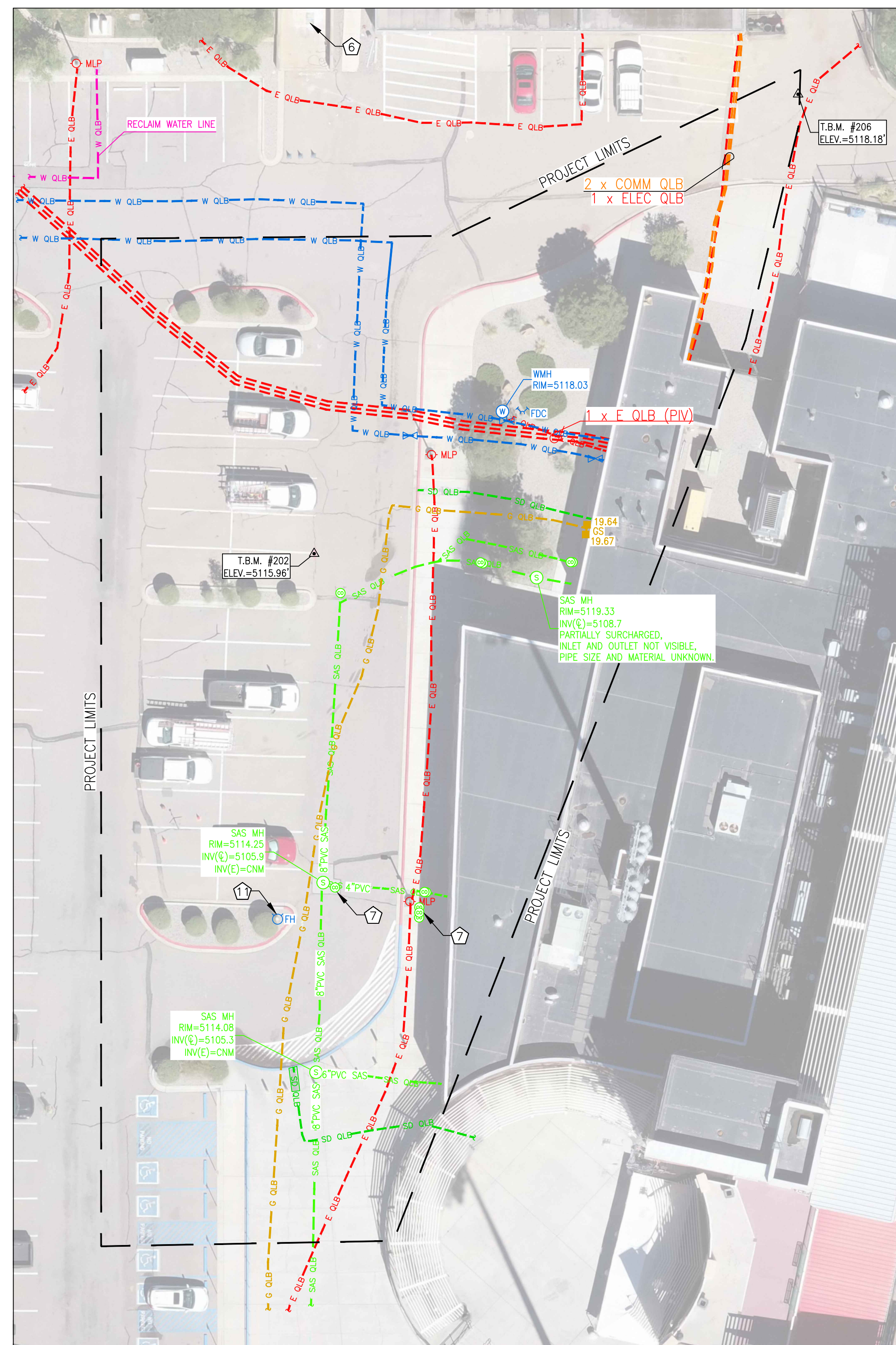
October 3, 2022
DATE



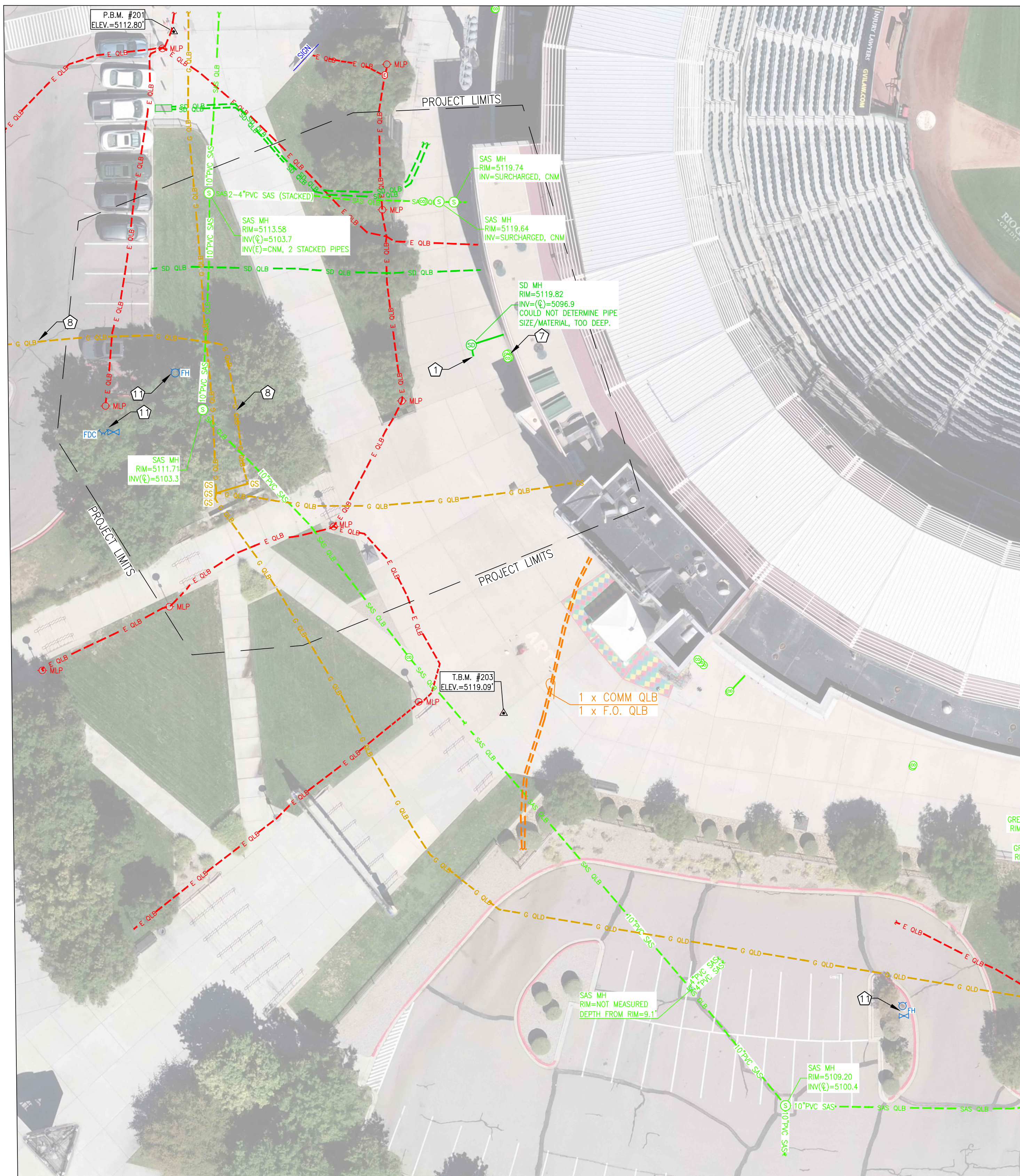
6010-B Midway Park Blvd. NE • Albuquerque, New Mexico 87109
Phone: 505.345.4250 • Fax: 505.345.4254 • www.highmesacg.com

COVER SHEET
ISOTOPES PARK UTILITY SURVEY
ALBUQUERQUE, NM

SURVEYED BY	NO.	DATE	BY	REVISIONS	JOB NO.
E.E.S.					2022.055.1
DRAWN BY	NO.	DATE	BY	REVISIONS	DATE
E.E.S.					10-2022
APPROVED BY	NO.	DATE	BY	REVISIONS	SHEET
J.M.S.					1 OF 3



File Name: P:\data\2022\2022055_1\ISOTOPES-IMPROVEMENTS-UTILITY_2022055_1.dwg - SH3 Plot Date: 9/30/22 Plot Time: 15:20



LEGEND

- C COMMUNICATION
- CNM COULD NOT MEASURE
- INV INVERT ELEVATION
- MH MANHOLE
- SAS SANITARY SEWER
- SD STORM DRAIN
- ELEC PULLBOX
- GAS PRESSURE REGULATOR
- GAS SERVICE
- METAL LIGHT POLE
- SAS SINGLE CO
- SAS MANHOLE
- GREASE TRAP
- SD CO
- SD MANHOLE
- WATER MANHOLE
