

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Four-Plex Apartments for Elco Construction ZONE ATLAS/DRNG. FILE #: L15/D17

LEGAL DESCRIPTION: Lots 11-A, 19-A, 20-A and 31-A Rueben Sanchez Addition

CITY ADDRESS: _____

ENGINEERING FIRM: Lovelady & Associates CONTACT: Frank Lovelady

ADDRESS: 7408 Morrow Road, N.E. 87110 PHONE: 883-7973

OWNER: Elco Construction CONTACT: Eloy Montoya/Rueben Sanchez

ADDRESS: PO Box 27438 AlB. N.M. 87125 PHONE: 266-5304

ARCHITECT: Jerry Torr & Associates CONTACT: Jerry Torr

ADDRESS: 5736 Osuna Road, N.E. PHONE: 884-7713

SURVEYOR: Oliver Trujillo CONTACT: Oliver Trujillo

ADDRESS: _____ PHONE: 836-0328

CONTRACTOR: Elco Construction CONTACT: _____

ADDRESS: (See Above) PHONE: _____

PRE-DESIGN MEETING:

☒ YES

☐ NO

☒ COPY OF CONFERENCE RECAP SHEET PROVIDED

DRB NO. _____

EPC NO. _____

PROJ. NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☐ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

☐ GRADING/PAVING PERMIT APPROVAL

☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: March 28, 1985

BY: Frank D. Lovelady, P.E.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DESIGN HYDROLOGY SECTION
123 Central NW, Albuquerque, NM 87102
(505) 766-7644

May 23, 1985

Mr. Frank Lovelady
Lovelady & Associates
7408 Morrow Road NE
Albuquerque, NM 87110

REF: DRAINAGE PLAN FOR ELCO CONSTRUCTION 4-PLEX APARTMENTS (L15-D17)
RECEIVED MAY 23, 1985

Dear Frank:

The above referenced plan, dated April 26, 1985, is approved.

Please attach a copy of this approved plan to the construction set prior to Hydrology sign-off.

If I can be of further assistance, please contact me at 766-7644.

Sincerely,

Carlos A. Montoya
City/County Flood Plain Admin.

CAM:mrk

MUNICIPAL DEVELOPMENT DEPARTMENT

C. Dwayne Sheppard, P.E., City Engineer

ENGINEERING DIVISION

Telephone (505) 766-7467

AN EQUAL OPPORTUNITY EMPLOYER

CONSTRUCTION NOTES:

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST NOTIFY THE LOCATING SERVICE AT 765-1234 FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, ORDINANCES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN CITY RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

GENERAL NOTES:

1. THIS GRADING AND DRAINAGE PLAN IS A MASTER PLAN FOR LOTS 11-A, 19-A, 20-A, and 31-A. CONSTRUCTION WILL BE PHASED AS FOLLOWS:
PHASE 1 - LOTS 11-A AND 19-A.
FUTURE CONSTRUCTION - LOTS 20-A AND 31-A.
2. BEFORE FUTURE CONSTRUCTION CAN BEGIN EXISTING STORM SEWER AND GAS LINE MUST BE RELOCATED.
3. DRIVE PADS TO BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD DRAWING P-11-1.
4. FUTURE PHASES OF DEVELOPMENT WILL REQUIRE REPLACING THE EXISTING TYPE "C" CATCH BASIN WITH A TYPE "D" CATCH BASIN SINCE IT IS IN THE DRIVEWAY. ANOTHER ALTERNATIVE WOULD BE TO SHIFT THE DRIVEWAY SLIGHTLY TO THE NORTH IF THIS IS ACCEPTABLE TO TRAFFIC ENGINEERING.

