

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

November 2, 2009

James N. Medley, R.A.
Jim Medley, Architect
3100 Christine NE
Albuquerque, NM 87111-4824

Re: Certification Submittal for Permanent Certificate of Occupancy for
Holiday Inn Express
1921 Yale Blvd. SE
Architect's Stamp dated 11-02-09 (L-15/D029)

Dear Mr. Medley,

Based upon the information provided in your submittal received 11-02-09, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

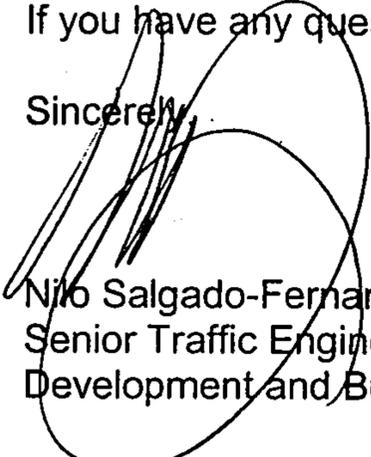
Albuquerque

NM 87103

www.cabq.gov

If you have any questions, please call me at 924-3630.

Sincerely,


Nilo Salgado-Fernandez, P.E.
Senior Traffic Engineer, Planning Dept.
Development and Building Services

C: File
CO clerk

JIM MEDLEY, Architect AIA

jmedley@jim-medley-architect.com

Phone 505.292.3514 -|- Fax 505.294.5593 -|- Cell 505.350.6993

3100 Christine St. NE -|- Albuquerque, NM 87111 - 4824

November 2, 2009

Traffic Department
City of Albuquerque
600 Second St. NW
Albuquerque, NM 87103

Re: Traffic Circulation Layout inspection
Holiday Inn Express and Suites
1921 Yale Blvd. SE
Albuquerque, New Mexico

Gentlemen:

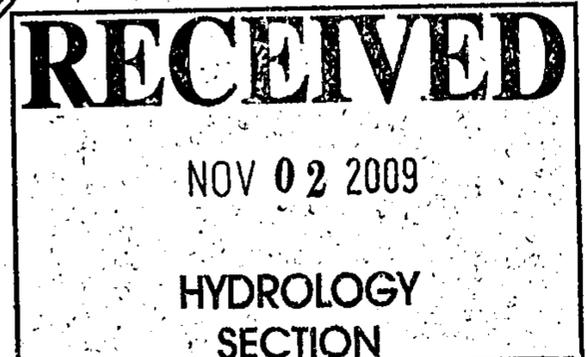
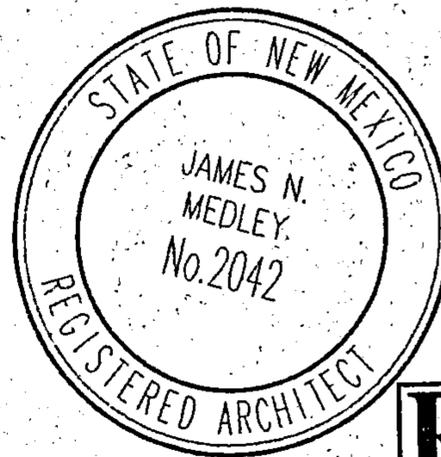
I, Jim Medley AIA of the the firm Jim Medley, Architect AIA, hereby certify that this project in in substantial compliance with and in accordance with the design intent of the TCL approved plan dated 8/20/07. The record information edited onto the original design document has been obtained by Jim Medley of the firm Jim Medley, Architect AIA. I further certify that I have personally visited the project site on 10/29,2009 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Final C.O.

Parking bumpers have been provided on the stalls fronting the south side of building and detectable warning surfaces have been installed on all ramp landings with COA ROW as per your request letter dated 8/18/2009.

Respectively submitted,



Jim Medley, AIA



DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: HOLIDAY INN EXPRESS ZONE MAP: L-15/D029
 DRB#: _____ EPC#: _____ WORK ORDER#: 584683

LEGAL DESCRIPTION: TRACT "A" CLAYTON HEIGHTS SUB ALBUQUERQUE NM
 CITY ADDRESS: 1921 YATE BLVD SE ALBUQUERQUE NM

ENGINEERING FIRM: LARRY REED & ASSOCIATES CONTACT: LARRY REED
 ADDRESS: 2430 MINTOWN PLACE NE SUITE C PHONE: 505-277-8421
 CITY, STATE: ALBUQUERQUE NM ZIP CODE: 87107

OWNER: 110 SUNPOINT, LLC CONTACT: TUSHAR PATEL
 ADDRESS: 601 JUAN TABO SUITE B-11 PHONE: 505-275-8223
 CITY, STATE: ALBUQUERQUE ZIP CODE: 87123

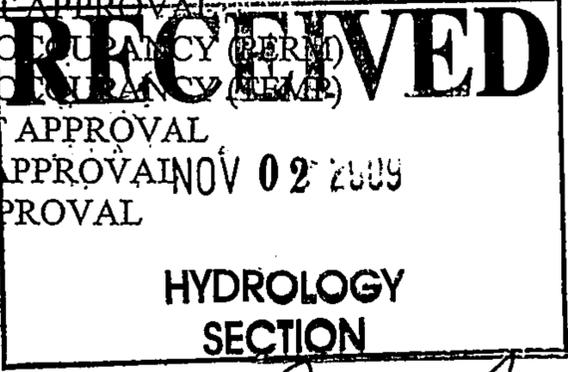
ARCHITECT: JIM MEDLEY ARCHITECT AIA CONTACT: JIM MEDLEY
 ADDRESS: 3100 CHRISTINE ST NE PHONE: 505-292-3514
 CITY, STATE: ALBUQUERQUE NM ZIP CODE: 87111

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: TNS GROUP OF CO. CONTACT: TUSHAR PATEL
 ADDRESS: 601 JUAN TABO SUITE B-11 PHONE: 505-275-8223
 CITY, STATE: ALBUQUERQUE NM ZIP CODE: 87123

- TYPE OF SUBMITTAL:
- DRAINAGE REPORT
 - DRAINAGE PLAN 1ST SUBMITTAL
 - DRAINAGE PLAN RESUBMITTAL
 - CONCEPTUAL G & D PLAN
 - GRADING PLAN
 - EROSION CONTROL PLAN
 - ENGINEER'S CERT (HYDROLOGY)
 - CLOMR/LOMR
 - TRAFFIC CIRCULATION LAYOUT
 - ENGINEER'S CERT (TCL)
 - ENGINEER'S CERT (DRB SITE PLAN)
 - OTHER (SPECIFY)

- CHECK TYPE OF APPROVAL SOUGHT:
- SIA/FINANCIAL GUARANTEE RELEASE
 - PRELIMINARY PLAT APPROVAL
 - S. DEV. PLAN FOR SUB'D APPROVAL
 - S. DEV. FOR BLDG. PERMIT APPROVAL
 - SECTOR PLAN APPROVAL
 - FINAL PLAT APPROVAL
 - FOUNDATION PERMIT APPROVAL
 - BUILDING PERMIT APPROVAL
 - CERTIFICATE OF OCCUPANCY (PERM)
 - CERTIFICATE OF OCCUPANCY (TEMP)
 - GRADING PERMIT APPROVAL
 - PAVING PERMIT APPROVAL
 - WORK ORDER APPROVAL
 - OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED:
 YES
 NO
 COPY PROVIDED

DATE SUBMITTED: NOV. 2 - 2009 BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



October 21, 2009

CERTIFICATE OF COMPLETION AND ACCEPTANCE

Tushar Patel
110 Sunport, Llc
1520 Tramway Blvd NE Suite 200
Albuquerque, NM 87112

RE: Holiday Inn - Yale
Project Number: 584683

Dear Mr. Patel:

This is to certify that the City of Albuquerque accepts the construction of the infrastructure provided in the Work Order Construction Plans, City Project No. 584683. The work was completed pursuant to the required infrastructure listed in the Subdivision Improvements Agreement (SIA) Procedure A, between 110 Sunport, Llc and the City of Albuquerque executed on April 18, 2008.

