

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

June 16, 2015

Mr. Cory Greenfield
Campoverde Architecture
709 16th St., NW
Albuquerque, NM 87104

**Re: The 377
2027 Yale Ave., SE
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 6-9-15-15 (L15-D030)**

Dear Mr./Ms.,

The TCL submittal received 6-10-15 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk



City of Albuquerque

Planning Department

Development & Building Services Division DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 02/2013)

Project Title: The 377 Building Permit #: T201591312 City Drainage #: _____
 DRB#: _____ EPC#: _____ Work Order#: _____
 Legal Description: Block 12, Clayton Hts. Subdivision, Lots 7+8+13A+14A
 City Address: 2027 YALE AVE SE

Engineering Firm: _____ Contact: _____
 Address: _____
 Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____
 Address: _____
 Phone#: _____ Fax#: _____ E-mail: _____

* Architect: CAMPOVERDE ARCHITECTURE Contact: CORY GREENFIELD
 Address: 709 16th St NW, APO 87104
 Phone#: 505 301 6883 Fax#: _____ E-mail: cory@campoverdearchitecture.com

Surveyor: _____ Contact: _____
 Address: _____
 Phone#: _____ Fax#: _____ E-mail: _____

Contractor: TOP NOTCH CUSTOM BUILDERS INC Contact: CHRIS SANCHEZ
 Address: 04 CALLE DE BOSQUE, BELEN NM 87002
 Phone#: 505 401 6180 Fax#: 1 E-mail: _____

TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1st SUBMITTAL
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- ENGINEER'S CERT (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEER'S CERT (TCL)
- ENGINEER'S CERT (DRB SITE PLAN)
- ENGINEER'S CERT (ESC)
- SO-19
- OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- SIA/FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM)
- CERTIFICATE OF OCCUPANCY (TCL TEMP)
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- GRADING CERTIFICATION
- SO-19 APPROVAL
- ESC PERMIT APPROVAL
- ESC CERT. ACCEPTANCE
- OTHER (SPECIFY)

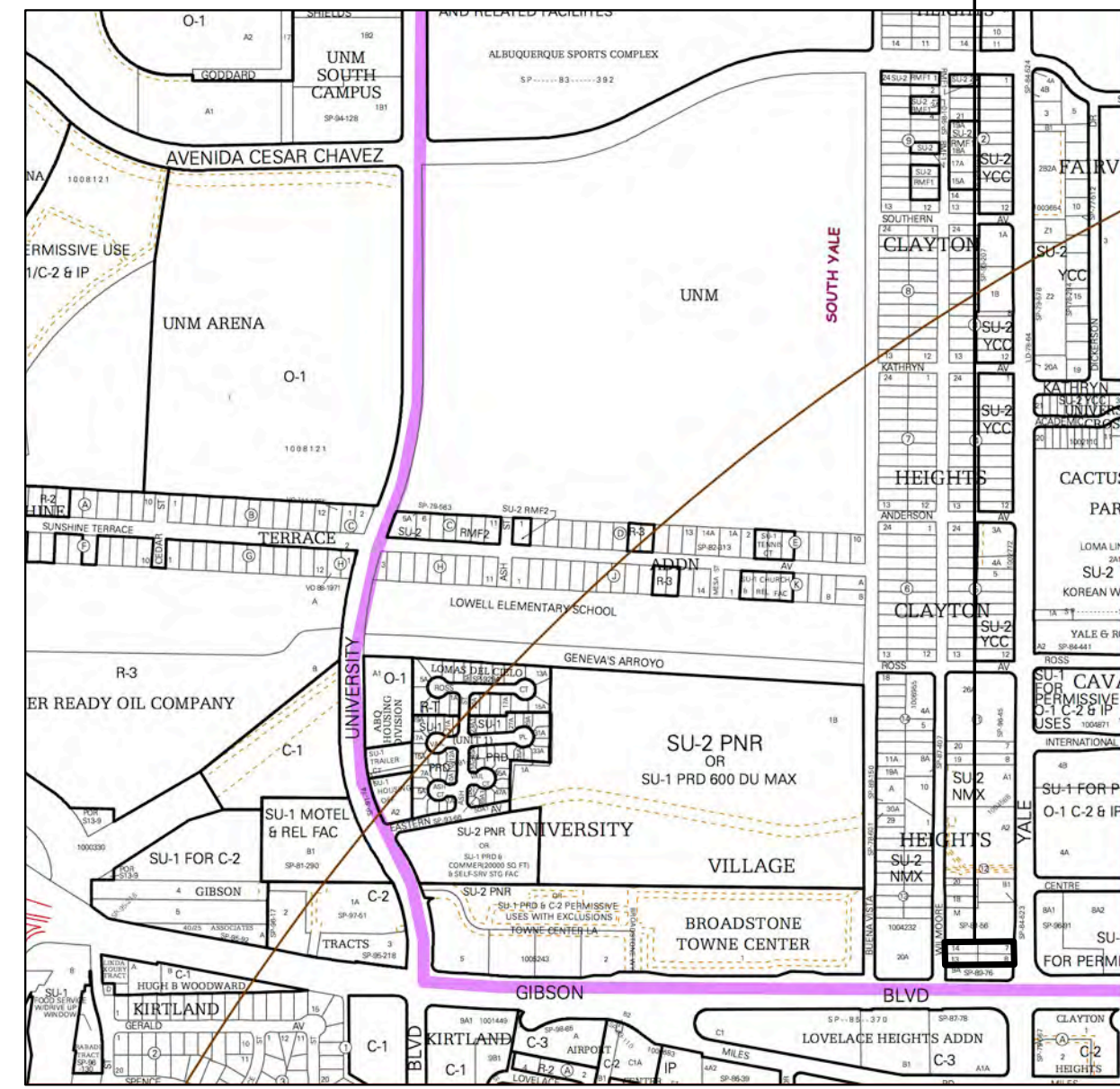
WAS A PRE-DESIGN CONFERENCE ATTENDED: Yes No Copy Provided
 DATE SUBMITTED: 6/9/15 By: Cory Greenfield

