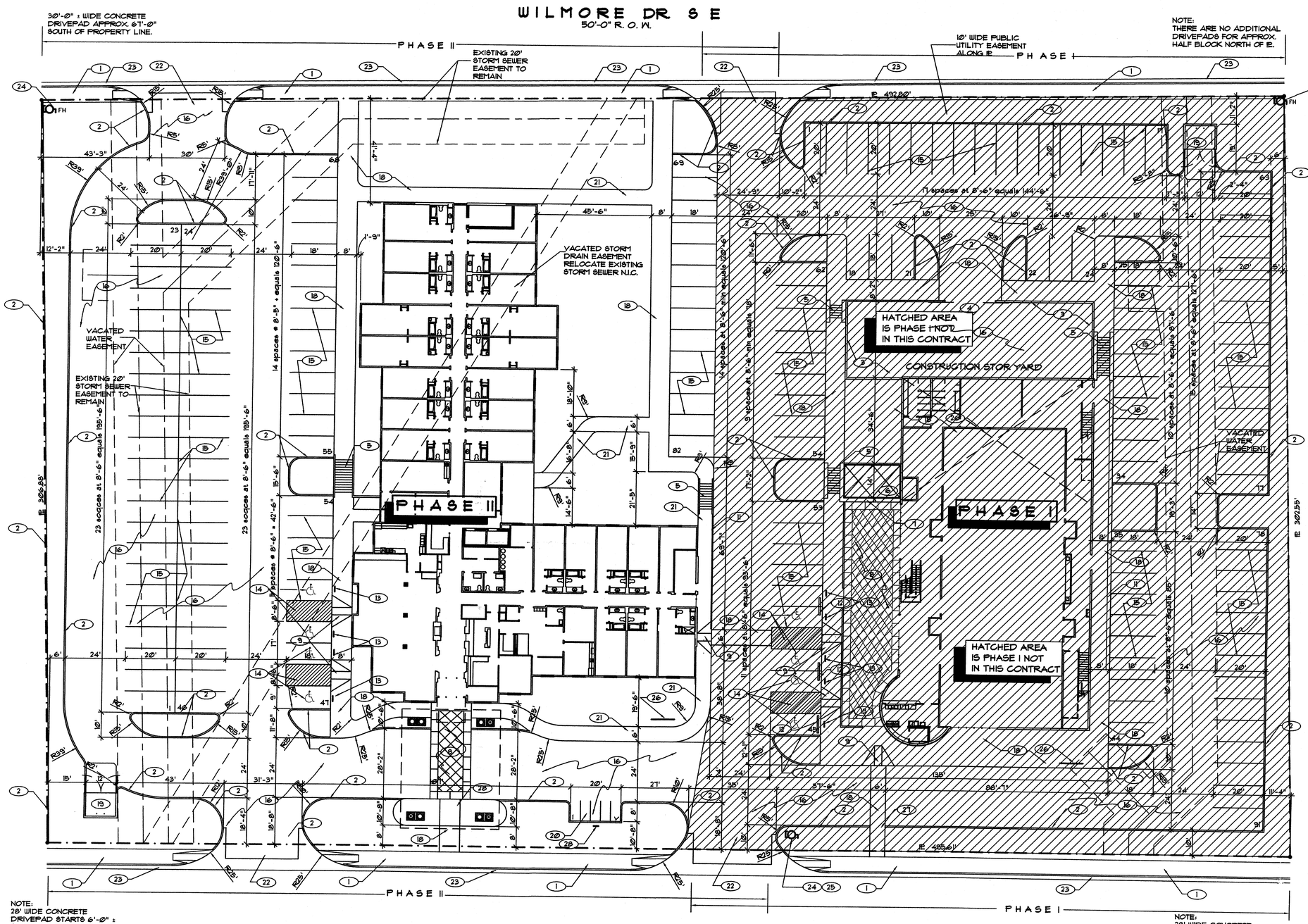


SITE PLAN

SCALE 1" = 20'

NORTH

PHASE II PARKING CALCULATIONS:

GUESTROOMS	100	= 100
TOTAL REQUIRED PHASE II		100
PROVIDED		82
TOTAL PROVIDED PHASE I PLUS PHASE II	82 + 91	= 173
REQUIRED PHASE I PLUS PHASE II	66 + 100	= 168
EXTRA PROVIDED (BOTH PHASES)		9
ACCESSIBLE SPACES INCLUDED TOTAL 2 VAN ACCESSIBLE SPACES INCLUDED IN ABOVE		8

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

PHASE I PARKING CALCULATIONS:

BASEMENT STORAGE	3648/2000	= 2
MAIN LEVEL MEETING ROOMS (SERVICE)	5,859/200	= 29
COMMERICAL KITCHEN	943/200	= 5
BAR	321/200	= 2
2ND FLOOR OFFICES	8,147/300	= 30
TOTAL REQUIRED PHASE I		68
PROVIDED		91

0 5' 10' 20' 40'

TRAFFIC CIRCULATION LAYOUT APPROVED

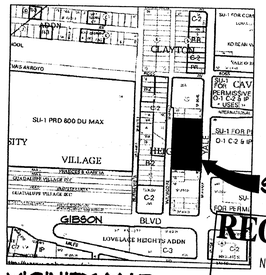
Signed 8/20/07 Date

Notes Specific to Sheet

1. 6' WIDE CONCRETE PUBLIC SIDEWALK AT BACK OF CURB TO MATCH ADJACENT PROPERTIES
2. 6" CONCRETE STAND-UP CURB, OR FERMACURB AT CONTRACTOR'S OPTION.
3. 8' CMU WALL -- STUCCO OUTSIDE SURFACE TO MATCH BUILDING. INSTALL EXPANSION JOINTS WHERE WALL ADJOINS BUILDING AND AT 20'-0" MAXIMUM SPACING. (SPACE EQUALLY)
4. 20' STEEL GATE WITH ELECTRIC CARD LOCK ON METAL TRACKS.
5. CONCRETE STEPS IN SIDEWALK. REFER TO DRAINAGE PLANS FOR ELEVATION DIFFERENCES. TREADS TO BE MINIMUM 12" WIDE AND 7" MAXIMUM HEIGHT. PROVIDE 1 1/2" ϕ PIPE RAIL EACH SIDE 1 1/2" CLEARANCE FROM WALL. CHEEK WALLS WITH ALL EXPOSED SURFACES STUCCOED TO MATCH ADJACENT BUILDING.
6. REFLECTIVE POND. REFER TO SITE ELEMENT DETAIL SHEET FOR DETAILS.
7. WATER FEATURE ON WALL BY OWNER N. I. C.
8. COLORED CONCRETE. SCORE WITH 1" RADIUS AT 36" DIAGONALLY EACH DIRECTION. 36" BORDER SCORED AT 48" O/C.
9. WHEELCHAIR RAMP WITH 1:12 MAXIMUN SLOPE. APRON SLOPE TO BE 1:10 MAXIMUN SLOPE.
10. 36" WIDE WHEELCHAIR RAMP WITH 6" WIDE CONCRETE CURBS BOTH SIDES.
11. 42 HIGH ORNAMENTAL RAIL. REFER TO SITE ELEMENTS SHEET FOR DETAILS.
12. 6' LONG PRE-CAST CONCRETE PARKING BUMPERS.
13. 12" X 18" BLUE/WHITE HANDICAP SIGN. (1 ON EACH BUILDING WITH VAN ACCESSIBLE ADDED.) MOUNT ON 2" DIAMETER PIPE AT 60" A.F.G. TO CENTER OF SIGN. REFER TO SITE ELEMENT SHEET FOR DETAIL.
14. 3" WIDE BLUE PAINTED STRIPES AT HANDICAP SPACE AND 6' HANDICAP SIGN ON PAVEMENT.
15. 3" WIDE YELLOW OR WHITE PAINTED PARKING STRIPING.
16. ASPHALT PAVING PER CITY OF ALBUQUERQUE SPECIFICATION.
17. 42" HIGH X 6" CMU WALL. STUCCO ALL EXPOSED SURFACES. PROVIDE EXPANSION JOINTS AT 20' MAXIMUM SPACING AND WHERE ADJOINS DIFFERENT MATERIAL.
18. CONCRETE SIDEWALK PER DIMENSIONS SHOWN.
19. TRASH DUMPSTER ENCLOSURE. REFER TO DRAINAGE PLANS FOR DRAINS. RECYCLE AREA IN LANDSCAPE TO NORTH OF EACH ENCLOSURE.
20. MOTORCYCLE PARKING SPACES.
21. 6' WIDE CONCRETE WALK.
22. PRIVATE ENTRANCE PER COA DETAIL NO. 2426 w/ TRUNCATED DOMES AT WHEELCHAIR RAMPS.
23. EXISTING CONCRETE CURB AND GUTTER.
24. EXISTING FIRE HYDRANT.
25. RELOCATE EXISTING FIRE HYDRANT AS NECESSARY TO AVOID ENTRANCE.
26. BIKE RACK. REFER TO SITE ELEMENT DETAIL SHEET.
27. OMIT CURB AT SIDEWALK.
28. LOWER RAISED ISLAND AT SIDEWALK.
29. SIGN "FOR MOTORCYCLES" SAME CONST. & INSTALLED SAME AS HANDICAP SIGNS.

RECEIVED AUG 14 2007 HYDROLOGY SECTION

Legal Description:
TRACT "A"
CLAYTON HEIGHTS SUBDIVISION
ALBUQUERQUE, NEW MEXICO



VICINITY MAP Map L-15-Z
NO SCALE

RECEIVED NOV 02 2007 HYDROLOGY SECTION

STATE OF NEW MEXICO JAMES N. MEDLEY 8/8/07 REGISTERED ARCHITECT

JIM MEDLEY, Architect
NCARB Certificate No. 35,895
3100 Christine N. E. Albuquerque, NM 87111
email: jmedley@jm-medley-architect.com
Phone (505) 292-3514 Fax (505) 294-5593

Plan No: 04025
Date: August 1071
Drawn by: JMM
Checked by: JMM

Project: Holiday Inn EXPRESS TNJ Group of Companies Albuquerque, New Mexico

PHASE II

No.	Revision / Issue	Date:

Sheet Description: SITE PLAN for TRAFFIC CIRCULATION LAYOUT

Sheet: C1.1

HOLIDAY INN YALE

STORM DRAIN RELOCATION

ALBUQUERQUE, NM

IMPROVEMENTS FOR,

STORM DRAIN AND WATERLINE ADDITION

INDEX TO DRAWINGS

SHEET NO.	DESCRIPTION
1	COVER SHEET AND INDEX TO DRAWINGS
2	SITE PLAN – FOR INFORMATION ONLY
3	ALTA SURVEY
4	~~WATER AND SEWER SITE PLAN~~ MASTER UTILITY PLAN
5	STORM DRAIN ~~WATER AND SEWER~~ ~~PROFILES~~ PLAN & PROFILE
6	WATERLINE LOOP PLAN & PROFILE

CERTIFICATION OF SUBSTANTIAL COMPLIANCE

I, Larry D. Read, NMPE 10998, of the firm Larry Read & Associates, Inc., A Registered Professional Engineer in the State of New Mexico, do hereby certify that to the best of my knowledge and belief, the the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, excepted as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction and survey information provided by Michael T. Shook. NMPS 13240, of the firm AM Survey.

LAWRENCE D. READ NEW MEXICO 10998 LICENSED PROFESSIONAL ENGINEER

LEGEND

PROPERTY LINE	NEW CURB AND GUTTER & SIDEWALK	EX SAS MANHOLE	—8" SAS— PROPOSED SANITARY SEWER LINE
(S 83°39'25" W) RECORD BEARING AND DISTANCES	EX CURB AND GUTTER & SIDEWALK	PROP SAS MANHOLE	EX SANITARY SEWER LINE
N 00°07'27" W MEASURED BEARING AND DISTANCES	EX FIRE HYDRANT	PROP WATER METER	—4" W— PROPOSED WATER LINE
FOUND AND USED MONUMENT	PROP WATER VALVE	—S— PROPOSED SANITARY SEWER SERVICE	EX WATER LINE

GENERAL NOTES

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION THROUGH MOST RECENT UPDATE #7 AND AMENDMENT #1 WILL BE REFERRED TO HEREIN AS "STANDARD SPECIFICATIONS".

2. ALL CONSTRUCTION WITHIN CITY RIGHT-OF-WAY OR EASEMENTS MUST BE DONE FROM APPROVED WORK ORDER DOCUMENTS FROM THE CITY.

3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.

4. CONTRACTOR AGREES THAT HE SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE OWNER AND ENGINEER FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

5. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE ACCOMPLISHED IN ACCORDANCE WITH OSHA 29CFR 1926.650 SUBPART P.

6. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.

7. CONTRACTOR SHALL SECURE A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION (IF REQUIRED BY CITY OF ALBUQUERQUE PUBLIC WORKS).

8. PERMIT REQUESTS MAY BE DENIED OR DELAYED DUE TO CONFLICTS WITH OTHER PROJECTS IN THE AREA.

9. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. ONLY THE CITY SURVEYOR SHALL REPLACE SURVEY MONUMENTS. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO STANDARD SPECIFICATIONS SECTION 4.4.

10. CONTRACTOR SHALL COORDINATE WITH ABCWUA (857-8200) SEVEN (7) WORKING DAYS PRIOR TO ANY WORK THAT MAY AFFECT EXISTING CITY PUBLIC WATER OR SEWER UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR TIMING AND COORDINATION OF WATER SHUTOFF. EXISTING ABCWUA VALVES TO BE OPERATED BY ABCWUA PERSONNEL ONLY.

11. FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF STANDARD SPECIFICATIONS.

12. CONTRACTOR SHALL DETERMINE IN ADVANCE OF HIS CONSTRUCTION IF OVERHEAD UTILITY LINES, SUPPORT STRUCTURES, POLES, GUYS, ETC. ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTION TO CONSTRUCTION OPERATIONS IS EVIDENT, CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE OR SUPPORT THE UTILITY OBSTRUCTION. ANY COST ASSOCIATED WITH THIS EFFORT SHALL BE THE RESPONSIBILITY OF CONTRACTOR.