P.O. Box 1293

Albuquerque

New Mexico 87103

Having satisfied the requirements referenced above, the SIA and any associated Financial Guaranty, held by the City, can now be released. Any performance/warranty bond and the indemnity and hold harmless provisions of the SIA in favor of the City shall remain in effect. The contractor's warranty period will begin October 21, 2009 and is effective for a period of one (1) year.

Should you have any questions or issues regarding this project, please contact me at (505) 924-3996.

www.cabq.gov

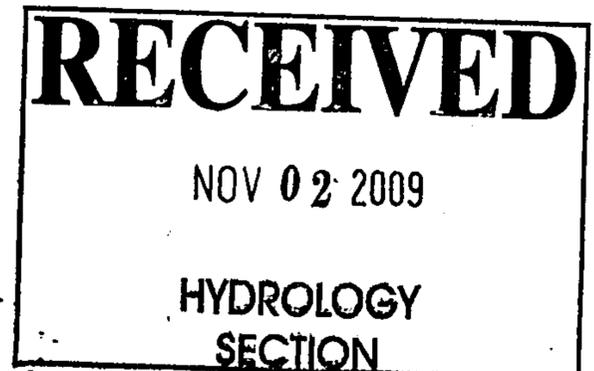
Sincerely,

Richard Dourte, P.E.
City Engineer
Development & Building Services
Planning Department

10/23/09

*an
10-23-09*

- cc: Larry Read & Associates (e-mail)
- TLC Plumbing (e-mail)
- Vincent Paul, DMD Maps & Records (e-mail)
- Barbara A. Romero, DMD Street Maintenance (e-mail)
- Paul Baca, DMD Street Maintenance (e-mail)
- David Rodriguez, ABCWUA Maps & Records (e-mail)
- Martin Sanchez, ABCWUA Maps & Records (e-mail)
- SIA File, City Project Number 584683



CITY OF ALBUQUERQUE



October 29, 2009

Lawerance D. Read, P.E.
Larry Read & Associates, Inc.
2430 Midtown Place, NE Ste. C
Albuquerque, NM 87107

**Re: Holiday Inn Express—Yale, 1920 Yale Blvd. SE,
Approval of Permanent Certificate of Occupancy, (L-15/D029)
Engineer's Stamp Date: 11-27-07
Certification Stamp Date: 7-28-09**

Dear Mr. Read,

PO Box 1293

Based upon your submittal received 11/29/09, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

NM 87103

Sincerely,

Timothy E. Sims
Plan Checker-Hydrology, Planning Dept
Development and Building Services

www.cabq.gov

C: CO Clerk—Katrina Sigala
file

CITY OF ALBUQUERQUE



October 29, 2009

Lawrance D. Read, P.E.
Larry Read & Associates, Inc.
2430 Midtown Place, NE Ste. C
Albuquerque, NM 87107

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Plan Checker-Hydrology, Planning Dept
Development and Building Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

C: CO Clerk—Katrina Sigala
file

CITY OF ALBUQUERQUE



October 21, 2009

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Tushar Patel
110 Sunport, Llc
1520 Tramway Blvd NE Suite 200
Albuquerque, NM 87112

RE: Holiday Inn - Yale
Project Number: 584683

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Having satisfied the requirements referenced above, the SIA and any associated Financial Guaranty, held by the City, can now be released. Any performance/warranty bond and the indemnity and hold harmless provisions of the SIA in favor of the City shall remain in effect. The contractor's warranty period will begin October 21, 2009 and is effective for a period of one (1) year.

Should you have any questions or issues regarding this project, please contact me at (505) 924-3996.

Sincerely,

Richard Dourte, P.E.
City Engineer
Development & Building Services
Planning Department

10/23/09

10-23-09

cc: Larry Read & Associates (e-mail)
TLC Plumbing (e-mail)
Vincent Paul, DMD Maps & Records (e-mail)
Barbara A. Romero, DMD Street Maintenance (e-mail)
Paul Baca, DMD Street Maintenance (e-mail)
David Rodriguez, ABCWUA Maps & Records (e-mail)
Martin Sanchez, ABCWUA Maps & Records (e-mail)
SIA File, City Project Number 584683

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

LARRY READ & ASSOCIATES, Inc.

Civil Engineers
Site • Drainage • Utility • Design

FAX COVER SHEET

DATE: October 29, 2009

TO: Curtis

FAX NUMBER: 924-3864

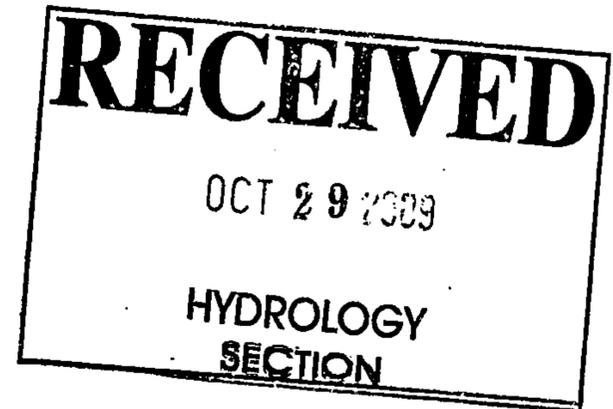
FROM: Larry Read

SUBJECT: Holiday Inn Gale Proj. 5846.83

NUMBER OF PAGES: 3 (INCLUDES THIS COVER PAGE)

REMARKS:

Certificate of Completion & Acceptance



IF YOU DID NOT RECEIVE ALL PAGES OR
THEY WERE NOT LEGIBLE CALL (505) 237-8421

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

L-15/D029

PROJECT TITLE: Holiday Inn - Yale
DRB #: 1004588 EPC#: _____

ZONE MAP/DRG. FILE #: G-12/D29
WORK ORDER#: _____

LEGAL DESCRIPTION: Tract A, Clayton Heights Addition
CITY ADDRESS: 1920 Yale Blvd. SE

ENGINEERING FIRM: LARRY READ & ASSOCIATES, INC
ADDRESS: 2430 Midtown Suite C
CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: LARRY READ
PHONE: 237-8421
ZIP CODE: 87107

OWNER: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

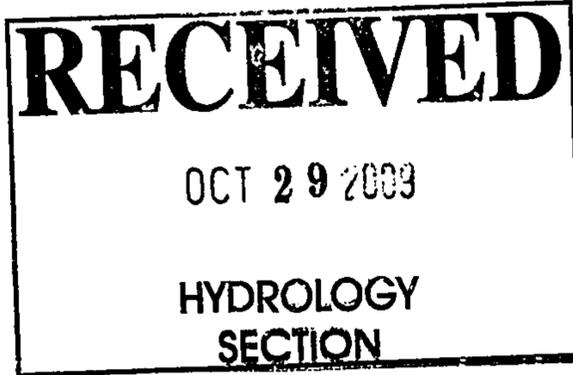
CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____



CHECK TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

- DRAINAGE REPORT
- DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL GRADING & DRAINAGE PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERTIFICATION (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEERS CERTIFICATION (TCL)
- ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- OTHER

- SIA / FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D. APPROVAL
- S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM.)
- CERTIFICATE OF OCCUPANCY (TEMP.)
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- YES
- NO
- COPY PROVIDED

DATE SUBMITTED: July 28/2009

BY: Larry D. Read, PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



July 30, 2009

Lawrance D. Read, P.E.
Larry Read & Associates, Inc.
2430 Midtown Place, NE Ste. C
Albuquerque, NM 87107

**Re: Holiday Inn—Yale, 1920 Yale Blvd. SE,
Approval of 90-Day Certificate of Occupancy (C.O.)
(L-15/D029), Engineer's Stamp Date: 11-27-09
Certification dated 7-28-09**

Dear Mr. Read,

PO Box 1293

Based upon the information provided in your submittal received 7-28-09, the above referenced certification is approved for release of Temporary Certificate of Occupancy by Hydrology.

Albuquerque

Prior to Permanent Certificate of Occupancy, attach a copy of the acceptance letter for the work order that relocated the storm drain and an Engineer's Certification per the DPM is required.

NM 87103

If you have any questions, you can contact me at 924-3982.

