

FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DESIGN HYDROLOGY SECTION
123 Central NW, Albuquerque, NM 87102
(505) 766-7644

May 1, 1986

Tom Mann
Tom Mann & Associates, Inc.
811 Dallas, NE
Albuquerque, New Mexico 87110

RE: REVISED DRAINAGE PLAN FOR YALE BOULEVARD CAR WASH
(L-15/D23) REVISION DATE APRIL 17, 1986

Dear Tom:

Based on the information provided on your April 18, 1986 resubmittal, the above referenced drainage plan is approved for Building Permit and Foundation.

Please attach a copy of this approved drainage plan along with the appropriately approved copy of the "Drainage Facilities Within City Right-of-Way" document to the construction sets before Hydrology sign-off.

If I can be of further assistance, please feel free to call me at 766-7644.

Cordially,

A handwritten signature in cursive script that reads "Bernie J. Montoya".

Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj

ENGINEERING DIVISION

Telephone (505) 766-7467

AN EQUAL OPPORTUNITY EMPLOYER



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

MAYOR
KEN SCHULTZ

CHIEF
ADMINISTRATIVE OFFICER
GENE ROMO

DEPUTY CAO
PUBLIC SERVICES
FRANK MARTINEZ

DEPUTY CAO
PLANNING/DEVELOPMENT
BILL MUELLER

February 24, 1988

A review of our records indicates that this office has never given a final drainage approval at 1117 Yale Boulevard, SE. Further, it has been noted that the building is being occupied without a Certificate of Occupancy which is contrary to Section 308 of the City's Uniform Administrative Code.

In order to provide fair, effective enforcement of the City's Drainage Ordinance, it is imperative that one of our staff members conduct a final inspection of all buildings prior to occupancy. Please make immediate arrangements with this office to allow for an inspection of the above mentioned property.

If arrangements for an inspection and approval of this site are not completed within 30 days from the above date, this office will take the necessary legal steps to invoke one or more of the penalties listed under Section 205 of the Uniform Administrative Code.

If you have any questions concerning this matter, do not hesitate to call me at 764-1699 or 768-2650.

Cordially,

Richard L. Duran
Drainage Inspector

xc: Ray Baca, Transportation Dev.

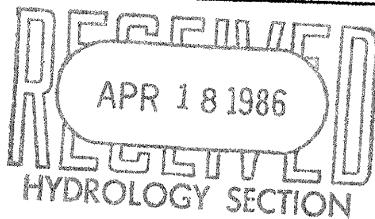
RLD/bsj

RESUBMITTAL #6

PROJECT TITLE: YALE BLVD CARWASH ZONE ATLAS/DRNG. FILE #: 2-15/073
 LEGAL DESCRIPTION: Lots 10, 11 & 12 Blk 2 Clayton Hts.
 CITY ADDRESS: 1117 Yale Blvd SE
 ENGINEERING FIRM: Tom Mann & Assoc Inc CONTACT: Tom Mann
 ADDRESS: 811 Dallas NE 87110 PHONE: 265-5611
 OWNER: Jessie Waddles CONTACT: Jessie Waddles
 ADDRESS: 1336 E Gerald SE PHONE: 247-9389
 ARCHITECT: David Fry CONTACT: David Fry
 ADDRESS: 2007 Ridgecrest SE PHONE: 255-8985
 SURVEYOR: Tom Mann & Assoc CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CONTRACTOR: Unknown CONTACT: _____
 ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☒ YES
☐ NO
☒ COPY OF CONFERENCE RECAP
 SHEET PROVIDED



DRB NO. _____
 EPC NO. _____
 PROJ. NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ SITE DEVELOPMENT PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ BUILDING PERMIT APPROVAL
☒ FOUNDATION PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ ROUGH GRADING PERMIT APPROVAL
☐ GRADING/PAVING PERMIT APPROVAL
☒ OTHER _____ (SPECIFY)

DATE SUBMITTED: 3-7-86 3-18-86
 BY: Tom Mann 4-17-86

REVISED BUILDING AND ASSOCIATED
 GRADES.