13. PNM WILL PROVIDE AT NO COST TO THE CITY OR THE CONTRACTOR THE REQUIRED PERSONNEL FOR INSPECTION OR OBSERVATION DEEMED NECESSARY BY PNM WHILE THE CONTRACTOR IS EXPOSING PNM'S CABLES. HOWEVER, THE CONTRACTOR SHALL BE CHARGED THE TOTAL COST ASSOCIATED WITH REPAIRS TO ANY DAMAGED CABLES OR FOR ANY COST ASSOCIATED WITH SUPPORTING OR RELOCATING THE POLES AND CABLES DURING CONSTRUCTION.

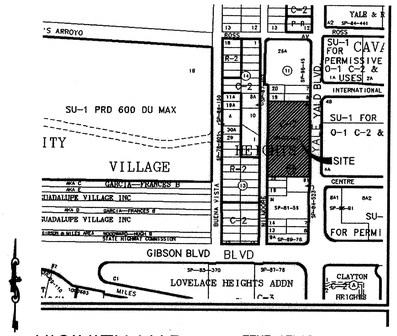
14. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.

15. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL PERTINENT EXISTING UTILITIES AND/OR OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.

16. EXISTING UTILITY LINE LOCATION ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION OF ANY SUCH EXISTING LINES IS BASED UPON INFORMATION PROVIDED BY THE UTILITY COMPANY, THE OWNER, OR BY OTHERS, AND THE INFORMATION MAY BE INCOMPLETE OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES.

17. THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES.

18. CONTRACTOR SHALL SUPPORT ALL EXISTING, UNDERGROUND UTILITY LINES WHICH, BECOME EXPOSED DURING CONSTRUCTION. PAYMENT FOR SUPPORTING WORK SHALL BE INCIDENTAL TO WATERLINE AND/OR SEWER LINE COSTS.



VICINITY MAP ZONE ATLAS L-15-Z

19. CONTRACTOR IS TO SUPPORT AND MAINTAIN THE INTEGRITY OF ALL UNDERGROUND TELEPHONE, ELECTRIC CABLES AND CABLE TELEVISION UTILITIES AT NO ADDITIONAL COST TO THE OWNER. CABLE IS TO BE SUPPORTED AT A MAXIMUM OF EVERY FIFTEEN (15) FEET. CONTRACTOR SHALL COORDINATE WITH AND MAKE NECESSARY PAYMENT (IF ANY) TO UTILITY OWNER FOR DE-ENERGIZATION OF CABLES OR SUPPORT OF CABLES BY THE UTILITY OWNER.

20. CONTRACTOR SHALL ASSIST THE ENGINEER/INSPECTOR IN THE RECORDING OF DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS CONSTRUCTED" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.

21. ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.

22. ALL FINAL BACKFILL FOR TRENCHES SHALL BE COMPACTED TO A MINIMUM OF 90% MAXIMUM DENSITY PER ASTM D-1557 AND AS DIRECTED BY STANDARD SPECIFICATIONS SECTION 701.14.2 AND STANDARD DRAWING NUMBER 2315.

23. CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY OR PRIVATE ROADWAY EASEMENTS SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET OR INTO ANY PUBLIC DRAINAGE FACILITY.

24. REMOVALS SHALL BE DISPOSED OF OFF-SITE AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

25. CONTRACTOR SHALL DISPOSE OF ALL UNSUITABLE MATERIAL IN AN ENVIRONMENTALLY ACCEPTABLE MANNER AT A LOCATION ACCEPTABLE TO THE PROJECT MANAGER. THERE WILL BE NO DIRECT COMPENSATION FOR THIS WORK.

26. CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER WHICH WILL MINIMIZE INTERFERENCE WITH LOCAL TRAFFIC.

27. ANY WORK AFFECTING AN ARTERIAL ROADWAY REQUIRES TWENTY-FOUR (24) HOURS OF CONSTRUCTION.

28. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL CONSTRUCTION SIGNING UNTIL PROJECT HAS BEEN ACCPETED BY THE CITY OF ALBUQUERQUE.

29. WHEN ABUTTING EXISTING PAVEMENT TO NEW, SAW CUT EXISTING PAVEMENT TO A STRAIGHT EDGE AND AT A RIGHT ANGLE, OR AS APPROVED BY THE FIELD ENGINEER. REMOVAL OF BROKEN OR CRACKED PAVEMENT WILL ALSO BE REQUIRED.

30. REMOVAL OF EXISTING CURB AND GUTTER OR SIDEWALK SHALL BE TO THE NEAREST JOINT OR SAW CUT.

31. AT HIS OWN EXPENSE, CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENT, PAVEMENT MARKINGS, CURB AND GUTTER, HANDICAP RAMPS, AND SIDEWALK DURING CONSTRUCTION APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS AND SHALL REPAIR OR REPLACE, PER STANDARD SPECIFICATIONS.

32. ALL STREET STRIPING, ALTERED OR DESTROYED, SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKINGS BY CONTRACTOR TO SAME LOCATION AS EXISTING, OR AS INDICATED BY THIS PLAN SET.

33. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.

34. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL CONSTRUCTION SIGNING UNTIL THE PROJECT HAS BEEN ACCEPTED BY THE CITY OF ALBUQUERQUE.

35. FOR STORM DRAIN CONSTRUCTION, RCP JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION WILL DETERMINE JOINTS TO BE GROUTED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION.

36. IF HUMAN REMAINS ARE DISCOVERED ON THE SITE, ALL CONSTRUCTION WILL CEASE AND THE OFFICE OF THE MEDICAL EXAMINER MUST BE CONTACTED FOR FURTHER INSTRUCTIONS.

LARRY READ & ASSOCIATES, Inc.
Civil Engineers
2430 Midtown Place NE Suite C
Albuquerque, New Mexico 87107
(505) 237-8421

DRC # 1004588

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPT.	DATE	USER DEPT.	DATE

ENGINEER'S SEAL

LAWRENCE D. READ NEW MEXICO 10998 LICENSED PROFESSIONAL ENGINEER 12/19/2007

APPROVALS	ENGINEER	DATE
DRC CHAIRMAN	S Woodall	2-7-08
TRANSPORTATION	[illegible]	12/27/07
WATER/WASTEWATER	[illegible]	1-18-08
HYDROLOGY	Bradley L. Bingham	12/27/07
PARKS		
CONSTR. MANAGER		

APPROVED FOR CONSTRUCTION

CITY ENGINEER [illegible] 4-22-08 DATE

PROJECT NO. 5846.83

RECEIVED NOV 09 2007 HYDROLOGY SECTION

SHEET 1 OF 6

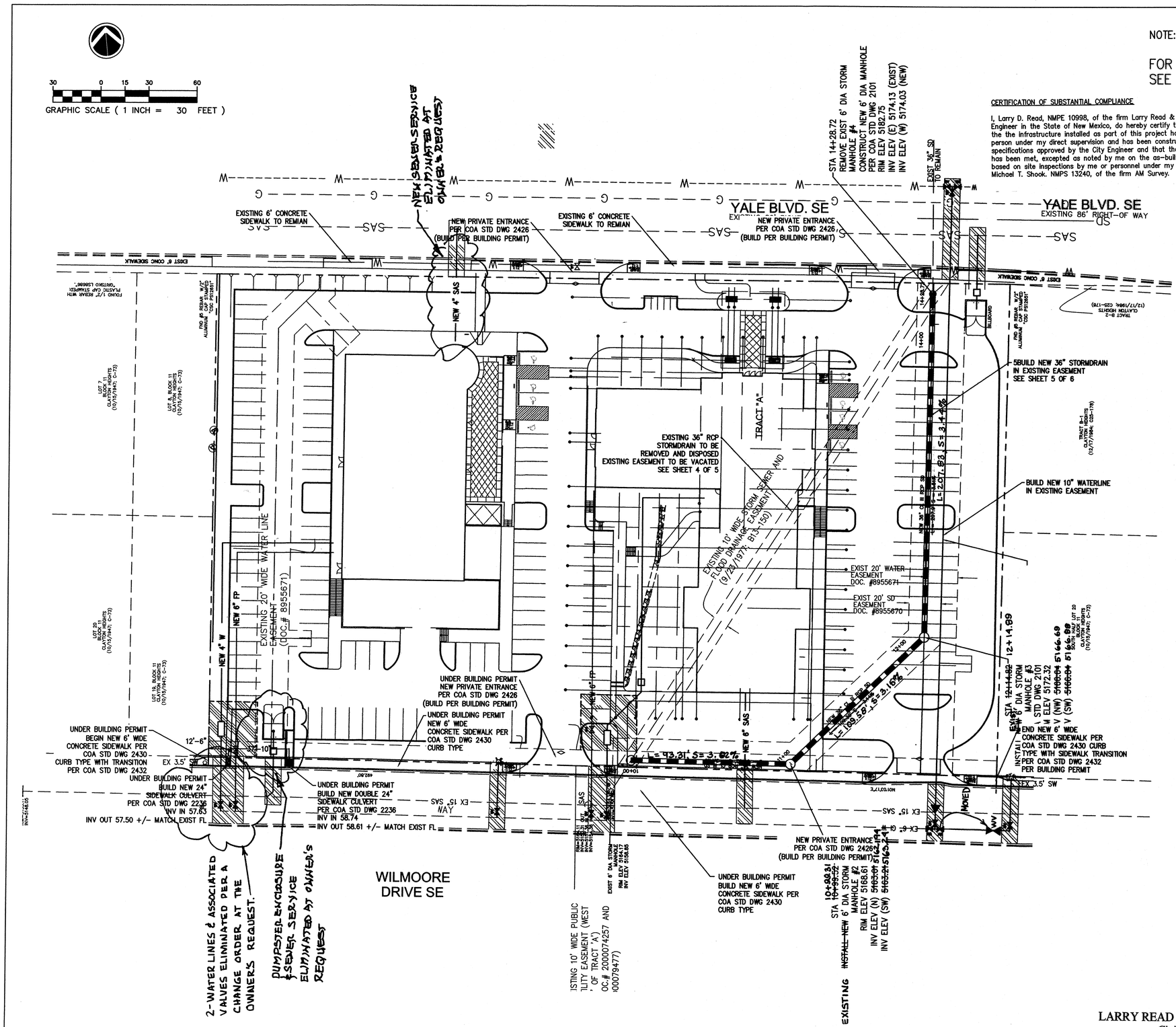
NOTE:

FOR WATER AND SEWER ~~ITEMS~~ ON THIS PROJECT SEE SHEET 4 OF 6.

CERTIFICATION OF SUBSTANTIAL COMPLIANCE

I, Larry D. Read, NMPE 10998, of the firm Larry Read & Associates, Inc., A Registered Professional Engineer in the State of New Mexico, do hereby certify that to the best of my knowledge and belief, the the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, excepted as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction and survey information provided by Michael T. Shook. NMPS 13240, of the firm AM Survey.

LAWRENCE D. READ NEW MEXICO 10998 LICENSED PROFESSIONAL ENGINEER



AS BUILT INFORMATION	
CONTRACTOR	
WORK STAKED BY	DATE
INSPECTOR'S CHANGES BY	
FIELD CHANGES BY	DATE
VERIFICATION BY	
CADD CORRECTED BY	DATE

MICROFILM INFORMATION

RECORDED BY	DATE
NO.	

BENCH MARKS

ACS MONUMENT "24-L16" X = AT THE NORTHEAST CORNER OF YALE BOULEVARD AND GIBSON BOULEVARD SE.
DATE 05/02(NAD 1927) ELEVATION 5188.642 (NGVD 29)

SURVEY INFORMATION

NO.	FIELD NOTES BY	DATE
1	COMMUNITY SCIENCES CO. BOX 1328 CORRALES, NM 87114 PHONE: (505) 897-0000	

ENGINEER'S SEAL

NO.	DATE	REMARKS	BY
		REVISIONS	

DESIGN		DATE
DESIGNED BY	LRA	MAY 2007
DRAWN BY	LRA	MAY 2007
CHECKED BY	LDR	MAY 2007

RECEIVED
NOV 02 2009
HYDROLOGY SECTION

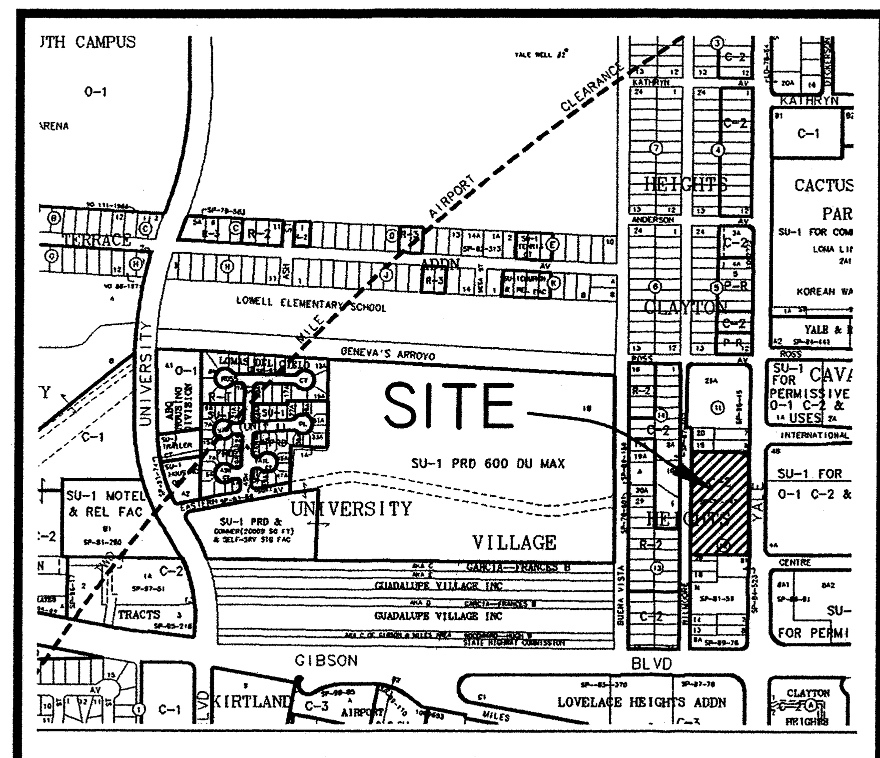
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: HOLIDAY INN YALE
SITE PLAN MISC IMPROVEMENTS