Sincerely,

Timothy E. Sims
Plan Checker—Hydrology,
Development and Building Services

www.cabq.gov

C: CO Clerk-Katrina Sigala
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

L-15/0079

PROJECT TITLE: Holiday Inn - Yale

DRB #: 1004588

EPC#: _____

ZONE MAP/DRG. FILE #: G-42/D29

WORK ORDER#: _____

LEGAL DESCRIPTION: Tract A, Clayton Heights Addition

CITY ADDRESS: 1920 Yale Blvd. SE

ENGINEERING FIRM: LARRY READ & ASSOCIATES, INC

ADDRESS: 2430 Midtown Suite C

CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: LARRY READ

PHONE: 237-8421

ZIP CODE: 87107

OWNER: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

ARCHITECT: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

SURVEYOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL GRADING & DRAINAGE PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERTIFICATION (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEERS CERTIFICATION (TCL)
- ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- OTHER

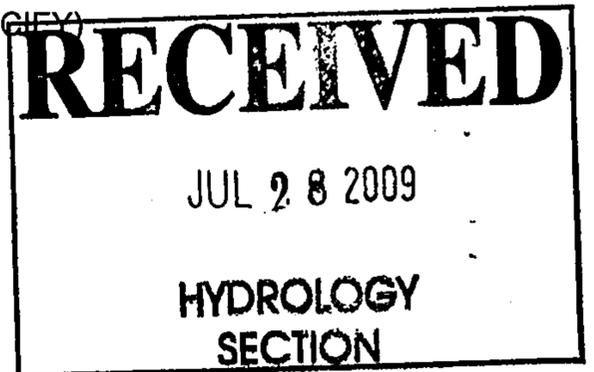
CHECK TYPE OF APPROVAL SOUGHT:

- ASIA / FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D. APPROVAL
- S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM.)
- CERTIFICATE OF OCCUPANCY (TEMP.)
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- YES
- NO
- COPY PROVIDED

*temp
Need
W.D. completion
letter*



DATE SUBMITTED: July 28/2009

BY: Larry D. Read, PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

August 18, 2009

James N. Medley, R.A.
Jim Medley, Architect
3100 Christine NE
Albuquerque, NM 87111-4824

Re: Certification Submittal for Temporary Certificate of Occupancy for
Holiday Inn Express, 1921 Yale Blvd. SE
Architect's Stamp dated 08-17-09 (L-15/D029)

Dear Mr. Medley,

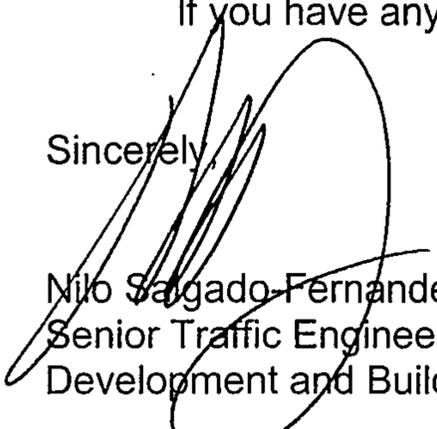
Based on the information provided on your submittal dated August 18, 2009, the above referenced project is approved for a 90-day Temporary C.O.

A Temporary C.O. has been issued allowing the outstanding **parking bumpers (provide on the stalls fronting the south side of building) and detectable warning surfaces (are required on all ramp landings with COA ROW)** issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

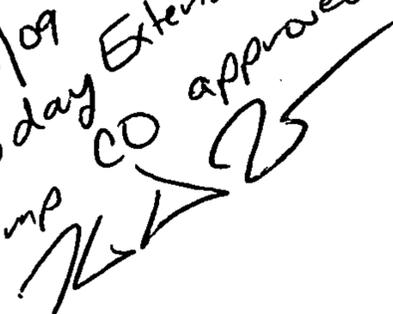
The Certification package for Final C.O. must include an **exact** copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead- stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,


Nilo Sagado-Fernandez, P.E.
Senior Traffic Engineer, Planning Dept.
Development and Building Services

C: File
CO

10/21/09
30 day Extension of
Temp CO approved


PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Andrew
Sanchez
304-1309

Danny.
Tenorio

Andrew
Sanchez
304 1309

JIM MEDLEY, Architect

jmedley@jim-medley-architect.com -|- http://www.jim-medley-architect.com
3100 Christine NE -|- Albuquerque, NM 87111-4824 -|- Phone (505) 292-3514 -|- Fax (505) 294-5593

August 18, 2009

Traffic Department
City of Albuquerque
600 Second St. NW
Albuquerque, NM 87103

Re: Traffic Circulation Layout Certification
Holiday Inn and Suites
Jim 1921 ~~1931~~ Yale Blvd SE
Albuquerque, New Mexico

Gentlemen/Madams:

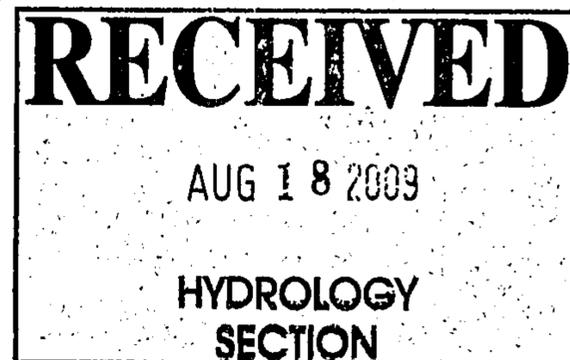
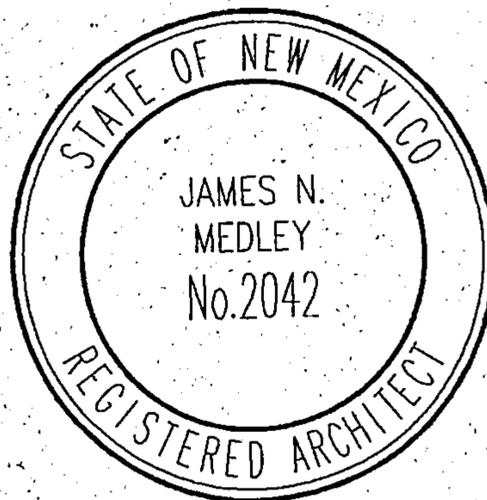
I, James N. Medley, NMRA, of Jim Medley, Architect AIA hereby certify that this project is in substantial compliance with and in accordance with the design intent of the TLC approved plan dated 8/20/07 by planning department. The record information edited onto the original design document has been obtained by Jim Medley, AIA of Jim Medley, Architect AIA, and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a final certification of occupancy.

Following are minor changes to site required by other City of Albuquerque Departments,

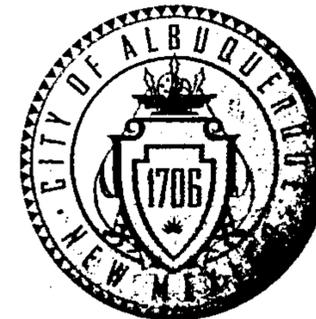
- Additional Garbage dumpster added on southwest corner of site in landscape area.
- 4 parking space shown in approximate center of southern parking converted to landscape area to compensate for area lost to dumpster and make lot elevation changes easier.
- Retainer walls added to southern property line and along front of southern sidewalk in front of parking lot.
- Common parking spaces (20) paved shown on south of Phase I so there will be enough parking for hotel project.