- POST INDICATOR VALVE
- WATER VALVE BOX
- FIRE DEPT CONNECTION
- FIRE HYDRANT

APWA UTILITY COLOR CODE UTILITY LINE TYPES

SUE QUALITY LEVEL B (QLB)--SOURCE: DESIGN/PAINT MARK

- RED - ELECTRIC POWER LINES, CABLES, CONDUIT AND LIGHTING CABLES
- RED - MULTIPLE ELECTRIC LINES/DUCT STRUCTURE
- YELLOW - GAS, OIL, STEAM, PETROLEUM OR GASEOUS MATERIALS
- ORANGE - COMMUNICATION, ALARM OR SIGNAL LINES, CABLES OR CONDUIT
- ORANGE - COMMUNICATION, FIBER OPTIC LINES
- BLUE - POTABLE WATER
- PURPLE - NON-POTABLE, RECLAIM WATER
- GREEN - SANITARY SEWER AND DRAIN LINES
- GREEN - STORM SEWER AND DRAIN LINES
- RED - TRAFFIC SIGNALS
- SUE QUALITY LEVEL D (QLD)--SOURCE: RECORD DRAWING/RESOURCE OF UTILITY INFORMATION
- YELLOW - GAS, OIL, STEAM, PETROLEUM OR GASEOUS MATERIALS
- GREEN - STORM DRAIN

SUBSURFACE UTILITY KEY NOTES

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