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN DATE	MO./DAY/YR.	MO./DAY/YR.
FOR INFORMATION ONLY				

PROJECT NO. 5846.83 | MAP NO. L-15 | SHEET 2 OF 6

LARRY READ & ASSOCIATES, Inc.
Civil Engineers
2430 Midtown Place NE Suite C
Albuquerque, New Mexico 87107
(505) 237-8421



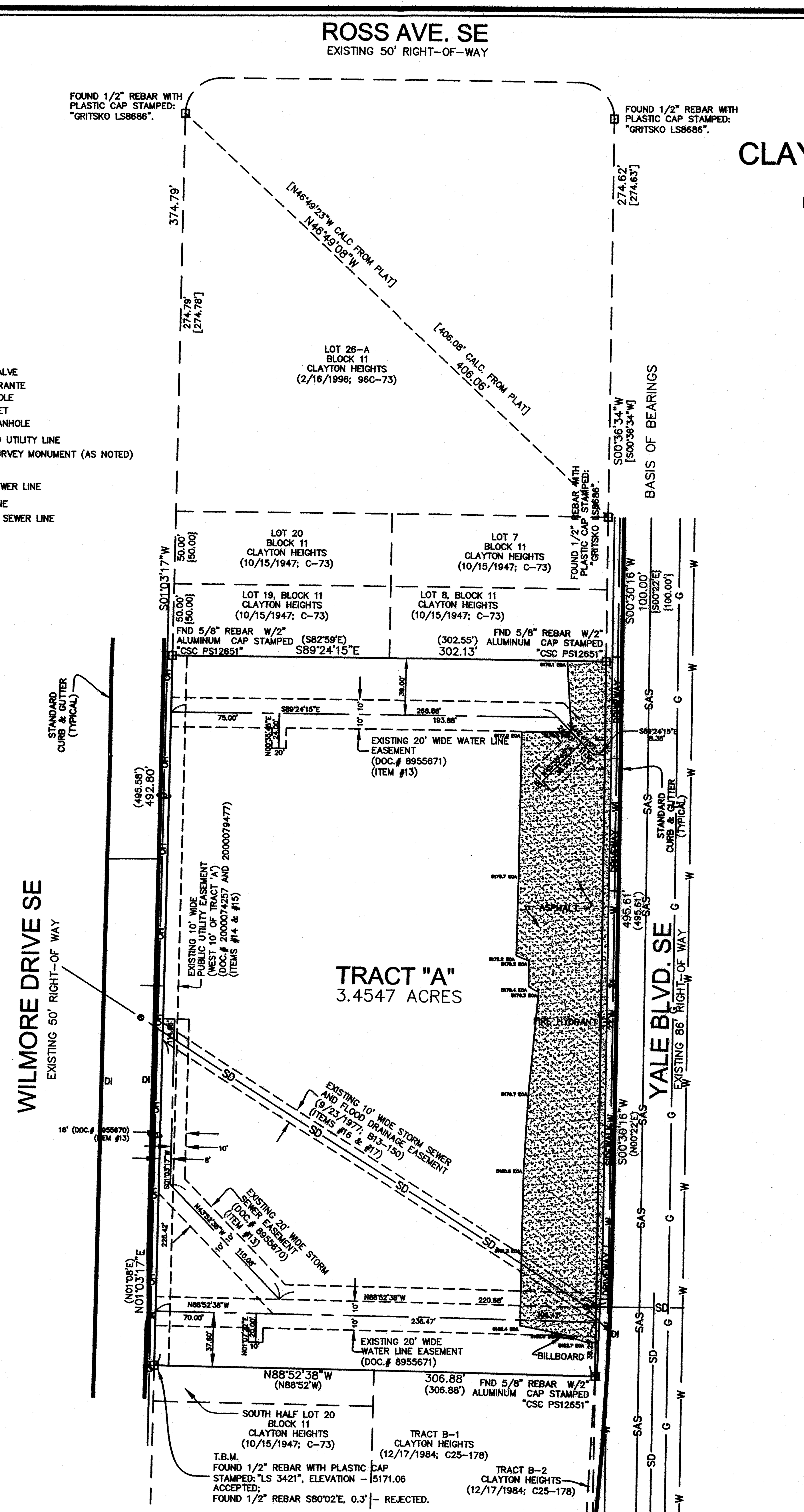
VICINITY MAP

NOT TO SCALE

ZONE ATLAS PAGE L-15-Z

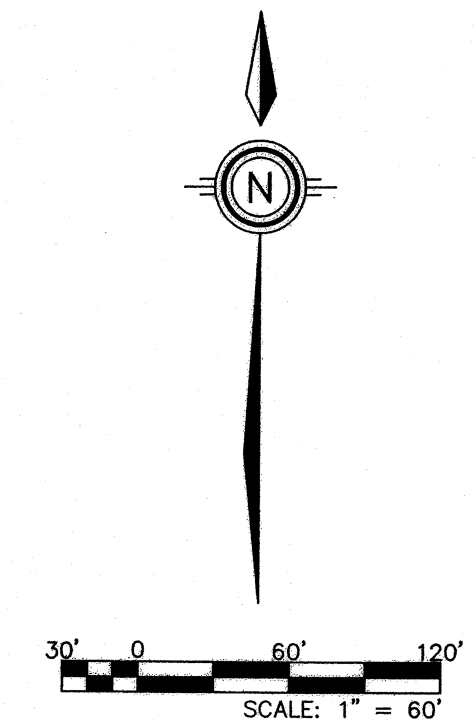
LEGEND

- WATER VALVE
- FIRE HYDRANTE
- UTILITY POLE
- DROP INLET
- STORM MANHOLE
- —OH——OH— OVERHEAD UTILITY LINE
- FOUND SURVEY MONUMENT (AS NOTED)
- —G——G— GAS LINE
- —SD——SD— STORM SEWER LINE
- —W——W— WATER LINE
- —SAS——SAS— SANITARY SEWER LINE



BOUNDARY SURVEY PLAT
TOPOGRAPHIC SURVEY
ALTA/ACSM LAND TITLE SURVEY
TRACT "A"
CLAYTON HEIGHTS SUBDIVISION

SITUATE WITHIN
PROJECTED SECTION 28, T.10N., R.3E., N.M.P.M.,
TOWN OF ALBUQUERQUE GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MAY, 2006



LEGAL DESCRIPTION

TRACT LETTERED "A" OF THE REPLAT OF CLAYTON HEIGHTS, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE REPLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 23, 1977 IN MAP BOOK B13, FOLIO 120.

SURVEY NOTES:

1. THE BASIS OF BEARINGS FOR THIS SURVEY IS THE EASTERLY LINE OF LOT 26-A OF THE PLAT OF LOT 26-A, BLOCK 11, CLAYTON HEIGHTS SUBDIVISION, RECORDED FEBRUARY 16, 1996 IN VOL. 96C. FOLIO 73.
2. BEARINGS AND DISTANCES SHOWN IN PARENTHESES ( ) ARE PER THE RECORD PLAT OF TRACT "A", CLAYTON HEIGHTS SUBDIVISION, RECORDED SEPTEMBER 23, 1977 IN VOL. B13, FOLIO 120.
3. BEARINGS AND DISTANCES IN BRACKETS [ ] ARE PER THE PLAT OF LOT 26-A NOTED IN 1. ABOVE. BEARINGS AND DISTANCES IN BRACKETS { } PER THE PLAT OF BLOCKS 11, 12 13 AND 14, CLAYTON HEIGHTS SUBDIVISION RECORDED 10/15/1947, C-73.
4. DOCUMENTS USED:
   - A. PLAT OF LOT 26-A NOTED ABOVE.
   - B. PLAT OF TRACT "A", CLAYTON HEIGHTS, NOTED ABOVE.
   - C. PLAT OF BLOCKS 11, 12, 13 AND 14 OF CLAYTON HEIGHTS SUBDIVISION RECORDED OCTOBER 15, 1947 IN VOL.C, FOLIO 73.
   - D. PLAT OF TRACTS B-1 AND B-2, CLAYTON HEIGHTS SUBDIVISION RECORDED DECEMBER 17, 1984 IN VOL. C25, FOLIO 178.
   - E. WARRANTY DEED RECORDED AUGUST 15, 2000 AS DOC. NO. 2000079478.
   - F. SPECIAL WARRANTY DEED RECORDED AUGUST 21, 2000 AS DOC.# 2000081769.
   - G. RIO GRANDE TITLE COMPANY INC. COMMITMENT FOR TITLE INSURANCE FILE NO. 02602493-MH
   - H. PNM AND US WEST EASEMENT RECORDED JULY 31, 2000 AS DOC.# 2000074257.
   - I. COMCAST EASEMENT RECORDED AUGUST 15, 2000 AS DOC.# 2000079477.
   - J. STORM DRAIN EASEMENT RECORDED AS DOC.# 8955670.
   - K. WATERLINE EASEMENTS RECORDED AS DOC.# 8955671.
5. TRACT "A" UPC# = 1-015-056-533-076-4-05-07.
6. THE ACS MONUMENT USED FOR THIS TOPOGRAPHICAL SURVEY IS "24-L16", AND IS A 1-3/4" ALUMINUM CAP, STAMPED "ACS BM, 24-L16", EPOXIED ON THE TOP OF THE CONCRETE CURB RETURN, NNE QUADRANT OF YALE AND GIBSON BOULEVARD, S.E. ELEVATION = 5188.642

SUMMARY OF EXCEPTIONS- FILE # 02602493-MH, COMMITMENT # 4

EXCEPTION #	APPLICATION TO SURVEY
1 THRU 3	NO VISIBLE EVIDENCE.
4 THRU 11	NOT SURVEY MATTERS, DO NOT APPLY.
12 THRU 17	APPLY- AS SHOWN HEREON

SURVEYORS CERTIFICATION

CERTIFY TO: 110 SUPPORT LLC, ABQ DOLPHIN LP AND RIO GRANDE TITLE COMPANY, INC

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA, ACSM AND NSPS IN 1999, AND INCLUDES ITEMS 2, 3, 4, 5, 7a, 8, 10, AND 11B OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, NSPS, AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT PROPER FIELD PROCEDURES, INSTRUMENTATION, AND ADEQUATE SURVEY PERSONNEL WERE EMPLOYED IN ORDER TO ACHIEVE RESULTS COMPARABLE TO THOSE OUTLINED IN THE "MINIMUM ANGLE, DISTANCE, AND CLOSURE REQUIREMENTS FOR SURVEY MEASUREMENTS WHICH CONTROL LAND BOUNDARIES FOR ALTA/ACSM LAND TITLE SURVEYS". THIS SURVEY AND THE FIELD SURVEY UPON WHICH IT IS BASED MEET THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS SURVEY IS NOT A LAND DIVISION OR SUBDIVISION AS DEFINED IN THE NEW MEXICO SUBDIVISION ACT. THIS IS A BOUNDARY SURVEY OF AN EXISTING TRACT OR TRACTS.

THOMAS W. PATRICK, DATE
NEW MEXICO PROFESSIONAL SURVEYOR No. 12651

STATE OF NEW MEXICO} SS
COUNTY OF BERNALILLO}

THIS INSTRUMENT WAS FILED FOR RECORD ON ________ AM PM

RECORDED IN VOL.______ OF RECORDS
OF SAID COUNTY, FOLIO ________
BY________________, DEPUTY

BOUNDARY SURVEY PLAT
TOPOGRAPHIC SURVEY
ALTA/ACSM LAND TITLE SURVEY
TRACT "A" CLAYTON HEIGHTS SUBDIVISION

DWG PATH: F:\754 P&J CONST\600 ALTA\DWG\ALTA.DWG

.CR5:	TRAYALE.cr5
DATE:	MAY 2006
SCALE:	1"= 60'
CREW:	TWP, GWB
DRAWN:	KRH
JOB NO.:	F:\N754

community sciences corporation
LAND PLANNING ENGINEERING SURVEYING
P.O.Box 1328 Corrales, N.M. 87048 (505)897-0000

AS BUILT INFORMATION
CONTRACTOR
WORK STAKED BY — DATE
INSPECTOR'S ACCEPTANCE BY — DATE
FIELD VERIFICATION BY — DATE
DRAWINGS CORRECTED BY — DATE

MICROFILM INFORMATION
RECORDED BY — DATE
NO.