Yours truly,

Jim Medley
Jim Medley, Architect AIA



CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

August 18, 2009

James N. Medley, R.A.
Jim Medley, Architect
3100 Christine NE
Albuquerque, NM 87111-4824

Re: Certification Submittal for Permanent Certificate of Occupancy for
Holiday Inn Express, 1921 Yale Blvd. SE
Architect's Stamp dated 08-17-09 (L-15/D029)

Dear Mr. Medley,

The Letter of Certification submitted on 08-17-09 is **not sufficient** for acceptance by this office for final Certificate of Occupancy (C.O.). The following items need to be addressed:

PO Box 1293

Albuquerque

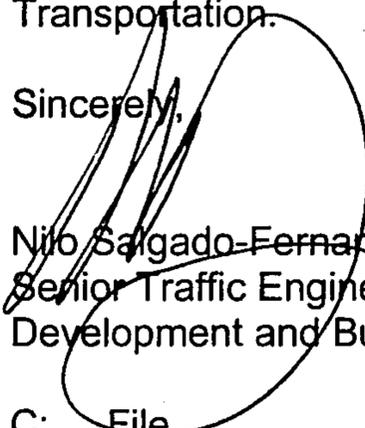
NM 87103

- Letter of Certification has the wrong project name (should be Holiday Inn Express instead of Staybridge Suites) and the wrong address (should be 1921 Yale Blvd. instead of 1350 Sunport) on letter.
- Since fence/wall was added to southern parking are you'll need to provide parking bumpers on stalls fronting the south side of the building (including stall adjacent to ADA parking).
- Detectable Warning Surfaces are required on all wheelchair ramp landings within City of Albuquerque property.

www.cabq.gov

Once the above comments are addressed, please resubmit acceptable package (provide redlines to any changes on site plan) along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

Sincerely,


Nilo Salgado-Fernandez, P.E.
Senior Traffic Engineer, Planning Dept.
Development and Building Services

C: File

JIM MEDLEY, Architect

jmedley@jim-medley-architect.com -|- http://www.jim-medley-architect.com
3100 Christine NE -|- Albuquerque, NM 87111-4824 -|- Phone (505) 292-3514 -|- Fax (505) 294-5593

August 17, 2009

Traffic Department
City of Albuquerque
600 Second St. NW
Albuquerque, NM 87103

Re: Traffic Circulation Layout Certification
Staybridge Suites
1350 Sunport NE
Albuquerque, New Mexico

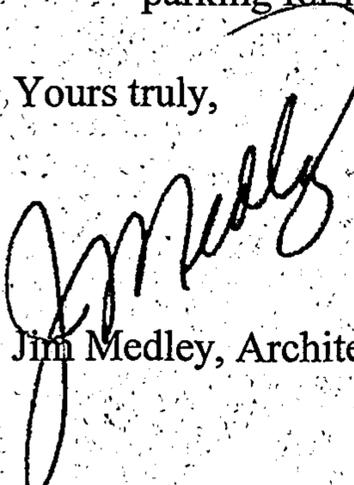
Gentlemen/Madams:

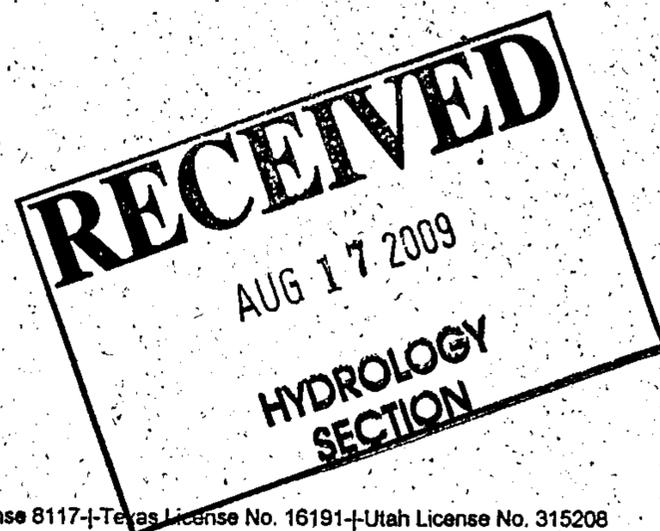
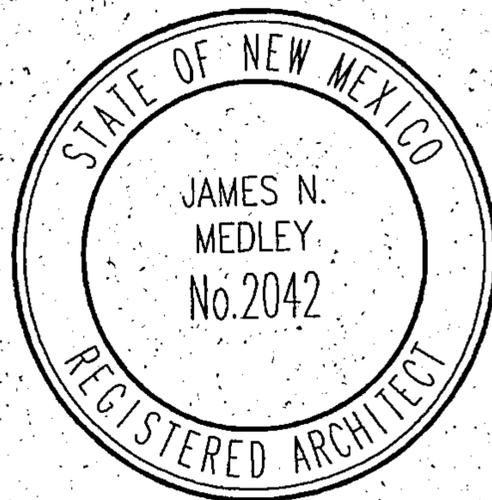
I, James N. Medley, NMRA, of Jim Medley, Architect AIA hereby certify that this project is in substantial compliance with and in accordance with the design intent of the TLC approved plan dated 8/20/07 by planning department. The record information edited onto the original design document has been obtained by Jim Medley, AIA of Jim Medley, Architect AIA, and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a final certification of occupancy.

Following are minor changes to site required by other City of Albuquerque Departments,

- Additional Garbage dumpster added on southwest corner of site in landscape area.
- 4 parking space shown in approximate center of southern parking converted to landscape area to compensate for area lost to dumpster and make lot elevation changes easier.
- Retainer walls added to southern property line and along front of southern sidewalk in front of parking lot.
- Common parking spaces (20) paved shown on south of Phase I so there will be enough parking for hotel project.

Yours truly,


Jim Medley, Architect AIA



CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

August 18, 2009

James N. Medley, R.A.
Jim Medley, Architect
3100 Christine NE
Albuquerque, NM 87111-4824

Re: Certification Submittal for Permanent Certificate of Occupancy for
Holiday Inn Express, 1921 Yale Blvd. SE
Architect's Stamp dated 08-17-09 (L-15/D029)

Dear Mr. Medley,

The Letter of Certification submitted on 08-17-09 is **not sufficient** for acceptance by this office for final Certificate of Occupancy (C.O.). The following items need to be addressed:

PO Box 1293

Albuquerque

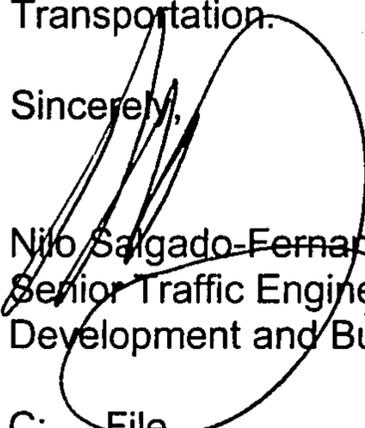
NM 87103

- Letter of Certification has the wrong project name (should be Holiday Inn Express instead of Staybridge Suites) and the wrong address (should be 1921 Yale Blvd. instead of 1350 Sunport) on letter.
- Since fence/wall was added to southern parking area you'll need to provide parking bumpers on stalls fronting the south side of the building (including stall adjacent to ADA parking).
- Detectable Warning Surfaces are required on all wheelchair ramp landings within City of Albuquerque property.

www.cabq.gov

Once the above comments are addressed, please resubmit acceptable package (provide redlines to any changes on site plan) along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

Sincerely,


Nilo Salgado-Fernandez, P.E.
Senior Traffic Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: Holiday Inn Express ZONE MAP: L-15 D29
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____
 CITY ADDRESS: 1921 YALE BLVD SE

ENGINEERING FIRM: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

OWNER: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: JIM MEDLEY CONTACT: JIM
 ADDRESS: 3100 CHRISTINE NE PHONE: 292-3514
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87111

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

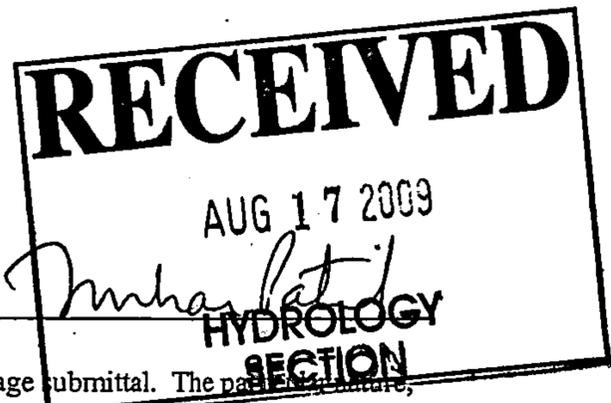
CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

- TYPE OF SUBMITTAL:
- _____ DRAINAGE REPORT
 - _____ DRAINAGE PLAN 1st SUBMITTAL
 - _____ DRAINAGE PLAN RESUBMITTAL
 - _____ CONCEPTUAL G & D PLAN
 - _____ GRADING PLAN
 - _____ EROSION CONTROL PLAN
 - _____ ENGINEER'S CERT (HYDROLOGY)
 - _____ CLOMR/LOMR
 - TRAFFIC CIRCULATION LAYOUT
 - _____ ENGINEER'S CERT (TCL)
 - _____ ENGINEER'S CERT (DRB SITE PLAN)
 - _____ OTHER (SPECIFY)