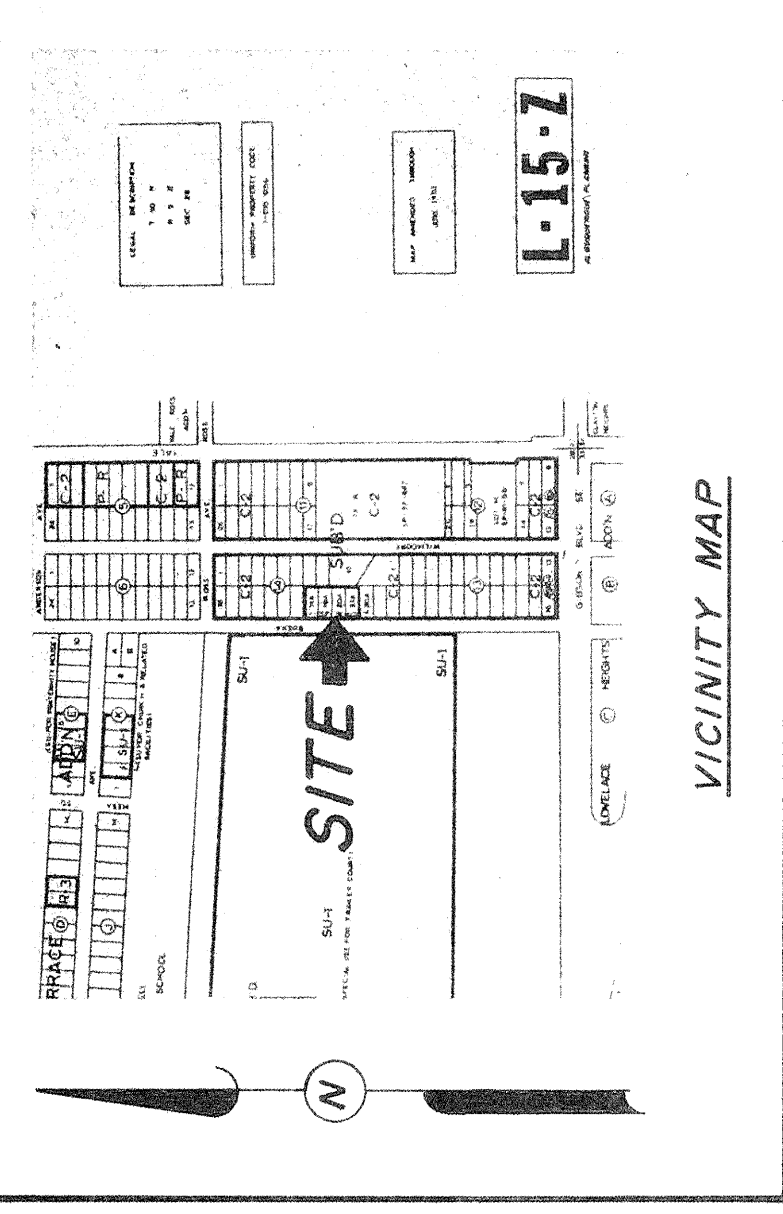
LEGAL DESCRIPTION:

A CERTAIN TRACT OR PARCEL OF LAND SITUATED WITHIN THE CITY LIMITS OF THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO; BEING AND COMPRISING LOTS 11-A, 19-A, 20-A, AND 31-A, RUEBEN SANCHEZ ADDITION, A SUBDIVISION OF THE CITY OF ALBUQUERQUE, NEW MEXICO.

EROSTON CONTROL NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING THE FOLLOWING:

1. NO SEDIMENT-BEARING WATER SHALL LEAVE THE SITE DURING CONSTRUCTION.
2. DURING GRADING OPERATIONS, ADJACENT PROPERTY SHALL BE PROTECTED FROM FLOODING.
3. ANY AND ALL ERODED MATERIAL ENTERING PUBLIC RIGHT-OF-WAY SHALL BE PROMPTLY AND THOROUGHLY CLEANED UP.



LEGEND:	DESCRIPTION	EXISTING	NEW
	FLOW DIRECTION	---	---
	CONTOUR	---	---
	SPOT ELEVATION	---	---
	PROPERTY LINE	---	---
	ROOF DRAIN	---	---

TC = TOP CURB
TA = TOP ASPHALT
FL = FLOW LINE

BENCH MARK:

ELEVATIONS SHOWN HEREON ARE REFERENCED TO CITY OF ALBUQUERQUE BENCH MARK 7 - L 15, MEAN SEA LEVEL ELEVATION = 5161.484.