BENCH MARKS
ACS MONUMENT "24-L16" X = AT THE NORTHEAST CORNER OF YALE BOULEVARD AND GIBSON BOULEVARD SE.
DATE 05/02(NAD 1927) ELEVATION 5188.642 (NGVD 29)

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE
1	COMMUNITY SCIENCES CO. BOX 1328 CORRALES, NM 87114 PHONE: (505) 897-0000	

ENGINEER'S SEAL

NO.	DATE	REMARKS	BY

REVISIONS

DESIGN
DESIGNED BY LRA DATE MAY 2007
DRAWN BY LRA DATE MAY 2007
CHECKED BY LDR DATE MAY 2007

RECEIVED
NOV 02 2009
HYDROLOGY SECTION

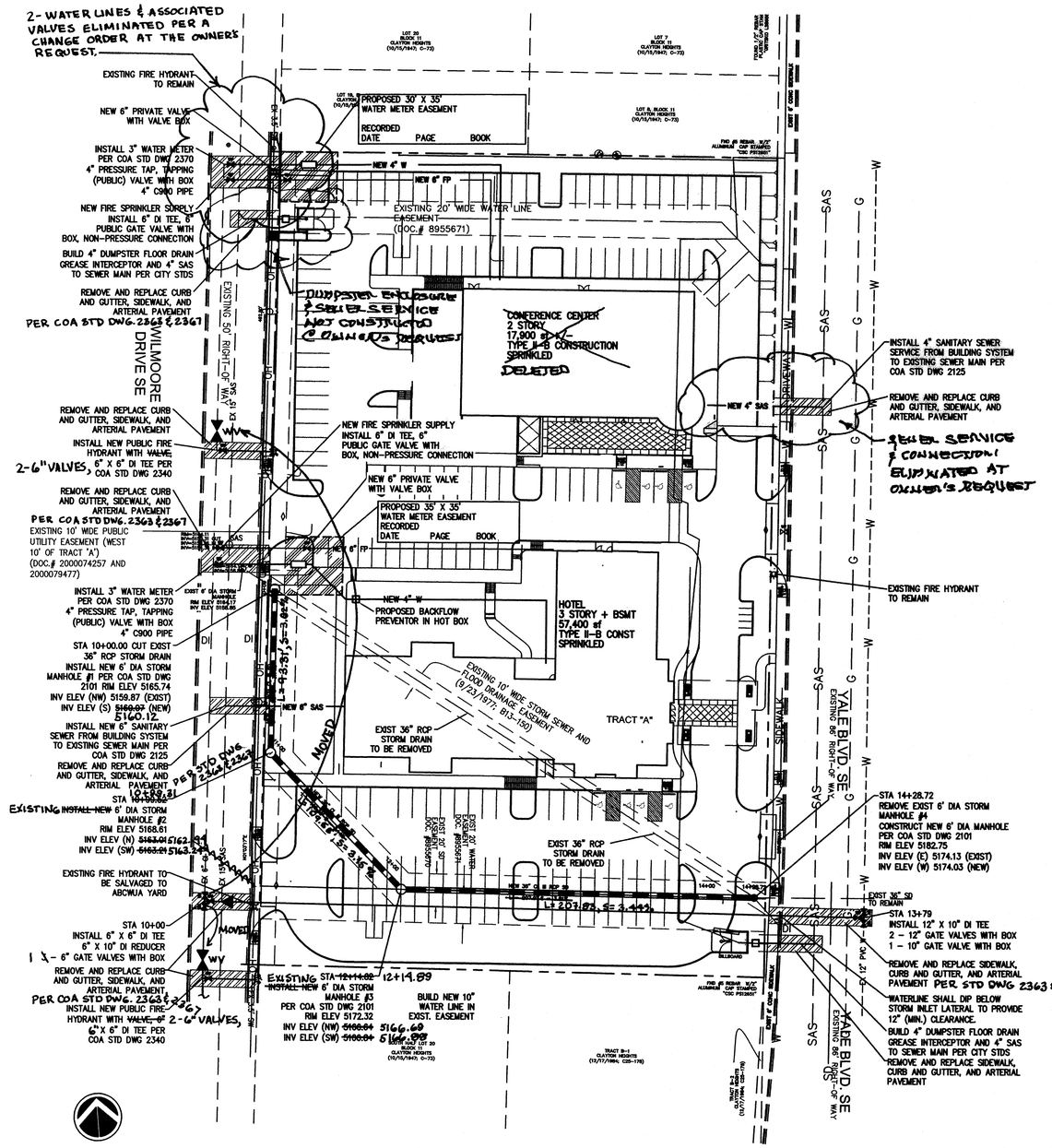
Only For Information

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: HOLIDAY INN YALE
CURRENT ALTA SURVEY

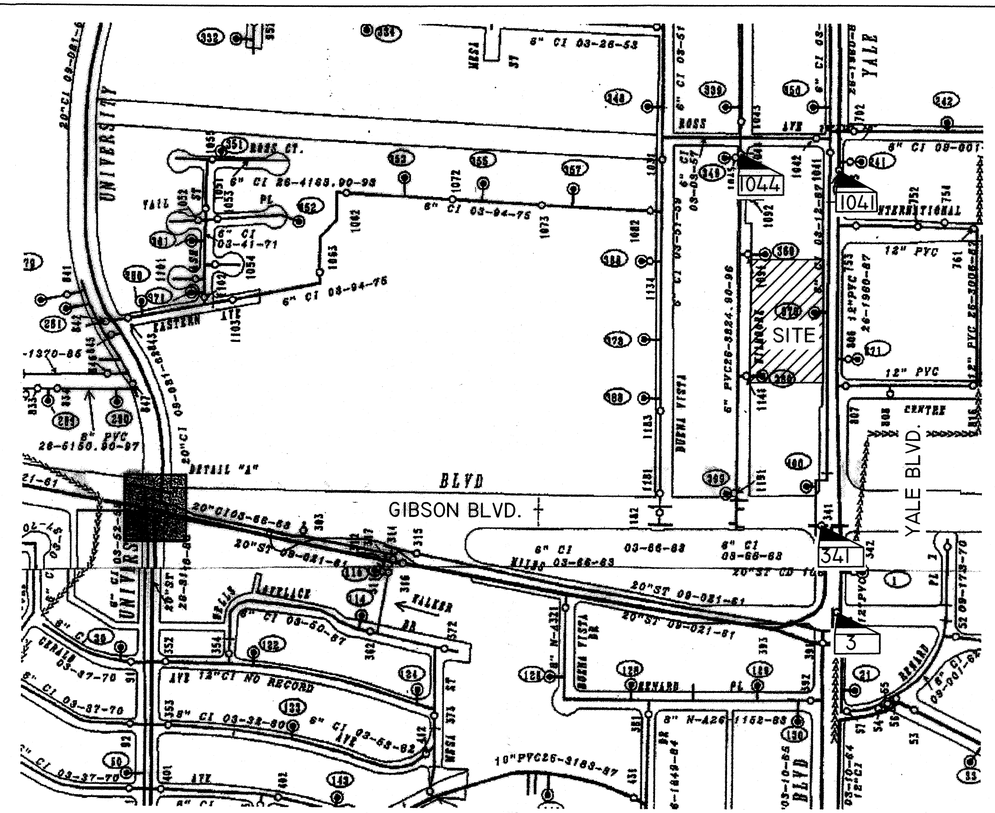
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN DATE	MO./DAY/YR.	MO./DAY/YR.
X	X			

PROJECT NO. 5846.83 | MAP NO. L-15 | SHEET 3 OF 6



GRAPHIC SCALE (1 INCH = 40 FEET)

STORM DRAIN RELOCATION PLAN



WATER SHUT OFF PLAN

1. CLOSE VALVES 1041 AND 1044. VALVES 3 AND 341 SHOULD REMAIN CLOSED. VERIFY THEY ARE CLOSED BEFORE BEGINNING TAPS.

2. CONTRACTOR SHALL CONTACT ABCWUA (857-8200) SEVEN (7) WORKING DAYS PRIOR TO VALVE SHUT OFF. ONLY ABCWUA PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.

WATER LINE FITTING RESTRAINED LENGTHS

FITTING	LENGTH - RUN	LENGTH - BRANCH
6" x 6" TEE	22'	10'
12" X 10" TEE	18'	13'
12" VALVE	85'	
10" VALVE	72'	
6" VALVE	46'	
10" X 6" RED	44' LARGE SIDE	73' SMALL SIDE

COA STANDARD DRAWINGS

1. ALL UTILITY CUT ARTERIAL PAVEMENT PATCHING SHALL BE PER COA STD DWG 2465.
2. ALL SIDEWALK REPLACEMENT SHALL BE PER COA STD DWG 2430.
3. ALL CURB AND GUTTER REPLACEMENT SHALL BE PER COA STD DWG 2415A.
4. WATER METER VAULTS SHALL BE INSTALLED PER COA STD DWG 2370.

MINIMUM SIDEWALK CLEARANCES

1. A MINIMUM UNOBSTRUCTED WIDTH OF 3' SHALL BE MAINTAINED ON ALL SIDEWALKS. NO OBSTRUCTIONS SUCH AS POWER POLES OR FIRE HYDRANTS MAY INFRINGE ON THE 3' CLEAR WALK.

COA STANDARD DRAWINGS

1. ALL NEW WATERLINES SHALL BE AWWA C-900, DR-18.

... PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
SIGNATURE & DATE

RECEIVED
NOV 02 2009
HYDROLOGY SECTION

CERTIFICATION OF SUBSTANTIAL COMPLIANCE

I, Larry D. Read, NMPE 10998, of the firm Larry Read & Associates, Inc., A Registered Professional Engineer in the State of New Mexico, do hereby certify that to the best of my knowledge and belief, the the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, excepted as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction and survey information provided by Michael T. Shook. NMPS 13240, of the firm AM Survey.

LARRY READ & ASSOCIATES, Inc.
Civil Engineers
2430 Midtown Place NE Suite C
Albuquerque, New Mexico 87107
(505) 237-8421

AS BUILT INFORMATION

CONTRACTOR	
WORK STAKED BY	DATE
INSPECTED BY	
ASBUILTS BY	DATE
FIELD VERIFICATION BY	
DRAWINGS CORRECTED BY	DATE

MICROFILM INFORMATION

RECORDED BY	
DATE	
NO.	

BENCH MARKS

ACS MONUMENT "24-L16" X = AT THE NORTHEAST CORNER OF YALE BOULEVARD AND GIBSON BOULEVARD SE.

NO.	BY	DATE
1	COMMUNITY SCIENCES CO. BOX 1328 CORRALES, NM 87114 PHONE: (505) 897-0000	05/02(NAD 1927) ELEVATION 5188.642 (NGVD 29)

SURVEY INFORMATION

FIELD NOTES

ENGINEER'S SEAL

LAWRENCE D. READ NEW MEXICO 10998 LICENSED PROFESSIONAL ENGINEER
12/27/2007

NO.	DATE	REMARKS	BY

REVISIONS

DESIGN

		DATE
DESIGNED BY	LRA	MAY 2007
DRAWN BY	LRA	MAY 2007
CHECKED BY	LDR	MAY 2007

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

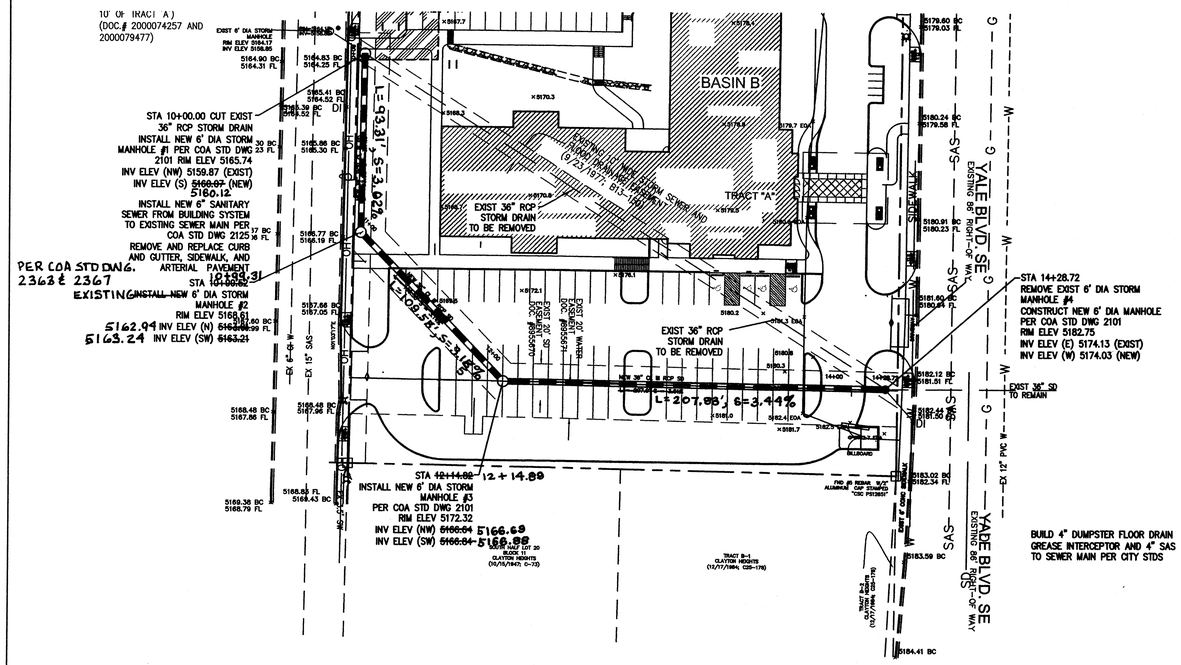
TITLE: HOLIDAY INN YALE
MASTER UTILITY PLAN

DESIGN REVIEW COMMITTEE: APPROVED FEB 07 2008 DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL: APPROVED APR 22 2008 CITY ENGINEER

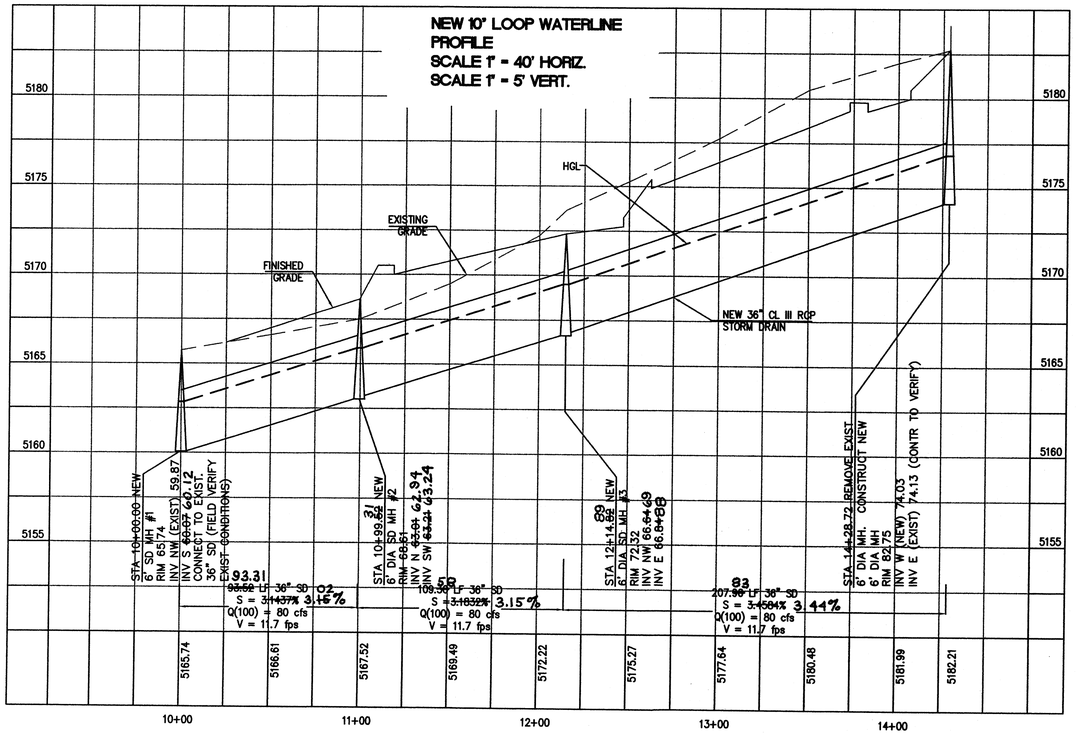
LAST DESIGN DATE | MO./DAY/YR. | MO./DAY/YR.