- CHECK TYPE OF APPROVAL SOUGHT:
- _____ SIA/FINANCIAL GUARANTEE RELEASE
 - _____ PRELIMINARY PLAT APPROVAL
 - _____ S. DEV. PLAN FOR SUB'D APPROVAL
 - _____ S. DEV. FOR BLDG. PERMIT APPROVAL
 - _____ SECTOR PLAN APPROVAL
 - _____ FINAL PLAT APPROVAL
 - _____ FOUNDATION PERMIT APPROVAL
 - _____ BUILDING PERMIT APPROVAL
 - CERTIFICATE OF OCCUPANCY (PERM)
 - CERTIFICATE OF OCCUPANCY (TEMP)
 - _____ GRADING PERMIT APPROVAL
 - _____ PAVING PERMIT APPROVAL
 - _____ WORK ORDER APPROVAL
 - _____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:
 _____ YES
 _____ NO
 _____ COPY PROVIDED

DATE SUBMITTED: 8/17/09 BY: [Signature]



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The plan, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

Salgado-Fernandez, Nilo E.

From: Hoover, Jeremy
Sent: Thursday, August 20, 2009 10:58 AM
To: Salgado-Fernandez, Nilo E.; Lopez, Anthony C.
Cc: Ortega, Reuben J.
Subject: RE: Holiday Inn meter pad pics

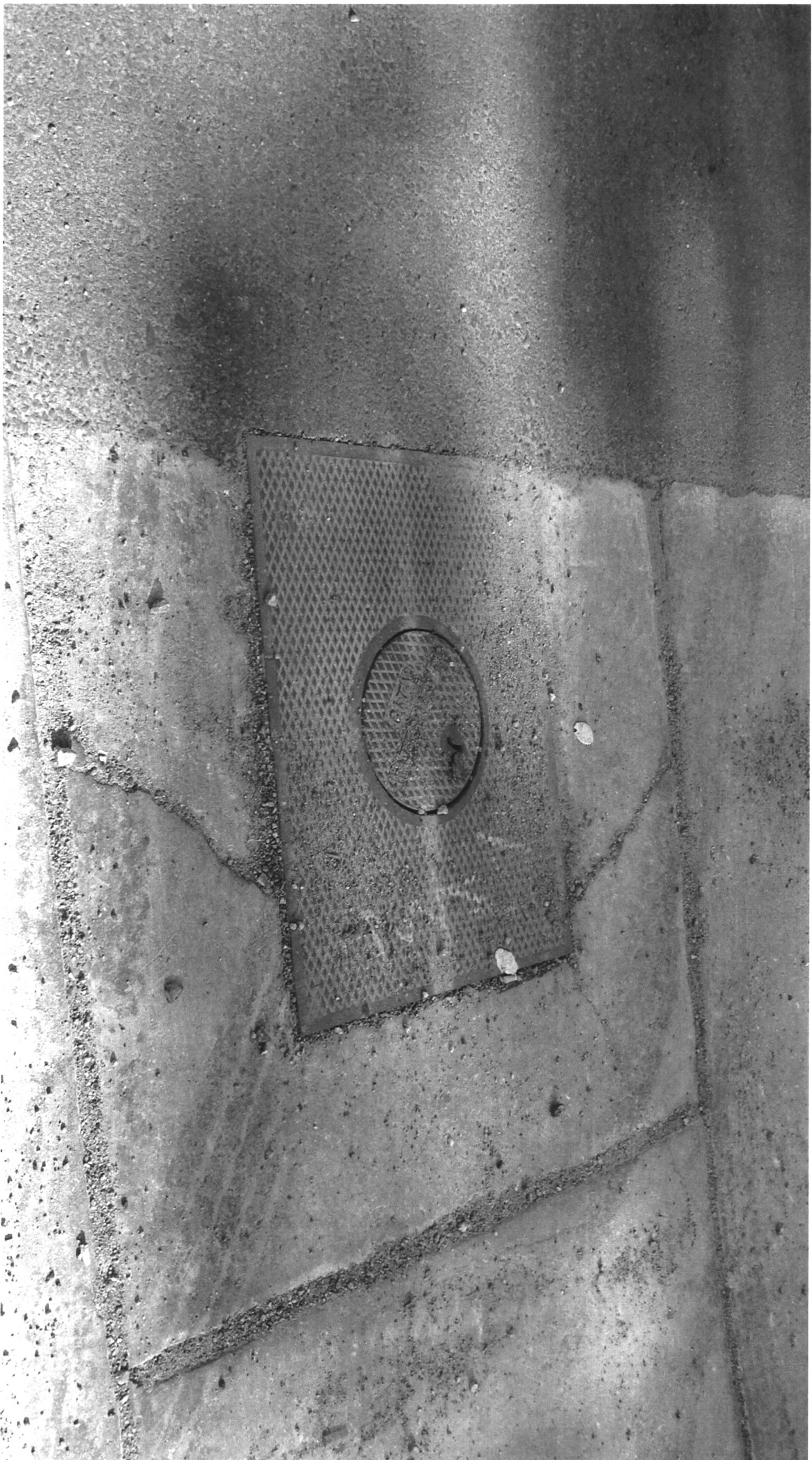
Looks like it is an existing condition that the contractor may have just sawcut around the concrete. Appears to be an abandoned valve in a meter box. If you want to have the contractor fix it, fine but I am not going to force the issue. From what I can tell based on line configuration and adjacent projects, it would have no purpose anyway. As far as I am concerned, if the contractor is forced to fix the cracks, they can fill the box with concrete, toss the box cover & lid and be done with it.

Jeremy Hoover, P.E.
Senior Engineer
Utility Development Section
Water Utility Authority

From: Ortega, Reuben J.
Sent: Thursday, August 20, 2009 9:00 AM
To: Hoover, Jeremy; Salgado-Fernandez, Nilo E.
Subject: Holiday Inn meter pad pics

<< File: Picture 001.jpg >> << File: Picture 002.jpg >> << File: Picture 003.jpg >> << File: Picture 004.jpg >>
>>

Reuben Ortega
Construction Inspection Supervisor
Albuquerque Bernallilo County Water Utility Authority
Cell 917-2904
Fax 924-3864
EMAIL rjortega@abcwua.org



CITY OF ALBUQUERQUE



November 8, 2007

Lawrence D. Read, P.E.
Larry Reed & Associates, Inc
2430-C Midtown Place NE
Albuquerque, NM 87107

Re: Holiday Inn Express Yale Blvd., Engineer's Stamp dated 10-27-07 (L15-D29)

Dear Mr. Read,

Based on the information contained in your submittal received on October 29, 2007, there are some additional items that must be addressed prior to approval for Building Permit. Those issues are as follows.

- Relocation of the existing storm drain must be performed under a separate work order approved through the DRC process. That work must first be financially guaranteed with an executed SIA before initiation of site work or approval for Building Permit.

P.O. Box 1293

Be advised that, although not taken into consideration as part of the hydrology review and approval process, this site is located within an area currently under moratorium until June of 2008. If you have any questions or need additional information, feel free to contact me at 924-3990.

Albuquerque

Sincerely,

New Mexico 87103

A handwritten signature in black ink, appearing to read "Jeremy Hoover", written over the typed name and title.