UNDERGROUND UTILITIES:

UNDERGROUND UTILITIES ARE FROM THE RECORDS OF THE CITY OF ALBUQUERQUE ENGINEERING DEPARTMENT.

DRAINAGE CALCULATIONS AND COMMENTS

I. REFERENCES:

- A. City of Albuquerque Development Process Manual (DPM) Volume 2, Design Criteria, Chapter 22, Drainage, Flood Control and Erosion Control.
- B. Soil Survey of Bernalillo County and Parts of Sandoval and Valencia Counties, New Mexico, United States Department of Agriculture, Soil Conservation Service.
- C. City of Albuquerque Floodway Map, Panel No. 35.

II. GENERAL INFORMATION:

- A. Soil Type (Ref. B., Sheet No. 31) Soil type is Cu(Cut and Fill) and, Hydrologic Soil Group "B".
- B. Imperviousness:

Type of Surface	Existing Area Sq.Ft. - Acres	Proposed Area Sq.Ft. - Acres
Building roof	8374 0.1922	8374 0.1922
Concrete Surfaces	2090 0.0480	2090 0.0480
Asphalt Surfaces	10700 0.2456	10700 0.2456
Landscaping	5899 0.1345	5899 0.1345
Undeveloped surface	27063 0.6212	27063 0.6212
Site total	27063 0.6212	27063 0.6212
Percent impervious	0%	78%

- C. "C" Factor (See Ref. A., Plate 22.2 C-1)

1. Undeveloped "C" Factor = 0.34
2. Developed "C" Factor = 0.75

- D. Rainfall, 100-year, 6-hour, R_6 : (See Ref. A., Plate 22.2 D-1) $R_6 = 2.3$ inches.

- E. Time of Concentration, T: The time of concentration for a site of this size and slope is always less than 10 minutes. Use 10 minutes as the minimum T.

- F. Rainfall Intensity, I: (See Ref. A., Plate 22.2 D-2)
 $I = R_6 \times 6.84 \times T^{-0.51} = 2.3 \times 6.84 \times (10)^{-0.51}$
 $I = 4.86$ In/Hr

III. PEAK DISCHARGE:

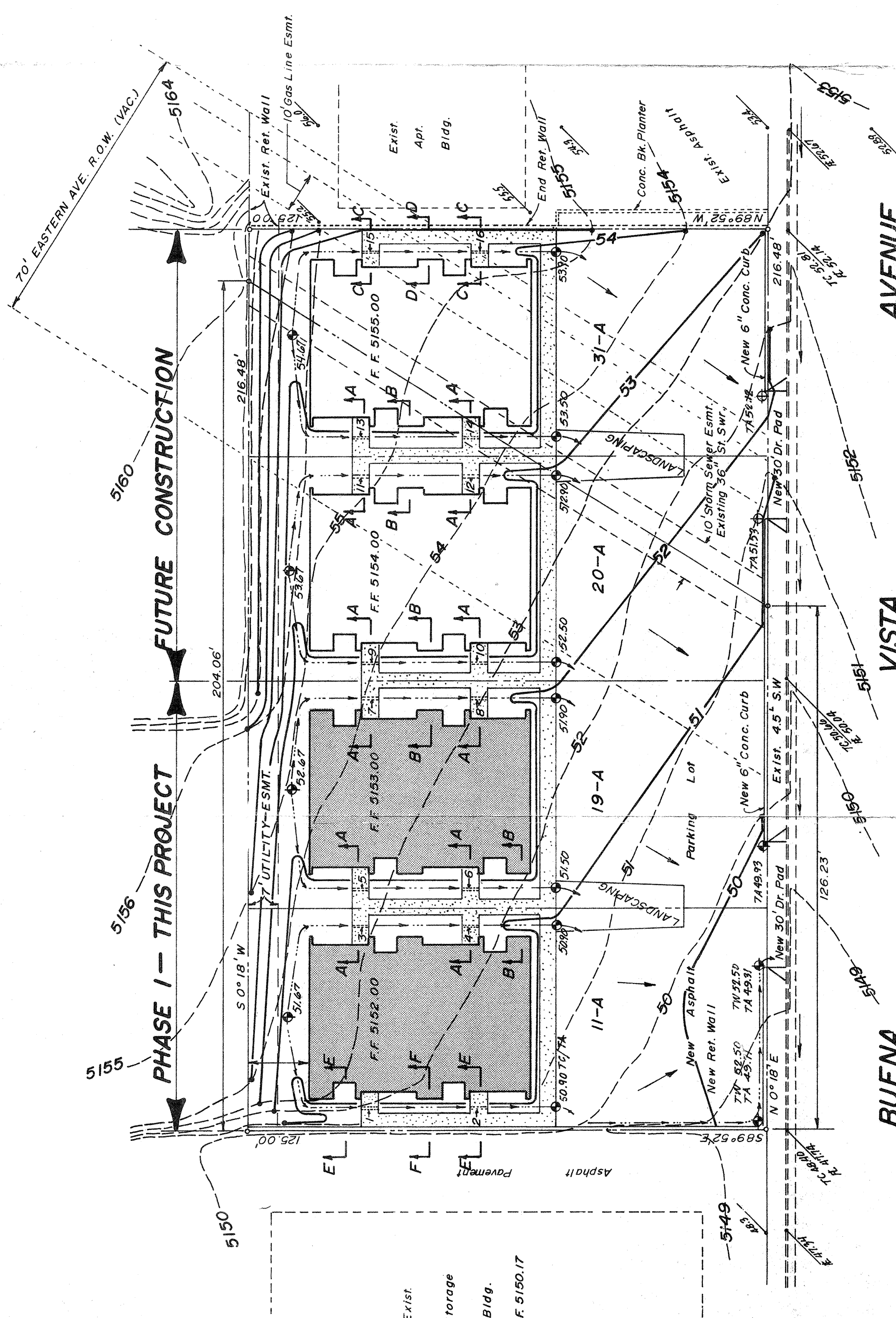
- A. Existing Conditions. (Use Rational Equation)