The following items concerning the Yale Boulevard Car Wash Drainage Plan are contained hereon:

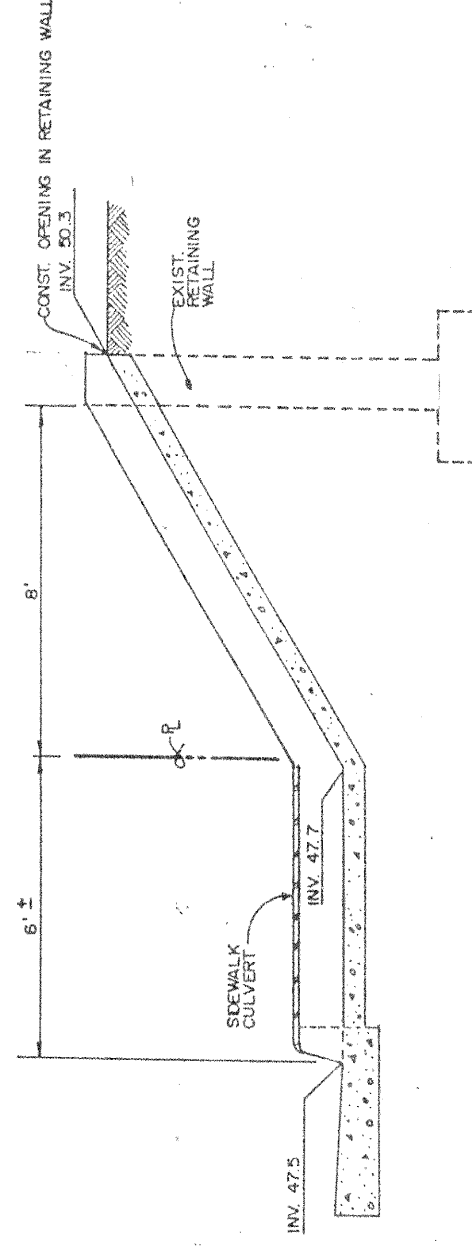
1. Vicinity Map
2. Grading plan
3. Calculations

The proposed improvements as shown by the Vicinity Map are located on the north side of Southern Avenue at Yale Boulevard S.E. At present, the site is undeveloped. Some of the surrounding sites are developed.

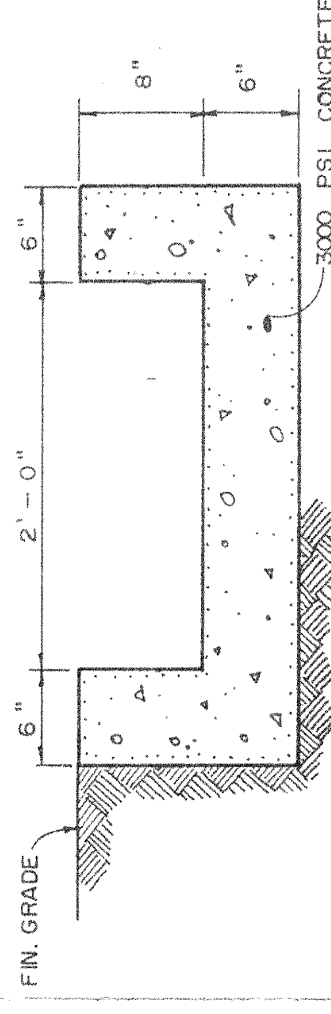
As shown by Plate I-15 of the Albuquerque Master Drainage Study, the site does not lie within a designated Flood Hazard Zone. Further study of the plate reveals that there is a downstream storm sewer with associated inlets. The storm drains system flows south to an existing channel.

The Grading Plan shows 1) existing and proposed grades, indicated by spot elevations and contours at 1' intervals, 2) continuity between existing and proposed elevations, and 3) the limit and character of the existing improvements, and 4) the limit and character of the proposed improvements. As shown by this plan, the proposed improvements consist of the construction of a building, asphalt parking, and landscaping areas. At the present time, this site is an undeveloped area near the west edge. As shown by the proposed grades, the site will continue to slope from east to west, but be regraded so that all flows will run adjacent to the retaining wall to the southeast corner of the site. Flows will be discharged from the southeast corner of the site by a sidewalk culvert into Southern Avenue. This site is an inflill site. As stated before, there is no flooding downstream of this site. Therefore, there will be no flooding and no collect all runoff. There will be a minimum impact for the developer of this site. Therefore, the detention of storm waters is not necessary.

The Calculations which appear below analyze both the existing and developed conditions for the 100-year 6-hour rainfall event. The SC5 Method has been used for this analysis in accordance with the City of Albuquerque Development Processes Manual, Volume II. As shown by these calculations, the proposed improvements will result in an increase in runoff which is consistent with the pre-design conference recap, which accompanies this submittal.