Jeremy Hoover, P.E., C.F.M.
Senior Engineer
Hydrology Section
Development and Building Services

www.cabq.gov

cc: file (L15-D29)

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Holiday Inn - Yale *PH 1 & II*
DRB #: 1004588 EPC#: _____

L-15/0029
ZONE MAP/DRG. FILE #: G-12/D29
WORK ORDER#: _____

LEGAL DESCRIPTION: Tract A, Clayton Heights Addition
CITY ADDRESS: 1920 Yale Blvd. SE

ENGINEERING FIRM: LARRY READ & ASSOCIATES, INC
ADDRESS: 2430 Midtown Suite C
CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: LARRY READ
PHONE: 237-8421
ZIP CODE: 87107

OWNER: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL GRADING & DRAINAGE PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERTIFICATION (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEERS CERTIFICATION (TCL)
- ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- OTHER

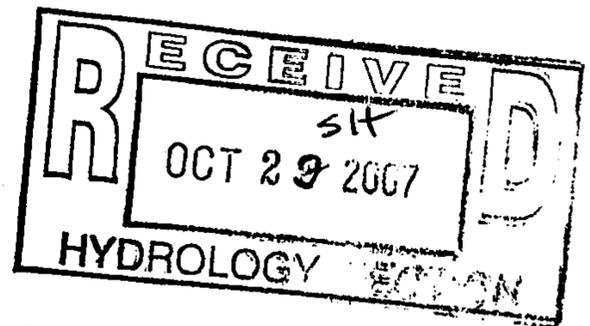
CHECK TYPE OF APPROVAL SOUGHT:

- SIA / FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D. APPROVAL
- S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM.)
- CERTIFICATE OF OCCUPANCY (TEMP.)
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- YES
- NO
- COPY PROVIDED

50-19?



DATE SUBMITTED: October 27, 2007

BY: Larry D. Read, PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



August 20, 2007

James Medley, R.A.
3100 Christine St. NE
Albuquerque, NM 87111

Re: Holiday Inn and Conference Center Phase II, 1931 Yale Boulevard SE,
Traffic Circulation Layout
Architect's Stamp dated 8-08-07 (L15-D29A)

Dear Mr. Medley,

The TCL submittal received 8-14-07 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

P.O. Box 1293

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Albuquerque

New Mexico 87103

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: HOLIDAY INN EXPRESS ^{PHASE II} ZONE MAP/DRG. FILE # L-15-2/DO29
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT A CLAYTON HEIGHTS
CITY ADDRESS: YALE SE

ENGINEERING FIRM: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

OWNER: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: JIM MEDLEY
ADDRESS: 3100 CHRISTINE NE
CITY, STATE: ALBUQ. NM

CONTACT: JIM MEDLEY
PHONE: 292-3514
ZIP CODE: 87111

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

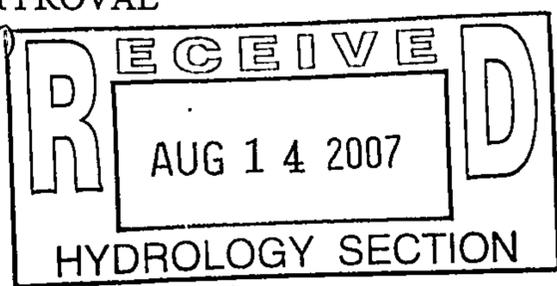
CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

- TYPE OF SUBMITTAL:
- DRAINAGE REPORT
 - DRAINAGE PLAN 1ST SUBMITTAL
 - DRAINAGE PLAN RESUBMITTAL
 - CONCEPTUAL G & D PLAN
 - GRADING PLAN
 - EROSION CONTROL PLAN
 - ENGINEER'S CERT (HYDROLOGY)
 - CLOMR/LOMR
 - TRAFFIC CIRCULATION LAYOUT
 - ENGINEER/ARCHITECT CERT (TCL)
 - ENGINEER/ARCHITECT CERT (DRB S.P.)
 - ENGINEER/ARCHITECT CERT (AA)
 - OTHER (SPECIFY)

- CHECK TYPE OF APPROVAL SOUGHT:
- SIA/FINANCIAL GUARANTEE RELEASE
 - PRELIMINARY PLAT APPROVAL
 - S. DEV. PLAN FOR SUB'D APPROVAL
 - S. DEV. FOR BLDG. PERMIT APPROVAL
 - SECTOR PLAN APPROVAL
 - FINAL PLAT APPROVAL
 - FOUNDATION PERMIT APPROVAL
 - BUILDING PERMIT APPROVAL
 - CERTIFICATE OF OCCUPANCY (PERM)
 - CERTIFICATE OF OCCUPANCY (TEMP)
 - GRADING PERMIT APPROVAL
 - PAVING PERMIT APPROVAL
 - WORK ORDER APPROVAL
 - OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:
 YES
 NO
 COPY PROVIDED



SUBMITTED BY: J. Medley DATE: 8-14-07

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



August 28, 2007

James Medley, R.A.
3100 Christine St. NE
Albuquerque, NM 87111

Re: Holiday Inn and Conference Center Phase I, 1931 Yale Boulevard SE,
Traffic Circulation Layout
Architect's Stamp dated 8-23-07 (L15-D29)

Dear Mr. Medley,

The TCL submittal received 8-24-07 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

P.O. Box 1293

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Albuquerque

New Mexico 87103

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

A handwritten signature in black ink, appearing to read "K. Metro".

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: HOLIDAY (NW PH 1) ZONE MAP/DRG. FILE # L-15/1029
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____
CITY ADDRESS: _____

ENGINEERING FIRM: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

OWNER: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: Jim MEDLEY
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

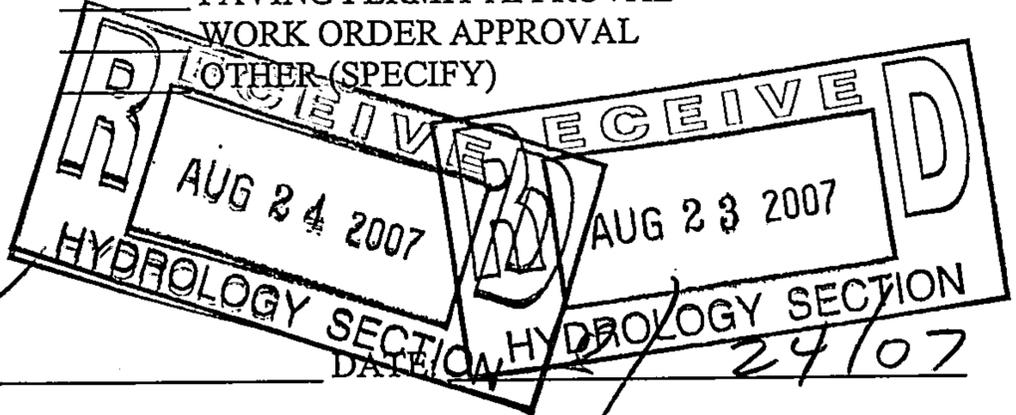
- DRAINAGE REPORT
- DRAINAGE PLAN 1st SUBMITTAL
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERT (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT
- ENGINEER/ARCHITECT CERT (TCL)
- ENGINEER/ARCHITECT CERT (DRB S.P.)
- ENGINEER/ARCHITECT CERT (AA)
- OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- SIA/FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM)
- CERTIFICATE OF OCCUPANCY (TEMP)
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:
 YES
 NO
 COPY PROVIDED

SUBMITTED BY: JMey



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



October 5, 2007

Lawrence D. Read, P.E.
Larry Reed & Associates, Inc
2430-C Midtown Place NE
Albuquerque, NM 87107

Re: Holiday Inn Express Yale Blvd., Engineer's Stamp dated 9-25-07 (L15-D29)

Dear Mr. Read,

Based on the information contained in your submittal received on September 28, 2007, there are some additional items that must be addressed prior to approval for Building Permit. Those issues are as follows.

- Please show all storm drain easements with recording information.
- Relocation of the existing storm drain must be performed under a separate work order approved through the DRC process. That work must first be financially guaranteed with an executed SIA before initiation of site work.
- Because there will be a public work order to relocate existing infrastructure, the sidewalk culverts must be installed as part of that process. A separate SO-19 permit would therefore not be appropriate.
- You show a new 8-inch PVC storm drain but it is unclear as to its purpose. Is this intended to collect roof flows? If so, where will the connection point(s) be located? Please clarify on the plan and address this in the drainage narrative.
- Indicate both the top and bottom of wall elevations for the proposed retaining walls. Also provide a cross section of the various walls to show the intended flow pattern(s).