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, an scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the followin

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

PROJECT SITE

2027 Yale SE Albuquerque, NM 87106 BLOCK 12, CLAYTON HEIGHTS SUBD LOTS 7+8+13A+14A
 Land Use Zone NMX (SU-2) Per South Yale SDP
 Site Area 0.66 AC
 Zone Map Page L-15
 PRT Meeting PA# 15-071



LANDSCAPE MATERIALS GENERAL NOTES

SETBACK AND PARKING TREES (Choose 1 type)

- Blue Palo Verde - *ceratium floridum*
- Arizona Ash - *fraxinus velutina* - 30ft Tx35ft W
- Little Leaf Ash - *fraxinus greggii* - 25ft Tx20ft W
- Japanese Maple - *aceracea palmatum*
- Fruitless Plum - *prunella americana*
- New Mexico Privet - *foresteria neomexicana*
- Smoke Tree - *cotinus coggygria*
- Texas Mountain Laurel - *sophora secundiflora*
- Chinese Pistache - *pistacia chinensis*
- Chitalpa -

- SELECTION CRITERIA:**
- 20ft diam, airy canopy w/ 14ft of headroom at maturity
 - Partial sun (morning)
 - Drought-tolerant
 - No fruit
 - Low-maintenance
 - Deep-rooting

SETBACK AREA SHRUBS (choose 1 or 2 types)

- Blue Fescue - *festuca glauca siskiyou*
- Blue Oat Grass - *helictotichon sempervirens*
- Deer Grass - *muhlenbergia rigens*
- Black Dalea - *dalea frutescens*

- SELECTION CRITERIA:**
- Dense road noise buffer from 0ft-3ft high
 - Can have high shoots
 - Drought tolerant
 - Low-maintenance
 - Hardy
 - Mixes well w/ large boulders

ROCK BEDS (FOR YALE STREET EDGE)

- Rough cobble - 4" & over
- Large boulders (sitting height at sidewalk)

- SELECTION CRITERIA:**
- Discourage walking through landscape bed
 - Color coordinate w/ building, striping, plants, or paving