$Q_{100} = 0.34 \times 4.86 \times 0.62 = 1.02$ cfs

$Q_{10} = 0.657 \times 1.02 = 0.67$ cfs

DRAINAGE COMMENTS:

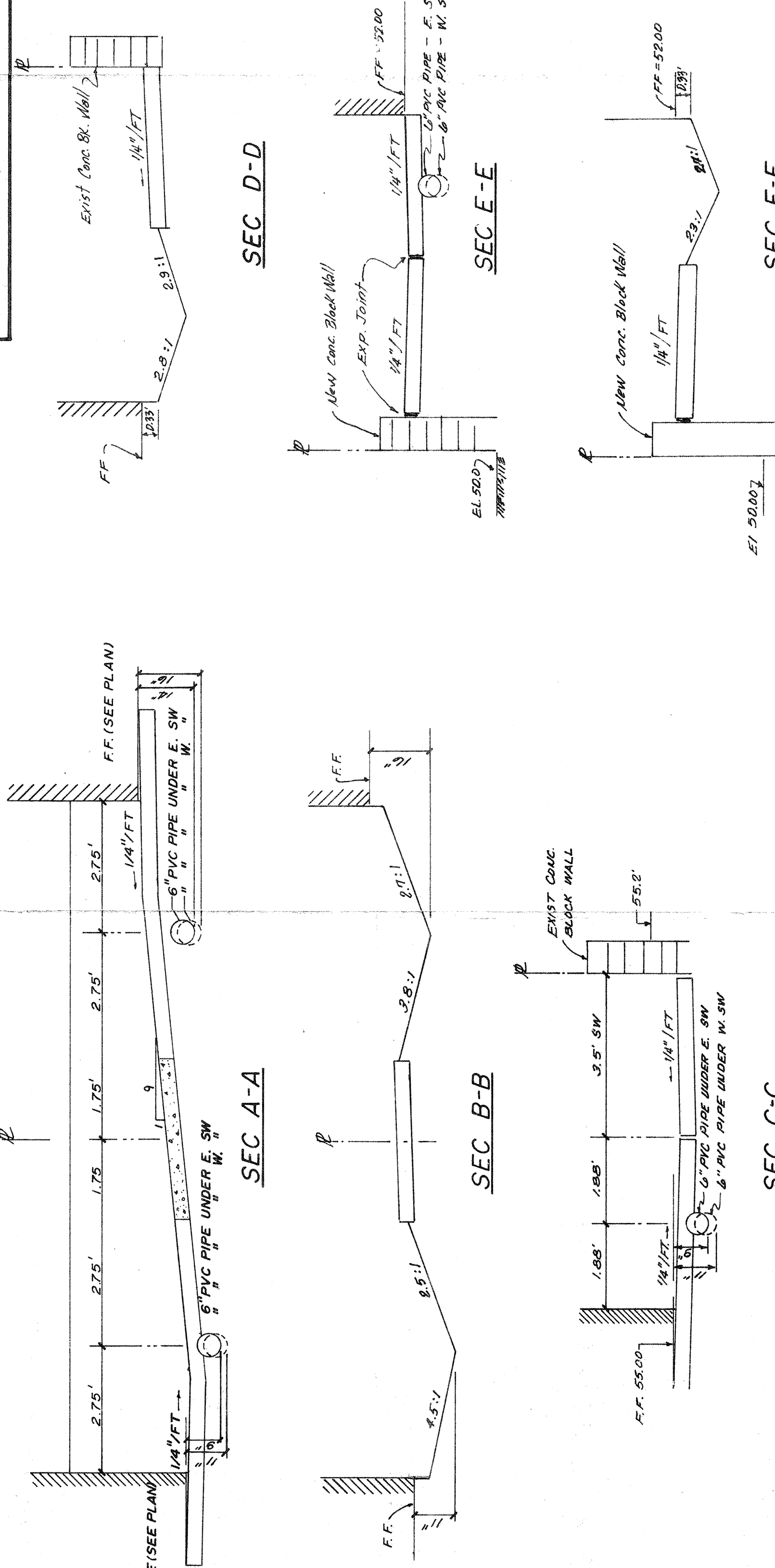
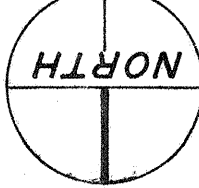
1. OFF-SITE FLOWS ARE MINIMAL. THE UNDEVELOPED LOTS EAST OF THE SITE ARE NEARLY LEVEL. IT IS ASSUMED THAT THE WEST 50 FEET OF THESE LOTS WILL PRODUCE OFF-SITE FLOW.
2. PER PRE-DESIGN CONFERENCE RECAP, FREE DISCHARGE IS PERMITTED TO ROSS CHANNEL SINCE FIELD INVESTIGATION REVEALED THE CHANNEL "RUNDOWN" IS CONCRETE-LINED.
3. THE STORM SEWER EASEMENT HAS BEEN PLOTTED FROM INFORMATION CONTAINED IN THE PLAT. IT IS ASSUMED THAT THE STORM SEWER EASEMENT IS CENTERED ON THE VACATED EASTERN AVENUE RIGHT-OF-WAY.
4. IN THE PARKING LOT, SOME DRAINAGE CROSSES LOT LINES. GRADING IT OTHERWISE CAUSES UNDESIRABLE ADVERSE GRADES AT THE BACK OF THE STREET SIDEWALK AND UNNECESSARY RETAINING WALLS.



SCHEDULE OF PIPE INVERTS					
PIPE NO.	INVERT		PIPE NO.	INVERT	
	IN	OUT		IN	OUT
1	51.30	51.25	9	53.88	53.83
2	51.08	51.03	10	52.72	52.67
3	51.30	51.25	11	53.30	53.25
4	51.08	51.03	12	53.08	53.03
5	51.30	51.25	13	53.88	53.83
6	51.08	51.03	14	53.72	53.67
7	51.30	51.25	15	54.30	54.25
8	52.08	52.03	16	54.08	54.03

GRADING AND DRAINAGE PLAN

1" = 20'



GRADING AND DRAINAGE PLAN
FOR
FOUR-PLEX APARTMENTS FOR ELCO CONSTRUCTION

ALBUQUERQUE, NEW MEXICO

REVISED: APRIL 26, 1985