P.O. Box 1293

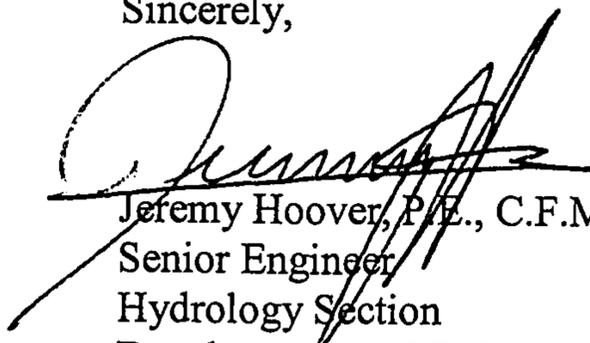
Albuquerque

New Mexico 87103

www.cabq.gov

Be advised that, although not taken into consideration as part of the hydrology review and approval process, this site is located within an area currently under moratorium until June of 2008. If you have any questions or need additional information, feel free to contact me at 924-3990.

Sincerely,


Jeremy Hoover, P.E., C.F.M.
Senior Engineer
Hydrology Section
Development and Building Services

cc: file (L15-D29)

CITY OF ALBUQUERQUE



August 20, 2007

James Medley, R.A.
3100 Christine St. NE
Albuquerque, NM 87111

**Re: Holiday Inn and Conference Center Phase I, 1931 Yale Boulevard SE,
Traffic Circulation Layout**

Architect's Stamp dated 8-08-07 (L15-D29)

Dear Mr. Medley,

Based upon the information provided in your submittal received 8-14-07, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Your notes define the hatched area as both phases one and two. Please clarify this.
2. One concrete parking bumper may not be shared between two parking spaces.
3. Call out the length of the parking spaces and the width of the sidewalk along the southern boundary of Phase I.
4. Assuming the hatched area shown is not a part of this plan, you have removed the entrances from Phase I. You must include the northernmost entrances and the drive aisle in Phase I of this plan.

P.O. Box 1293

Albuquerque

New Mexico 87103

If you have any questions, you can contact me at 924-3981.

www.cabq.gov

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: HOLIDAY LN CONFCTR PHASE I ZONE MAP/DRG. FILE # L-15-71029
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT I CLAYTON HEIGHTS
CITY ADDRESS: YALE SE

ENGINEERING FIRM: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

OWNER: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: JIM MEOLEY
ADDRESS: 3100 CHRISTINE NE
CITY, STATE: ALBUQ NM

CONTACT: JIM MEOLEY
PHONE: 292-3514
ZIP CODE: 87111

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

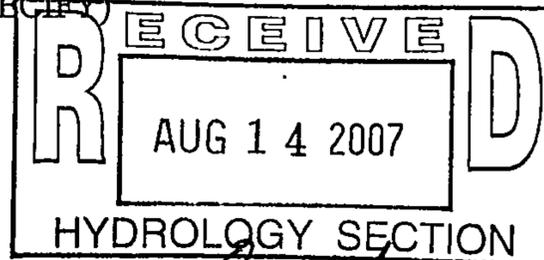
CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

- TYPE OF SUBMITTAL:
- DRAINAGE REPORT
 - DRAINAGE PLAN 1st SUBMITTAL
 - DRAINAGE PLAN RESUBMITTAL
 - CONCEPTUAL G & D PLAN
 - GRADING PLAN
 - EROSION CONTROL PLAN
 - ENGINEER'S CERT (HYDROLOGY)
 - CLOMR/LOMR
 - TRAFFIC CIRCULATION LAYOUT
 - ENGINEER/ARCHITECT CERT (TCL)
 - ENGINEER/ARCHITECT CERT (DRB S.P.)
 - ENGINEER/ARCHITECT CERT (AA)
 - OTHER (SPECIFY)

- CHECK TYPE OF APPROVAL SOUGHT:
- SIA/FINANCIAL GUARANTEE RELEASE
 - PRELIMINARY PLAT APPROVAL
 - S. DEV. PLAN FOR SUB'D APPROVAL
 - S. DEV. FOR BLDG. PERMIT APPROVAL
 - SECTOR PLAN APPROVAL
 - FINAL PLAT APPROVAL
 - FOUNDATION PERMIT APPROVAL
 - BUILDING PERMIT APPROVAL
 - CERTIFICATE OF OCCUPANCY (PERM)
 - CERTIFICATE OF OCCUPANCY (TEMP)
 - GRADING PERMIT APPROVAL
 - PAVING PERMIT APPROVAL
 - WORK ORDER APPROVAL
 - OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:
 YES
 NO
 COPY PROVIDED



SUBMITTED BY: [Signature] DATE: 8-14-07

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



July 18, 2007

Lawrence Read, P.E.
Larry Read & Associates Inc.
2430 Midtown Place NE, Suite C
Albuquerque, New Mexico 87111

**Re: Holiday Inn Express Phases I and II, 1920 Yale Blvd SE,
Grading and Drainage Plan
Engineer's Stamp dated 5-04-07 (L15-D029)**

Dear Mr. Read,

Based upon the information provided in your submittal received 6-25-07, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

1. The drivepad notes along Yale Boulevard are cut off. Please rectify this.
2. Two different areas are called out as Basin C.
3. Provide a detail for the tie in from the trench drain to the proposed 8" storm drain.
4. Label Wilmore Drive.
5. The proposed sidewalk along Wilmore Drive is to be 6 feet in width.
6. Provide a removal note for the existing storm drain.
7. Where are the proposed area inlets that gather the flow from the southwest corner of the hotel?
8. Clarify which portion of the proposed storm drain is public versus private.
9. Provide flow calculations for the storm drain.
10. What are the interim conditions between Phases I and II of this project?

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

CITY OF ALBUQUERQUE



May 21, 2007

James Medley, R.A.
3100 Christine St. NE
Albuquerque, NM 87111

Re: Holiday Inn and Conference Center Phase I, 1931 Yale Boulevard SE,
Traffic Circulation Layout
Architect's Stamp dated 5-21-07 (L15-D29)

Dear Mr. Medley,

The TCL submittal received 5-21-07 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

CITY OF ALBUQUERQUE



May 21, 2007

James Medley, R.A.
3100 Christine St. NE
Albuquerque, NM 87111

Re: Holiday Inn and Conference Center Phase II, 1931 Yale Boulevard SE,
Traffic Circulation Layout
Architect's Stamp dated 5-21-07 (L15-D29A)

Dear Mr. Medley,

The TCL submittal received 5-21-07 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

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Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

A handwritten signature in black ink, appearing to read "K. D. Metro".

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

CITY OF ALBUQUERQUE



May 18, 2007

James Medley, R.A.
3100 Christine St. NE
Albuquerque, NM 87111

**Re: Holiday Inn and Conference Center Phase 1, 1931 Yale Boulevard SE,
Traffic Circulation Layout
Architect's Stamp dated 5-10-07 (L15-D29)**

Dear Mr. Medley,

Based upon the information provided in your submittal received 5-10-07, the above referenced plan cannot be approved for Building Permit until the following comment is addressed:

- The pedestrian path from the public sidewalk to the building must be ADA compliant. Therefore, wheelchair ramps will be required.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



May 18, 2007

James Medley, R.A.
3100 Christine St. NE
Albuquerque, NM 87111

**Re: Holiday Inn and Conference Center Phase II, 1931 Yale Boulevard SE,
Traffic Circulation Layout
Architect's Stamp dated 5-10-07 (L15-D29)A**

Dear Mr. Medley,

Based upon the information provided in your submittal received 5-10-07, the above referenced plan cannot be approved for Building Permit until the following comment is addressed:

- The pedestrian path from the public sidewalk to the building must be ADA compliant. Therefore, wheelchair ramps will be required.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



May 7, 2007

James Medley, R.A.
3100 Christine St. NE
Albuquerque, NM 87111

**Re: Holiday Inn and Conference Center Phase 1, 1931 Yale Boulevard SE,
Traffic Circulation Layout**
Architect's Stamp dated 5-01-07 (L15-D29)

Dear Mr. Medley,

Based upon the information provided in your submittal received 5-01-07, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

- ✓1. Please shade back all build notes and structures that are to be built with Phase II. Will all drivepads be built with this phase?
- ✓2. Concrete parking bumpers cannot be shared between two parking spaces.
3. Provide additional details for wheelchair ramps located within the public right of way (ROW). Please note that all ramps located within the public ROW must have truncated domes.
- ✓4. Please show the location of the nearest drivepads on the adjacent lots.
- ✓5. Since Yale Blvd. is an arterial roadway at this location, drivepads with both right and left turn access have a minimum driveway width of 36 feet (see the *Development Process Manual*, Chapter 23, Section 6, Part B.8).