PROJECT NO. 5846.83 | MAP NO. L-15 | SHEET 4 OF 6



GRAPHIC SCALE (1 INCH = 40 FEET)

NEW 10" WATERLINE LOOP - PLAN
SCALE 1" = 40'



CERTIFICATION OF SUBSTANTIAL COMPLIANCE

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LAWRENCE D. READ NEW MEXICO 10998 LICENSED PROFESSIONAL ENGINEER

LARRY READ & ASSOCIATES, Inc.
Civil Engineers
2430 Midtown Place NE Suite C
Albuquerque, New Mexico 87107
(505) 237-8421

AS BUILT INFORMATION
CONTRACTOR
WORK STAKED BY
INSPECTOR'S ACCEPTANCE BY
FIELD VERIFICATION BY
DRAWINGS CORRECTED BY
DATE

MICROFILM INFORMATION
RECORDED BY
DATE
NO.

BENCH MARKS
ACS MONUMENT "24-L16" X = AT THE NORTHEAST CORNER OF YALE BOULEVARD AND GIBSON BOULEVARD SE.
DATE 05/02(NAD 1927) ELEVATION 5188.642 (NGVD 29)

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE
1	COMMUNITY SCIENCES CO. BOX 1328 CORRALES, NM 87114 PHONE: (505) 897-0000	

ENGINEER'S SEAL
LAWRENCE D. READ NEW MEXICO 10998 LICENSED PROFESSIONAL ENGINEER

NO.	DATE	REMARKS	BY

REVISIONS

DESIGN		DATE
DESIGNED BY	LBA	MAY 2007
DRAWN BY	LBA	MAY 2007
CHECKED BY	LDR	MAY 2007

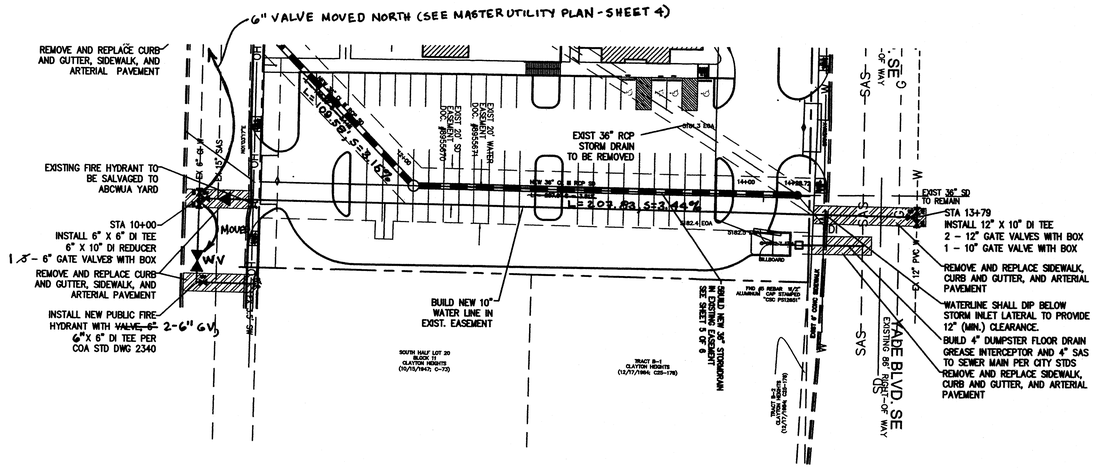
RECEIVED
NOV 02 2009
HYDROLOGY SECTION

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

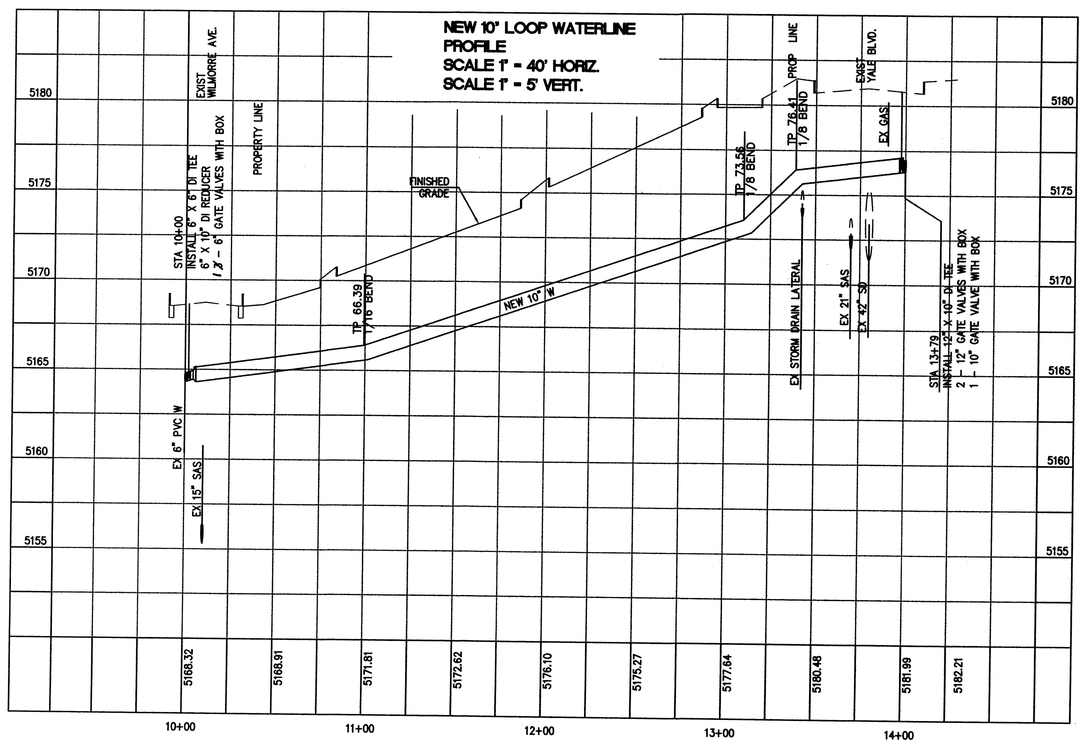
TITLE: HOLIDAY INN YALE
STORMDRAIN LINE
PLAN AND PROFILE

DESIGN REVIEW COMMITTEE: APPROVED FEB 07 2008 DESIGN REVIEW COMMITTEE
CITY ENGINEER APPROVAL: APPROVED APR 22 2008 CITY ENGINEER
LAST DESIGN DATE | MO./DAY/YR. | MO./DAY/YR.

PROJECT NO. 5846.83 | MAP NO. L-15 | SHEET 5 OF 6



NEW 10" WATERLINE LOOP - PLAN
SCALE 1" = 40'



CERTIFICATION OF SUBSTANTIAL COMPLIANCE

I, Larry D. Read, NMPE 10998, of the firm Larry Read & Associates, Inc., A Registered Professional Engineer in the State of New Mexico, do hereby certify that to the best of my knowledge and belief, the the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, excepted as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction and survey information provided by Michael T. Shook. NMPS 13240, of the firm AM Survey.

LAWRENCE D. READ NEW MEXICO 10998 LICENSED PROFESSIONAL ENGINEER

LARRY READ & ASSOCIATES, Inc.
Civil Engineers
2430 Midtown Place NE Suite C
Albuquerque, New Mexico 87107
(505) 237-8421

RECEIVED
NOV 02 2009
HYDROLOGY SECTION

AS BUILT INFORMATION

CONTRACTOR	
WORK STAKED BY	DATE
INSPECTED BY	
ACCEPTANCE	DATE
REDLINES BY	
FIELD VERIFICATION BY	DATE
DRAWINGS CORRECTED BY	DATE

MICROFILM INFORMATION

RECORDED BY	DATE
NO.	

BENCH MARKS

ACS MONUMENT "24-L16" X = AT THE NORTHEAST CORNER OF YALE BOULEVARD AND GIBSON BOULEVARD SE.
05/12/2003 (NAD 1927) ELEVATION 5188.642 (NGVD 29)

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE
1	COMMUNITY SCIENCES CO. BOX 1328 CORRALES, NM 87114 PHONE: (505) 897-0000	05/12/2003

ENGINEER'S SEAL

LAWRENCE D. READ NEW MEXICO 10998 LICENSED PROFESSIONAL ENGINEER

NO.	DATE	REMARKS	BY

REVISIONS

DESIGN

DESIGNED BY	LRA	DATE MAY 2007
DRAWN BY	LRA	DATE MAY 2007
CHECKED BY	LDR	DATE MAY 2007

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

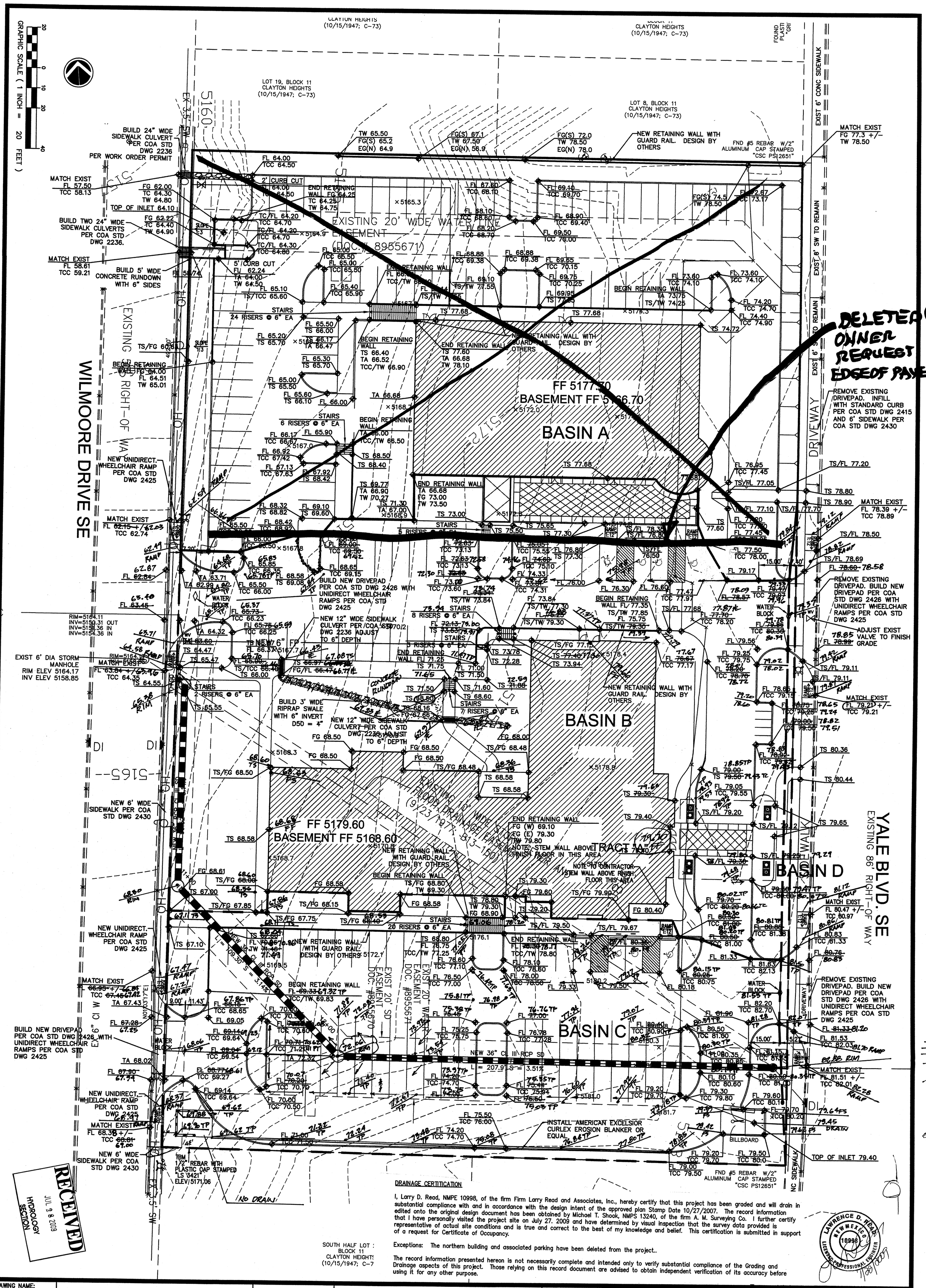
TITLE: HOLIDAY INN YALE
WATERLINE LOOP
PLAN AND PROFILE

DESIGN REVIEW COMMITTEE: APPROVED FEB 07 2008 DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL: APPROVED APR 22 2008 CITY ENGINEER

LAST DESIGN DATE	MO./DAY/YR.	MO./DAY/YR.