- Pattern indicates permeable surface.
- EXISTING FIRE HYDRANT - The closest Fire Hydrant is located on the public ROW sidewalk approx. 40 ft south of the southeast lot corner.
- All grade elevations shown relative to Existing Finish Floor at 100'-0". All elevations shown are approximate to indicate existing Grading and Drainage conditions, which are to remain.
- CLEAR SIGHT TRIANGLE AT EXISTING EAST DRIVEPAD - Per DPM Vol 2 Ch23, Sec 6.B.12.
- ASPHALT PAVING - Replace as required w/ 2" asphalt concrete on a prime coat over 4" compacted subgrade.
- ROOF PENETRATIONS - Repair/patch & seal roof as required at all new roof penetrations.
- DELIVERIES - Delivery vehicles will use main Yale site entry, one-way parking access aisle and west site exit. Deliveries will be performed outside of business hours.

PROJECT TYPE: TENANT IMPROVEMENT ON 0.66 ACRE SITE

A Tenant Improvement to an existing 8240 sf structure for the creation of a taproom and small brewery. Demolition of a portion of the structure for the purpose of an exterior patio. Resurfacing of site areas for required landscape and parking.

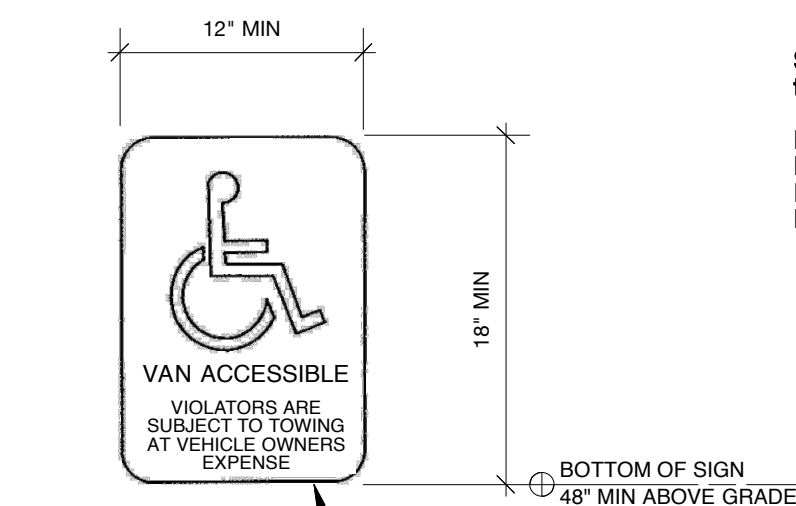
PARKING REQUIREMENTS

Per Page 25 of South Yale SDP, Non Residential required spaces:
 1 per 1000sf over 3000sf for a 8746sf facility:
 SPACES REQUIRED = 5746/1000 = 5.746
 6 spaces, including 1 HC space REQ
 26 Total car spaces provided (6 paved +20 overflow) including 1 HC Space
 Per Zoning Ordinance 14-16-2-15-A-2 required spaces:
 1 Motorcycle Space Required - *Provided*
 2 Bicycle Parking Space Required - *Provided*
 Bicycle spaces shall be racks or lockers anchored so that they cannot be easily removed. Racks shall be so designed that both wheels and the frame of a bicycle can be locked securely to it with a heavy chain, cable, or padlock.