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

PHASE I

(Rev. 12/05)

L15/0029

PROJECT TITLE: HOLIDAY INN HOTEL & CONF. CENT. ZONE MAP/DRG. FILE # ~~ETS OF EP6~~
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT A CLAYTON HEIGHTS SUBD.
CITY ADDRESS: 1931 YALE SE.

ENGINEERING FIRM: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: JIM MEDLEY ARCHITECT AA CONTACT: JIM MEDLEY
ADDRESS: 3100 CHRISTINE NE PHONE: 292-3514
CITY, STATE: ALBUQ. NM ZIP CODE: 87111

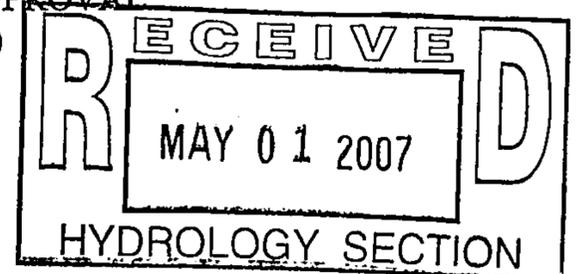
SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

- TYPE OF SUBMITTAL:
- DRAINAGE REPORT
 - DRAINAGE PLAN 1st SUBMITTAL
 - DRAINAGE PLAN RESUBMITTAL
 - CONCEPTUAL G & D PLAN
 - GRADING PLAN
 - EROSION CONTROL PLAN
 - ENGINEER'S CERT (HYDROLOGY)
 - GLOMR/LOMR
 - TRAFFIC CIRCULATION LAYOUT
 - ENGINEER/ARCHITECT CERT (TCL)
 - ENGINEER/ARCHITECT CERT (DRB S.P.)
 - ENGINEER/ARCHITECT CERT (AA)
 - OTHER (SPECIFY)

- CHECK TYPE OF APPROVAL SOUGHT:
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 - PRELIMINARY PLAT APPROVAL
 - S. DEV. PLAN FOR SUB'D APPROVAL
 - S. DEV. FOR BLDG. PERMIT APPROVAL
 - SECTOR PLAN APPROVAL
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 - FOUNDATION PERMIT APPROVAL
 - BUILDING PERMIT APPROVAL
 - CERTIFICATE OF OCCUPANCY (PERM)
 - CERTIFICATE OF OCCUPANCY (TEMP)
 - GRADING PERMIT APPROVAL
 - PAVING PERMIT APPROVAL
 - WORK ORDER APPROVAL
 - OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:
 YES
 NO
 COPY PROVIDED



SUBMITTED BY: [Signature] DATE: 5-1-07

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

Should have all build notes and structures

that are not to build with this phase

- will all drive be built w/ this phase?

Concrete parking bumpers cannot be shared

between 2 parking spaces

Provide additional details for wheelchair

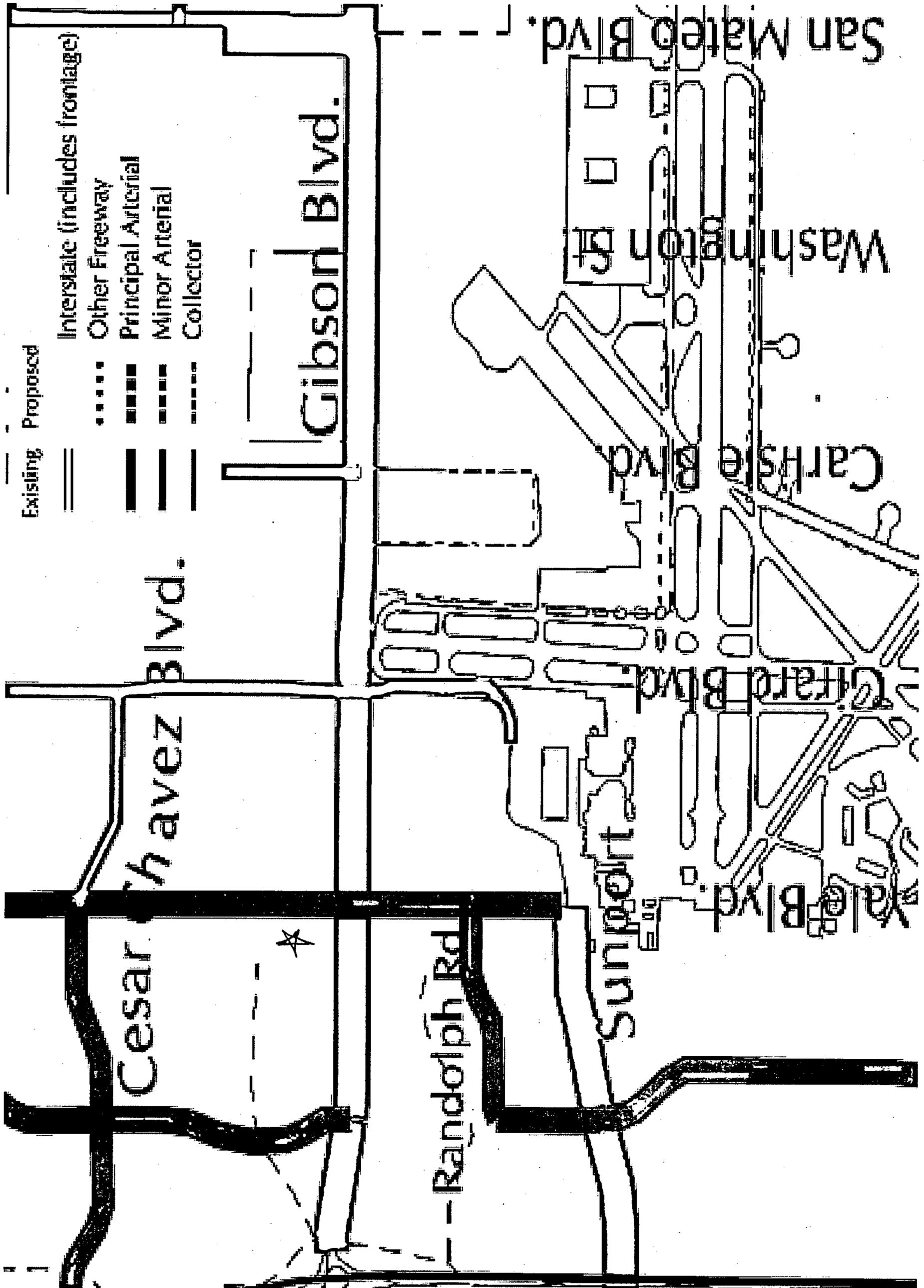
ramps located within the public

ROD

- all ramps located within the ROD

must have truncated domes

Yale is a minor concern in this area
minimum width of drive is 36'



1931 Yale Blvd SE.

CITY OF ALBUQUERQUE



May 7, 2007

James Medley, R.A.
3100 Christine St. NE
Albuquerque, NM 87111

**Re: Holiday Inn and Conference Center Phase II, 1931 Yale Boulevard SE,
Traffic Circulation Layout**

Architect's Stamp dated 5-01-07 (L15-D29)A

Dear Mr. Medley,

Based upon the information provided in your submittal received 5-01-07, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

1. Please shade back all build notes and structures that are to be built with Phase I. Will all driveways be built with this phase?
2. Provide additional details for wheelchair ramps located within the public right of way (ROW). Please note that all ramps located within the public ROW must have truncated domes.
3. Per the *Development Process Manual*, Chapter 27, Section 1, "Standard sheets must be 24" by 36" having a margin of 2" along the left and 1" on the top and bottom."
4. Please show the location of the nearest driveways on the adjacent lots.
5. Since Yale Blvd. is an arterial roadway at this location, driveways with both right and left turn access have a minimum driveway width of 36 feet (see the *Development Process Manual*, Chapter 23, Section 6, Part B.8).

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File