PROJECT NO. 5846.83 | MAP NO. L-15 | SHEET 6 OF 6



RECEIVED JUL 28 2009 HYDROLOGY SECTION

DRAINAGE CERTITICATION

I, Larry D. Read, NMPE 10998, of the firm Firm Larry Read and Associates, Inc., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan Stamp Date 10/27/2007. The record information edited onto the original design document has been obtained by Michael T. Shook, NMPS 13240, of the firm A. M. Surveying Co. I further certify that I have personally visited the project site on July 27. 2009 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

SOUTH HALF LOT :
BLOCK 11
CLAYTON HEIGHTS
(10/15/1947; C-7

Exceptions: The northern building and associated parking have been deleted from the project..

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the Grading and Drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

DRAWING NAME: PROTEK_PH1.DWG

SHEET C2 OF 2

HOLIDAY INN EXPRESS
YALE BOULEVARD SE
ALBUQUERQUE, NM

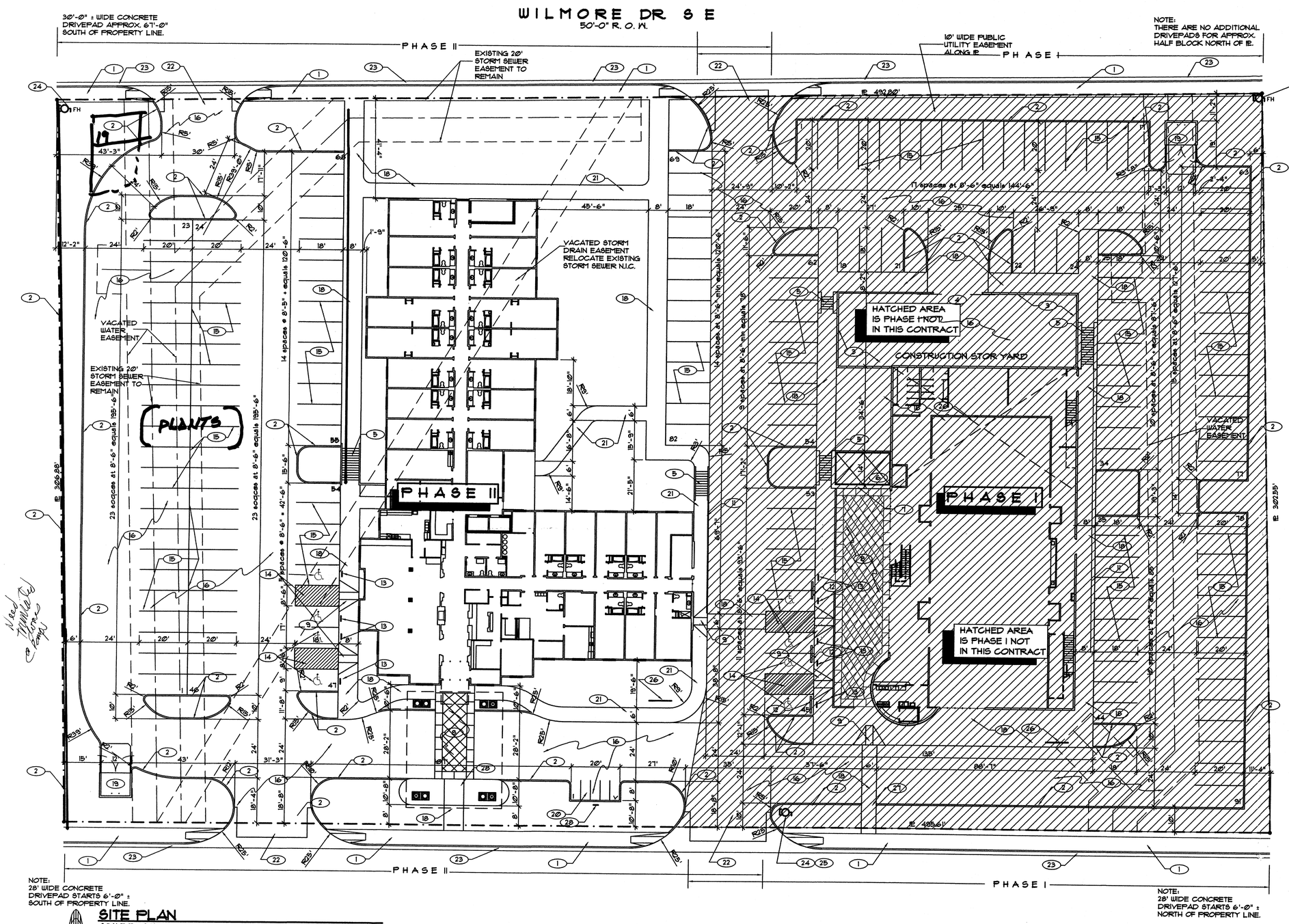
LAWRENCE D. READ NEW MEXICO 10998 LICENSED PROFESSIONAL ENGINEER 7/29/2009

GRADING PLAN

REVISIONS

NO.	DATE	DESCRIPTION	BY
1			
2			
3			
4			

LARRY READ & ASSOCIATES
Civil Engineers
2430 Midtown Place, NE Suite C
Albuquerque, New Mexico 87107
(505) 345-0620 Fax (505) 237-8422



SITE PLAN
SCALE 1" = 20'

NORTH

PHASE II PARKING CALCULATIONS:

GUESTROOMS	100 =	100
TOTAL REQUIRED PHASE II		100
PROVIDED		82
TOTAL PROVIDED PHASE I PLUS PHASE II	82 + 91 =	173
REQUIRED PHASE I PLUS PHASE II	66 + 100 =	168
EXTRA PROVIDED (BOTH PHASES)		9 - 4 = 5 EXTRA
ACCESSIBLE SPACES INCLUDED TOTAL 2 VAN ACCESSIBLE SPACES INCLUDED IN ABOVE		8

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

PHASE I PARKING CALCULATIONS:

BASEMENT STORAGE	3648/2000 =	2
MAIN LEVEL MEETING ROOMS (SERVICE)	5,859/200 =	29
COMMERICAL KITCHEN	943/200 =	5
BAR	321/200 =	2
2ND FLOOR OFFICES	8,747/300 =	30
TOTAL REQUIRED PHASE I		68
PROVIDED		91

0 5' 10' 20' 40'

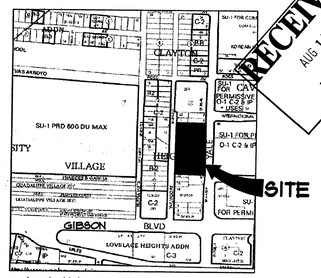
TRAFFIC CIRCULATION LAYOUT APPROVED
Signed 8/20/07 Date

Notes Specific to Sheet

1. 6' WIDE CONCRETE PUBLIC SIDEWALK AT BACK OF CURB TO MATCH ADJACENT PROPERTIES
2. 6" CONCRETE STAND-UP CURB, OR PERMACURB AT CONTRACTOR'S OPTION.
3. 8' CMU WALL -- STUCCO OUTSIDE SURFACE TO MATCH BUILDING. INSTALL EXPANSION JOINTS WHERE WALL ADJOINS BUILDING AND AT 20'-0" MAXIMUM SPACING. (SPACE EQUALLY.)
4. 20' STEEL GATE WITH ELECTRIC CARD LOCK ON METAL TRACKS.
5. CONCRETE STEPS IN SIDEWALK. REFER TO DRAINAGE PLANS FOR ELEVATION DIFFERENCES. TREADS TO BE MINIMUM 12" WIDE AND 7" MAXIMUM HEIGHT. PROVIDE 1 1/2" ϕ PIPE RAIL EACH SIDE 1 1/2" CLEARANCE FROM WALL. CHEEK WALLS WITH ALL EXPOSED SURFACES STUCCOED TO MATCH ADJACENT BUILDING.
6. REFLECTIVE POND. REFER TO SITE ELEMENT DETAIL SHEET FOR DETAILS.
7. WATER FEATURE ON WALL BY OWNER. N. I. C.
8. COLORED CONCRETE. SCORE WITH 1" RADIUS AT 36" DIAGONALLY EACH DIRECTION. 36" BORDER SCORED AT 48" O/C.
9. WHEELCHAIR RAMP WITH 1:12 MAXIMUN SLOPE. APRON SLOPE TO BE 1:10 MAXIMUN SLOPE.
10. 36" WIDE WHEELCHAIR RAMP WITH 6" WIDE CONCRETE CURBS BOTH SIDES.
11. 42 HIGH ORNAMENTAL RAIL. REFER TO SITE ELEMENTS SHEET FOR DETAILS.
12. 6' LONG PRE-CAST CONCRETE PARKING BUMPERS.
13. 12" X 18" BLUE/WHITE HANDICAP SIGN. (1 ON EACH BUILDING WITH VAN ACCESSIBLE ADDED.) MOUNT ON 2" DIAMETER PIPE AT 60" AFG. TO CENTER OF SIGN. REFER TO SITE ELEMENT SHEET FOR DETAIL.
14. 3" WIDE BLUE PAINTED STRIPES AT HANDICAP SPACE AND 6' HANDICAP SIGN ON PAVEMENT.
15. 3" WIDE YELLOW OR WHITE PAINTED PARKING STRIPING.
16. ASPHALT PAVING PER CITY OF ALBUQUERQUE SPECIFICATION.
17. 42" HIGH X 6" CMU WALL. STUCCO ALL EXPOSED SURFACES. PROVIDE EXPANSION JOINTS AT 20' MAXIMUM SPACING AND WHERE ADJOINS DIFFERENT MATERIAL.
18. CONCRETE SIDEWALK PER DIMENSIONS SHOWN.
19. TRASH DUMPSTER ENCLOSURE. REFER TO DRAINAGE PLANS FOR DRAINS. RECYCLE AREA IN LANDSCAPE TO NORTH OF EACH ENCLOSURE.
20. MOTORCYCLE PARKING SPACES.
21. 6' WIDE CONCRETE WALK.
22. PRIVATE ENTRANCE PER COA DETAIL NO. 2426 w/ TRUNCATED DOMES AT WHEELCHAIR RAMPS.
23. EXISTING CONCRETE CURB AND GUTTER.
24. EXISTING FIRE HYDRANT.
25. RELOCATE EXISTING FIRE HYDRANT AS NECESSARY TO AVOID ENTRANCE.
26. BIKE RACK. REFER TO SITE ELEMENT DETAIL SHEET.
27. OMIT CURB AT SIDEWALK.
28. LOWER RAISED ISLAND AT SIDEWALK.
29. SIGN "FOR MOTORCYCLES" SAME CONST. & INSTALLED SAME AS HANDICAP SIGNS.

RECEIVED AUG 14 2007 HYDROLOGY SECTION

Legal Description:
TRACT "A"
CLAYTON HEIGHTS SUBDIVISION
ALBUQUERQUE, NEW MEXICO



VICINITY MAP Map L-15-Z
NO SCALE

RECEIVED AUG 17 2007 HYDROLOGY SECTION

STATE OF NEW MEXICO JAMES N. MEDLEY 8/16/07 REGISTERED ARCHITECT

JIM MEDLEY, Architect
NCARB Certificate No. 35,896
3100 Christine N. E. Albuquerque, NM 87111
email: jmedley@jim-medley-architect.com
Phone (505) 292-3514 Fax (505) 294-5593

Plan No. 04105
Date: August '07
Drawn by: JM
Checked by: JM

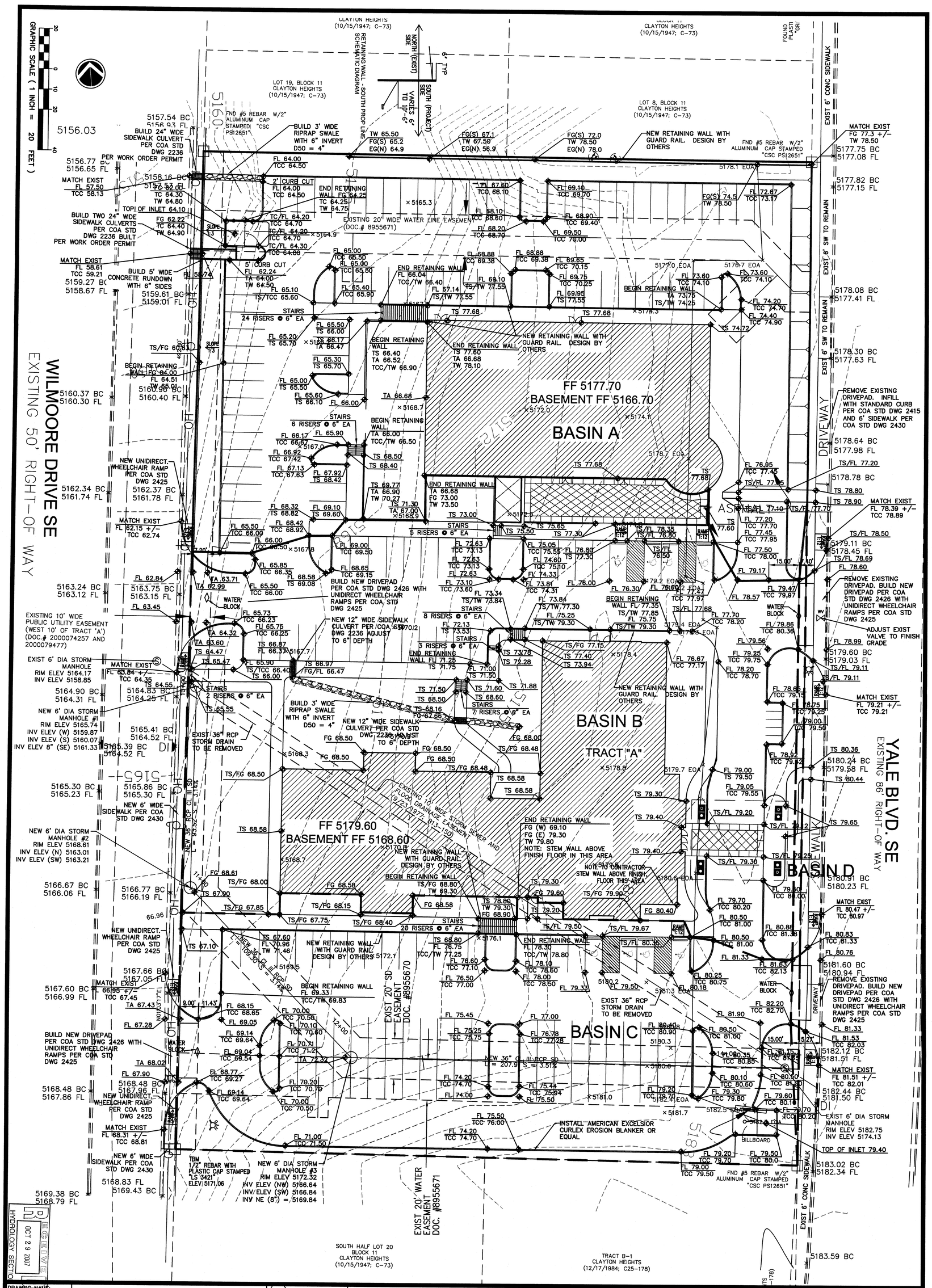
Project:
PHASE II
Holiday Inn EXPRESS
TNJ Group of Companies
Albuquerque, New Mexico