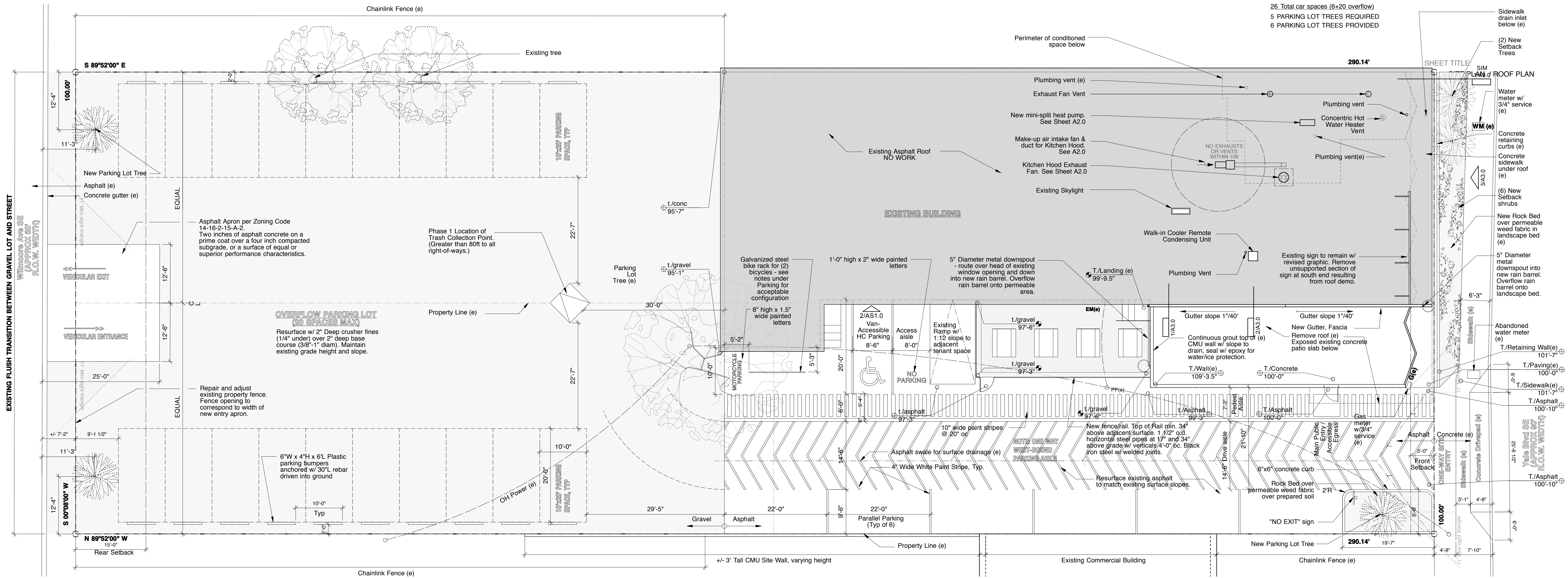
NOTE: OVERFLOW PARKING AREA is provided over and above minimum parking requirements. See PRT meeting notes PA# 15-071 for comments stating minimum requirements.

PARKING LANDSCAPE REQUIREMENTS

Per Page 25 of South Yale SDP, Non-Residential Parking lot landscape requirements: 1 tree minimum for up to 4 spaces, plus 1 tree for every 6 additional spaces.
 26 Total car spaces (6+20 overflow)
 5 PARKING LOT TREES REQUIRED
 6 PARKING LOT TREES PROVIDED



EXISTING R.O.W. DIMENSIONS Scale: 1" = 100 FT 3 NEW PARKING SIGN NTS 2



SITE PLAN / ROOF PLAN Scale: 1" = 10 FT 1

The 377
 2027 Yale Ave SE
 Albuquerque, NM 87106
 CAMP OVER
 ARCHITECTURE
 709 16th street nw
 albuquerque, nm 87104
 505/301.6883
 cory@campoverarchitecture.com

DATE: 9 JUN 2015
 DRAWN BY: CAG
 PHASE: TCL SUBMITTAL
 REVISED:

SHEET NUMBER:

AS1.0

PRE-APPLICATION REVIEW TEAM (PRT) MEETING

PA# 15- 071

Date: 5.5.15

Time: 2:15 PM

1. AGENCY REPRESENTATIVES PRESENT AT MEETING

Planning: Kym Dicome Other: _____
Transportation: Gary Sandoval Other: _____
Code Enforcement: Ben McIntosh Other: _____
Fire Marshall: Antonio Chinchilla Other: _____

2. TYPE OF APPLICATION ANTICIPATED / APPROVAL AUTHORITY

- Zone Map Amendment EPC Approval City Council Approval
 Sector Dev. Plan Amendment EPC Approval City Council Approval
 Site Dev. Plan for Subdivision EPC Approval DRB Approval Admin Approval
 Site Dev. Plan for Bldg. Permit EPC Approval DRB Approval Admin Approval
 Other BUILDING PERMIT