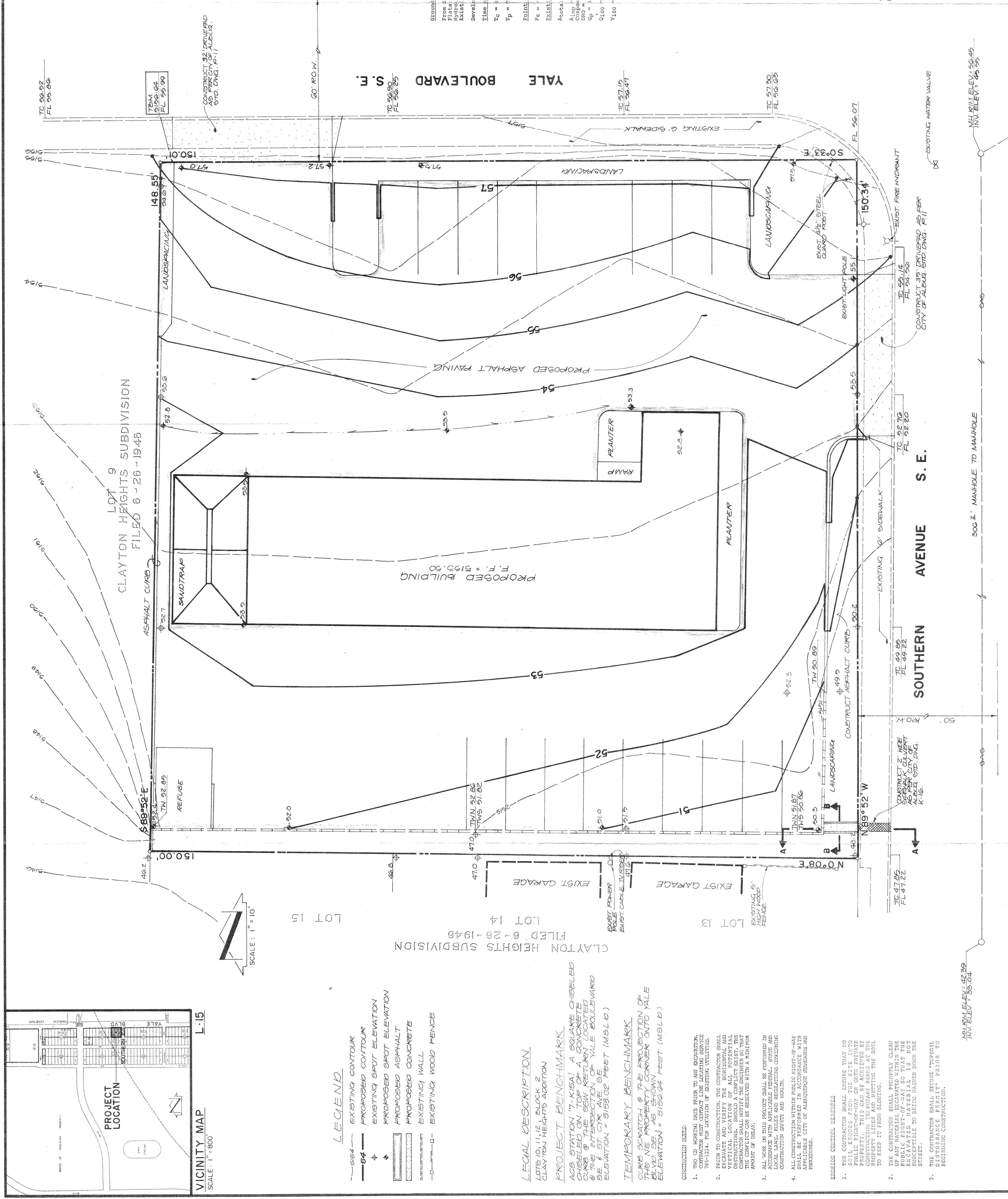
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SECTION A-A



SECTION B-B

SCALE: 1" = 2'



GRADING & DRAINAGE PLAN
YALE BOULEVARD CAR WASH

NO.	DATE	BY	REVISIONS	DESIGNED BY: <u>T.T.M.</u>	JOB NO. 60201
1	3/18/74	T.M.	ADDED CULVERT & RUNDOWN CULDS.	DRAWN BY: <u>S.G.H.</u>	DATE 02-86
2	4/16/80	T.T.M.	EXPANDED BUILDING, REVISED GRADDES	APPROVED: <u>T.T.M.</u>	

CONTEMPORARY
811 DALLAS NE • ALBUQUERQUE • NEW MEXICO • 87110
ENGINEERS