No.	Revision / Issue	Date

SITE PLAN for TRAFFIC CIRCULATION LAYOUT

Sheet Description

Sheet: C1.1



DRAWING NAME: PROTEK_PH1.DWG

SHEET C2 OF 2

HOLIDAY INN EXPRESS
YALE BOULEVARD SE
ALBUQUERQUE, NM

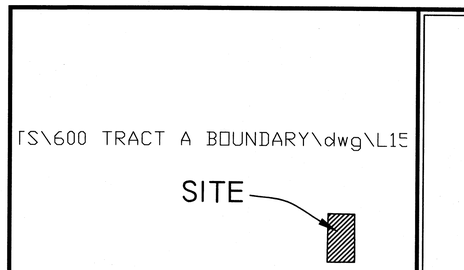
GRADING PLAN

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1			
2			
3			
4			

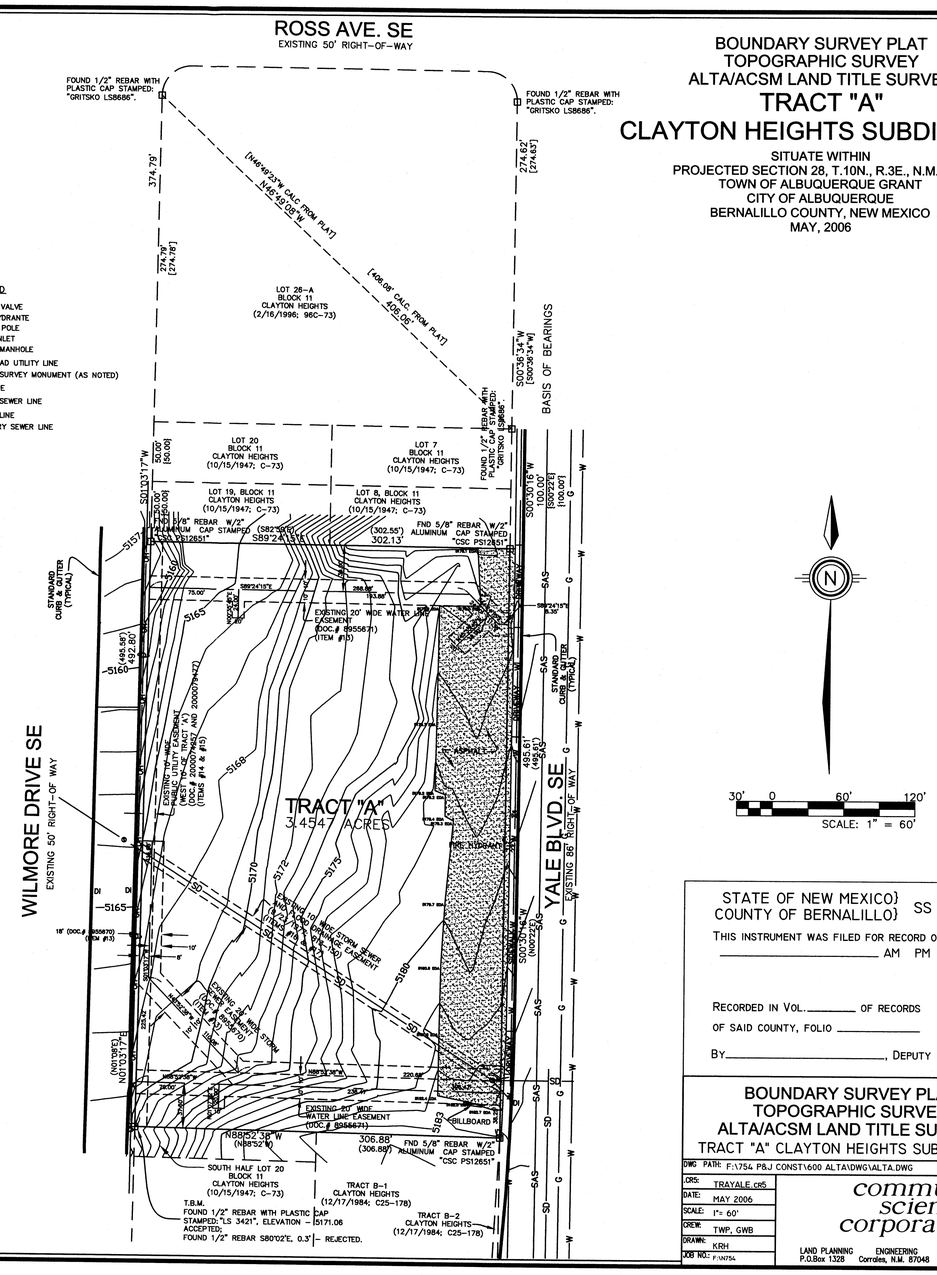
LARRY READ & ASSOCIATES
Civil Engineers
2430 Midtown Place, NE Suite C
Albuquerque, New Mexico 87107
(505) 345-0620 Fax (505) 237-8422

BOUNDARY SURVEY PLAT
TOPOGRAPHIC SURVEY
ALTA/ACSM LAND TITLE SURVEY
TRACT "A"
CLAYTON HEIGHTS SUBDIVISION

SITUATE WITHIN
PROJECTED SECTION 28, T.10N., R.3E., N.M.P.M.,
TOWN OF ALBUQUERQUE GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MAY, 2006



VICINITY MAP
NOT TO SCALE
ZONE ATLAS PAGE L-15-Z



LEGEND

- WATER VALVE
- FIRE HYDRANTE
- UTILITY POLE
- DROP INLET
- STORM MANHOLE
- OVERHEAD UTILITY LINE
- FOUND SURVEY MONUMENT (AS NOTED)
- GAS LINE
- STORM SEWER LINE
- WATER LINE
- SANITARY SEWER LINE

LEGAL DESCRIPTION

TRACT LETTERED "A" OF THE REPLAT OF CLAYTON HEIGHTS, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE REPLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 23, 1977 IN MAP BOOK B13, FOLIO 120.

SURVEY NOTES:

1. THE BASIS OF BEARINGS FOR THIS SURVEY IS THE EASTERLY LINE OF LOT 26-A OF THE PLAT OF LOT 26-A, BLOCK 11, CLAYTON HEIGHTS SUBDIVISION, RECORDED FEBRUARY 16, 1996 IN VOL. 96C, FOLIO 73.
2. BEARINGS AND DISTANCES SHOWN IN PARENTHESES ( ) ARE PER THE RECORD PLAT OF TRACT "A", CLAYTON HEIGHTS SUBDIVISION, RECORDED SEPTEMBER 23, 1977 IN VOL. B13, FOLIO 120.
3. BEARINGS AND DISTANCES IN BRACKETS [ ] ARE PER THE PLAT OF LOT 26-A NOTED IN 1. ABOVE. BEARINGS AND DISTANCES IN BRACKETS [ ] PER THE PLAT OF BLOCKS 11, 12 13 AND 14, CLAYTON HEIGHTS SUBDIVISION RECORDED 10/15/1947, C-73.
4. DOCUMENTS USED:

   A. PLAT OF LOT 26-A NOTED ABOVE.
   B. PLAT OF TRACT "A", CLAYTON HEIGHTS, NOTED ABOVE.
   C. PLAT OF BLOCKS 11, 12, 13 AND 14 OF CLAYTON HEIGHTS SUBDIVISION RECORDED OCTOBER 15, 1947 IN VOL.C, FOLIO 73.
   D. PLAT OF TRACTS B-1 AND B-2, CLAYTON HEIGHTS SUBDIVISION RECORDED DECEMBER 17, 1984 IN VOL. C25, FOLIO 178.
   E. WARRANTY DEED RECORDED AUGUST 15, 2000 AS DOC. NO. 2000079478.
   F. SPECIAL WARRANTY DEED RECORDED AUGUST 21, 2000 AS DOC.# 2000081769.
   G. RIO GRANDE TITLE COMPANY INC. COMMITMENT FOR TITLE INSURANCE FILE NO. 02602493-MH
   H. PNM AND US WEST EASEMENT RECORDED JULY 31, 2000 AS DOC.# 2000074257.
   I. COMCAST EASEMENT RECORDED AUGUST 15, 2000 AS DOC.# 2000079477.
   J. STORM DRAIN EASEMENT RECORDED AS DOC.# 8955670.
   K. WATERLINE EASEMENTS RECORDED AS DOC.# 8955671.

5. TRACT "A" UPC# = 1-015-056-533-076-4-05-07.
6. THE ACS MONUMENT USED FOR THIS TOPOGRAPHICAL SURVEY IS "24-L16", AND IS A 1-3/4" ALUMINUM CAP, STAMPED "ACS BM, 24-L16", EPOXIED ON THE TOP OF THE CONCRETE CURB RETURN, NNE QUADRANT OF YALE AND GIBSON BOULEVARD, S.E. ELEVATION = 5188.642

SUMMARY OF EXCEPTIONS- FILE # 02602493-MH, COMMITMENT # 4

EXCEPTION #	APPLICATION TO SURVEY
1 THRU 3	NO VISIBLE EVIDENCE.
4 THRU 11	NOT SURVEY MATTERS, DO NOT APPLY.
12 THRU 17	APPLY- AS SHOWN HEREON

SURVEYORS CERTIFICATION

CERTIFY TO: 110 SUPPORT LLC, ABQ DOLPHIN LP AND RIO GRANDE TITLE COMPANY, INC

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA, ACSM AND NSPS IN 1999, AND INCLUDES ITEMS 2, 3, 4, 5, 7a, 8, 10, AND 11B OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, NSPS, AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT PROPER FIELD PROCEDURES, INSTRUMENTATION, AND ADEQUATE SURVEY PERSONNEL WERE EMPLOYED IN ORDER TO ACHIEVE RESULTS COMPARABLE TO THOSE OUTLINED IN THE "MINIMUM ANGLE, DISTANCE, AND CLOSURE REQUIREMENTS FOR SURVEY MEASUREMENTS WHICH CONTROL LAND BOUNDARIES FOR ALTA/ACSM LAND TITLE SURVEYS". THIS SURVEY AND THE FIELD SURVEY UPON WHICH IT IS BASED MEET THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS SURVEY IS NOT A LAND DIVISION OR SUBDIVISION AS DEFINED IN THE NEW MEXICO SUBDIVISION ACT. THIS IS A BOUNDARY SURVEY OF AN EXISTING TRACT OR TRACTS.

THOMAS W. PATRICK, DATE
NEW MEXICO PROFESSIONAL SURVEYOR No. 12651

STATE OF NEW MEXICO}
COUNTY OF BERNALILLO} SS

THIS INSTRUMENT WAS FILED FOR RECORD ON
_____ AM PM

RECORDED IN VOL._____ OF RECORDS
OF SAID COUNTY, FOLIO _____

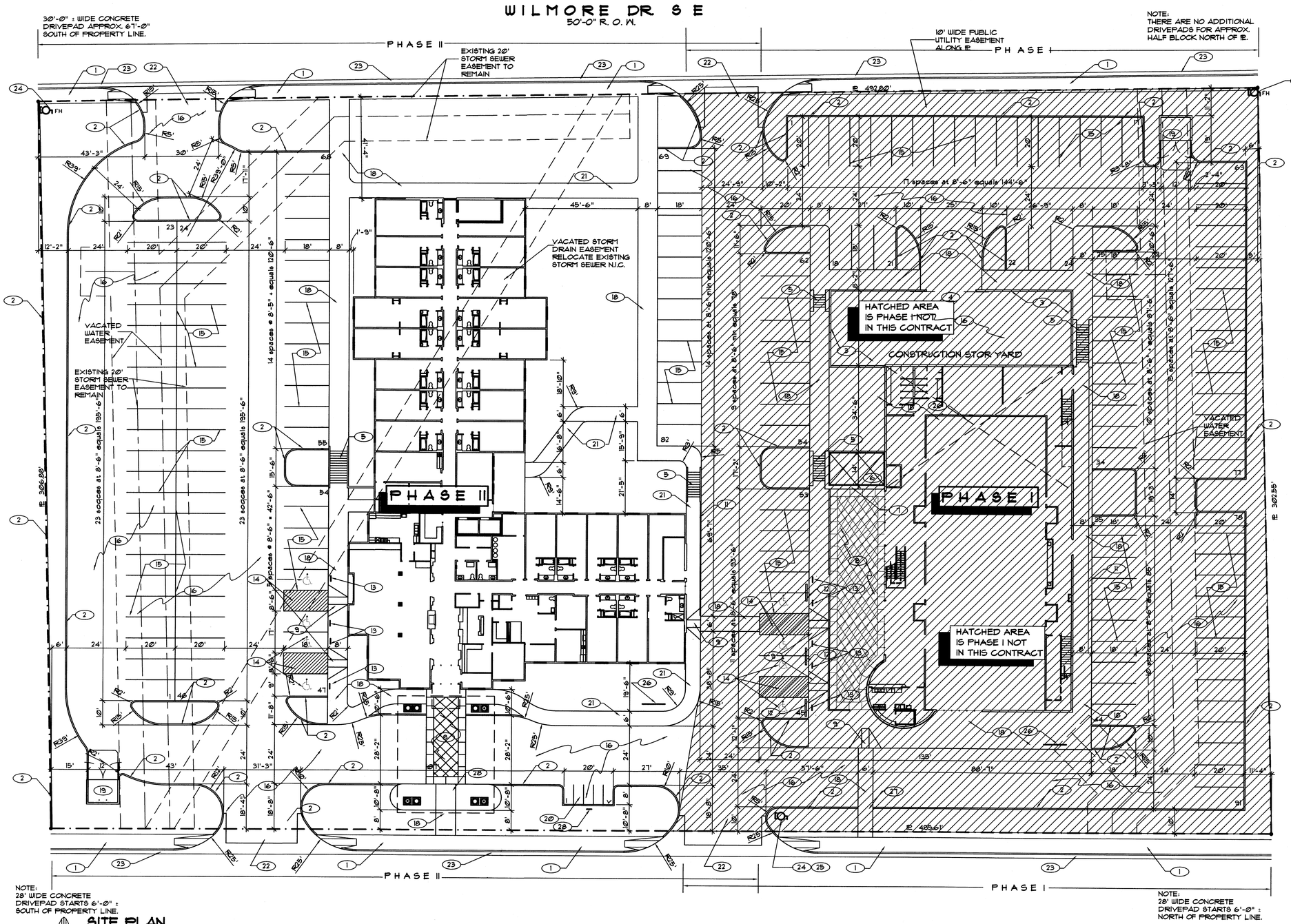
BY_____, DEPUTY

BOUNDARY SURVEY PLAT
TOPOGRAPHIC SURVEY
ALTA/ACSM LAND TITLE SURVEY
TRACT "A" CLAYTON HEIGHTS SUBDIVISION

DWG PATH:	F:\754 P&J CONST\600 ALTA\DWG\ALTA.DWG
CRS:	TRAYALE.crs
DATE:	MAY 2006
SCALE:	1" = 60'
CREW:	TWP, GWB
DRAWN:	KRH
JOB NO.:	F:\N754

community sciences corporation

LAND PLANNING ENGINEERING SURVEYING
P.O.Box 1328 Corrales, N.M. 87048 (505)897-0000



SITE PLAN

SCALE 1" = 20'

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

PHASE II PARKING CALCULATIONS:

GUESTROOMS	100	= 100
TOTAL REQUIRED PHASE II		100
PROVIDED		82
TOTAL PROVIDED PHASE I PLUS PHASE II	82 + 91	= 173
REQUIRED PHASE I PLUS PHASE II	66 +100	= 168
EXTRA PROVIDED (BOTH PHASES)		9
ACCESSIBLE SPACES INCLUDED TOTAL 2 VAN ACCESSIBLE SPACES INCLUDED IN ABOVE		8

PHASE I PARKING CALCULATIONS:

BASEMENT STORAGE	3648/2000	= 2
MAIN LEVEL MEETING ROOMS (SERVICE)	5,859/200	= 29
COMMERICAL KITCHEN	943/200	= 5
BAR	321/200	= 2
2ND FLOOR OFFICES	8,747/300	= 30
TOTAL REQUIRED PHASE I		68
PROVIDED		91

0 5' 10' 20' 40'

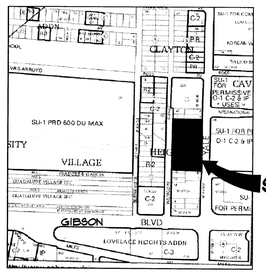
TRAFFIC CIRCULATION LAYOUT APPROVED
Signed 8/20/07 Date

Notes Specific to Sheet

1. 6' WIDE CONCRETE PUBLIC SIDEWALK AT BACK OF CURB TO MATCH ADJACENT PROPERTIES
2. 6" CONCRETE STAND-UP CURB, OR PERMACURB AT CONTRACTOR'S OPTION.
3. 8' CMU WALL -- STUCCO OUTSIDE SURFACE TO MATCH BUILDING. INSTALL EXPANSION JOINTS WHERE WALL ADJOINS BUILDING AND AT 20'-0" MAXIMUM SPACING. (SPACE EQUALLY.)
4. 20' STEEL GATE WITH ELECTRIC CARD LOCK ON METAL TRACKS.
5. CONCRETE STEPS IN SIDEWALK. REFER TO DRAINAGE PLANS FOR ELEVATION DIFFERENCES. TREADS TO BE MINIMUM 12" WIDE AND 7" MAXIMUM HEIGHT. PROVIDE 1 1/2" ϕ PIPE RAIL EACH SIDE 1 1/2" CLEARANCE FROM WALL. CHEEK WALLS WITH ALL EXPOSED SURFACES STUCCOED TO MATCH ADJACENT BUILDING.
6. REFLECTIVE POND. REFER TO SITE ELEMENT DETAIL SHEET FOR DETAILS.
7. WATER FEATURE ON WALL BY OWNER. N. I. C.
8. COLORED CONCRETE. SCORE WITH 1" RADIUS AT 36" DIAGONALLY EACH DIRECTION. 36" BORDER SCORED AT 48" O/C.
9. WHEELCHAIR RAMP WITH 1:12 MAXIMUN SLOPE. APRON SLOPE TO BE 1:10 MAXIMUN SLOPE.
10. 36" WIDE WHEELCHAIR RAMP WITH 6" WIDE CONCRETE CURBS BOTH SIDES.
11. 42 HIGH ORNAMENTAL RAIL. REFER TO SITE ELEMENTS SHEET FOR DETAILS.
12. 6' LONG PRE-CAST CONCRETE PARKING BUMPERS.
13. 12" X 18" BLUE/WHITE HANDICAP SIGN. (1 ON EACH BUILDING WITH VAN ACCESSIBLE ADDED.) MOUNT ON 2" DIAMETER PIPE AT 6'-0" A.F.G. TO CENTER OF SIGN. REFER TO SITE ELEMENT SHEET FOR DETAIL.
14. 3" WIDE BLUE PAINTED STRIPES AT HANDICAP SPACE AND 6' HANDICAP SIGN ON PAVEMENT.
15. 3" WIDE YELLOW OR WHITE PAINTED PARKING STRIPING.
16. ASPHALT PAVING PER CITY OF ALBUQUERQUE SPECIFICATION.
17. 42" HIGH X 6" CMU WALL. STUCCO ALL EXPOSED SURFACES. PROVIDE EXPANSION JOINTS AT 20' MAXIMUM SPACING AND WHERE ADJOINS DIFFERENT MATERIAL.
18. CONCRETE SIDEWALK PER DIMENSIONS SHOWN.
19. TRASH DUMPSTER ENCLOSURE. REFER TO DRAINAGE PLANS FOR DRAINS. RECYCLE AREA IN LANDSCAPE TO NORTH OF EACH ENCLOSURE.
20. MOTORCYCLE PARKING SPACES.
21. 6' WIDE CONCRETE WALK.
22. PRIVATE ENTRANCE PER COA DETAIL NO. 2426 w/ TRUNCATED DOMES AT WHEELCHAIR RAMPS.
23. EXISTING CONCRETE CURB AND GUTTER.
24. EXISTING FIRE HYDRANT.
25. RELOCATE EXISTING FIRE HYDRANT AS NECESSARY TO AVOID ENTRANCE.
26. BIKE RACK. REFER TO SITE ELEMENT DETAIL SHEET.
27. OMIT CURB AT SIDEWALK.
28. LOWER RAISED ISLAND AT SIDEWALK.
29. SIGN "FOR MOTORCYCLES" SAME CONST. & INSTALLED SAME AS HANDICAP SIGNS.

RECEIVED AUG 14 2007 HYDROLOGY SECTION

Legal Description:
TRACT "A"
CLAYTON HEIGHTS SUBDIVISION
ALBUQUERQUE, NEW MEXICO



VICINITY MAP Map L-15-Z
NO SCALE

PHASE II

STATE OF NEW MEXICO JAMES N. MEDLEY 8/8/07 REGISTERED ARCHITECT

JIM MEDLEY, Architect
NCARB Certificate No. 35,885
3100 Christine N. E. Albuquerque, NM 87111
email: jmedley@jim-medley-architect.com
Phone (505) 292-3514 Fax (505) 294-5593

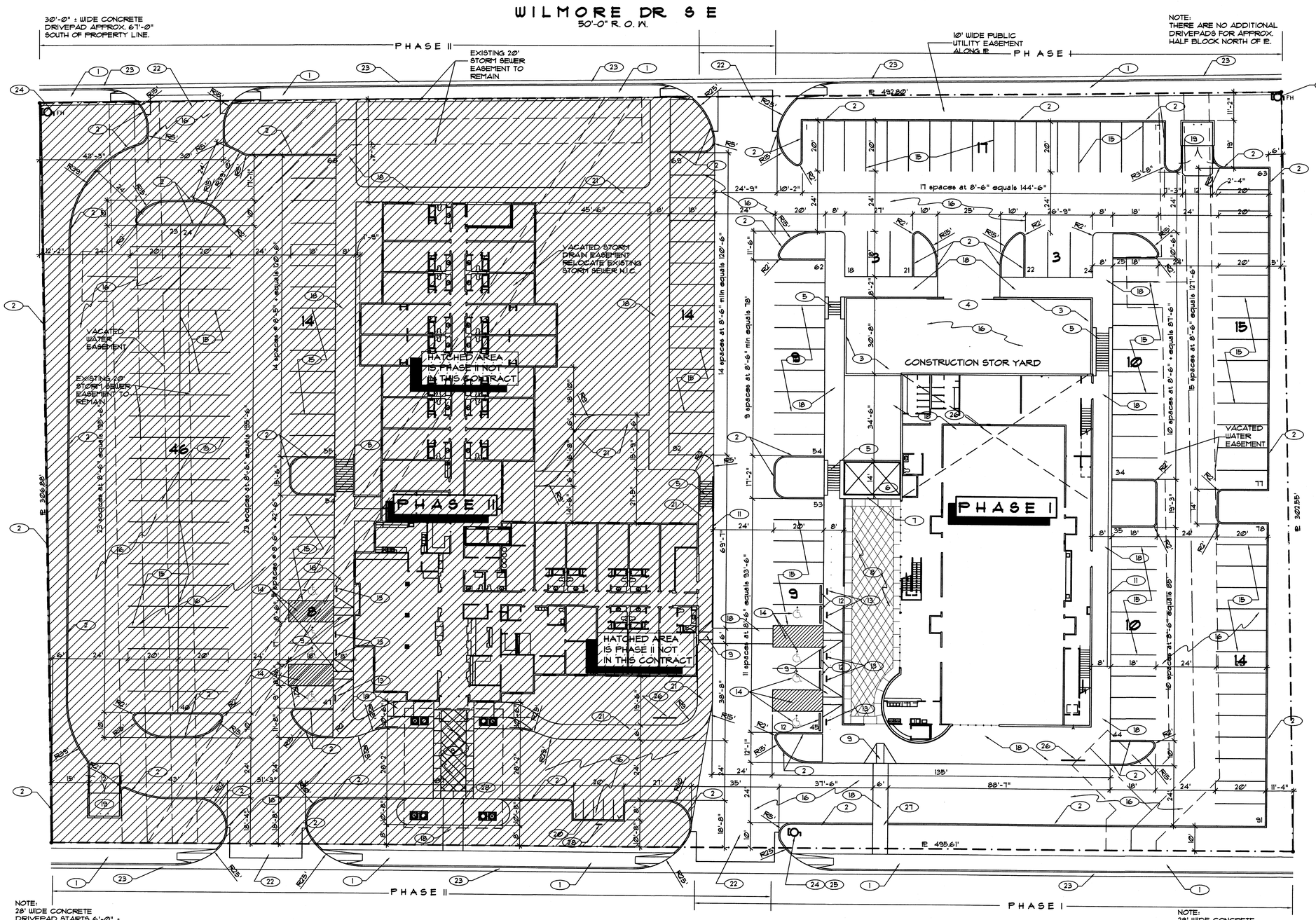
Plan No. 04105
Date: August '07
Drawn by: JM
Checked by: JM

Project: Holiday Inn EXPRESS TNJ Group of Companies Albuquerque, New Mexico

No.	Revision / Issue	Date

Sheet Description: SITE PLAN for TRAFFIC CIRCULATION LAYOUT

Sheet: C1.1



SITE PLAN

SCALE 1" = 20'

NORTH

PHASE II PARKING CALCULATIONS:

GUESTROOMS	100 =	100
TOTAL REQUIRED PHASE II		100
PROVIDED		82
TOTAL PROVIDED PHASE I PLUS PHASE II	82 + 91 =	173
REQUIRED PHASE I PLUS PHASE II	66 +100 =	168
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0 5' 10' 20' 40'

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ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

Notes Specific to Sheet

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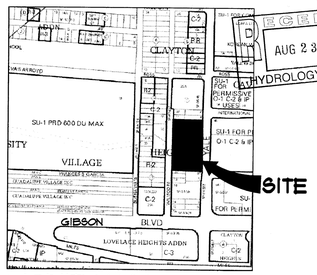
TRAFFIC CIRCULATION LAYOUT APPROVED
Signed
Date 10/22/08

Legal Description:
TRACT "A"
CLAYTON HEIGHTS SUBDIVISION
ALBUQUERQUE, NEW MEXICO

RECEIVED AUG 24 2007 HYDROLOGY SECTION

RECEIVED AUG 23 2007 HYDROLOGY SECTION



VICINITY MAP Map L-15-Z
NO SCALE

STATE OF NEW MEXICO
JAMES N. MEDLEY
NM 12342
8/23/07
REGISTERED ARCHITECT

JIM MEDLEY, Architect
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Plan No.	04105
Date:	August '07
Drawn by:	JNM
Checked by:	JNM

Project:
Holiday Inn EXPRESS
TNJ Group of Companies
Albuquerque, New Mexico

PHASE I

No.	Revision / Issue	Date:
1	PERMIT REVIEW COMMENTS	8/3/07

SITE PLAN for TRAFFIC CIRCULATION LAYOUT

Sheet:
C1.1