3. SUMMARY OF PRT DISCUSSION:

Current Zoning: SU-2/NMX
Applicable Plans: SOUTH YALE SECTOR DEVELOPMENT PLAN
Applicable Design Regulations: _____
Other Applicable Regulations: _____
Previously approved site plans/project #s: _____
Proposed Use/Zone: _____
Requirements for application: (R-270-1980, Notification, as-built drawings, TIS, Check Lists, Other)

Handouts Given:

Zone Map Amendment Process R-270-1980 AA Process EPC Schedule

Further input needed: (Sketch Plat Review @ DRB, DRT, ZEO, ONC, pre-application facilitated meeting, other)

Additional Notes:

* FIRST PHASE OF PROJECT TO DEVELOP (REMODEL) 2600 SF OF THE 8800 SF BLDG AS A TAPROOM. IF JUST T.I., DOES NOT REQUIRE COMPLIANCE W/ GENERAL DEVELOPMENT REGS OF S. YALE SDP. EVEN IF FACADE IMPROVEMENTS ARE PROPOSED, DO NOT HAVE TO COMPLY (PG 14 BYSDP SECTION 3.2

4. SIGN & DATE TO VERIFY ATTENDANCE & RECEIPT OF THIS SUMMARY

[Signature]
PRT CHAIR

[Signature]
APPLICANT OR AGENT

***Please Note: PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY: THEY ARE NON-BINDING AND DO NOT CONSTITUTE ANY KIND OF APPROVAL. Statements regarding Zoning are not Certificates of Zoning. Additional research may be necessary to determine the exact type of application and/or process needed. It is possible that factors unknown at this time and/or thought of as minor could become significant as the case progresses.

GOES STRAIGHT TO BUILDING PERMIT.

MAX ZONE CATEGORY = R3 + C-2 PERMISSIVE.

APPLICANT QUESTION:

- ① CAN THEY CONTINUE TO ACCESS SITE + PROVIDE PARKING OFF WHITMOORE? IT HAS NO CURB/S/W. **YES** MAY WANT TO MAKE ACCESS PR
- ② CAN THEY PLACE PARKING BUMPERS IN THE UNIMPROVED YARD GRAVEL AREA AS OVERFLOW? GRAVEL/SF CRUSHER FINE. TO ONEWA
- ③ CAN YOU PARK IN REAR SETBACK AREA? NO. 11" FOOT SETBACK TO WHITMOORE FROM R + ACCESS. WI ACCESS
- ④ WHERE TO FIND DRAWINGS THAT SHOW P/W? MUST BE SUPPLIED BY LANDLORD, HAVE AN ALTA SURVEY PREPARED BY LAND SURVEYOR.

PROPOSAL:

DISCUSSION OF ADA PARALLEL PARKING SPACE. REQUIRES 1 VAN + 1 CAR SPACE.

ACCESS FOR FM = MIN OF 20'. NOT SPRINKLED.

OCCUPANT - 53 → NO ISSUE.

20' PARKING SPACE — MORE THAN MUST HAVE PAVED SURFACE (REQ'MENT · 14.16.2.15 (12)A) ZC. LESS THAN 20. (3/8") CRUSHER FINE/GRAVEL MIN.

TRAFFIC - GAVE ADA (ACCESSIBLE PARKING CHECKLIST)

WIDTH OF PED. ACCESS FROM PARKING AREA MUST BE MIN OF 6' (14.16.3.1)

IF THEY PAVE PARKING LOT, WITH THEY HAVE TO ADD S/W?

IF REPLAT, INFRASTRUCTURE LIST MAY BE REQUIRED. GO TO DRB FOR SKETCH PLAT FOR DETAIL.

→ NO AT ACCESS + R. 11'

TOL SUBMITAL - SHOW DUMPSTER LOCATION.

(TRAFFIC CIRCULATION LAYOUT)

BUDG WTD SIGNAGE. OK AS IS IF JUST CHANGE COPY OUT. DO NOT DO ANYTHING TO STRUCTURE

From: **Ortiz, Monica** mortiz@cabq.gov
 Subject: RE: PRT Meeting Notes May 5,2015
 Date: May 29, 2015 at 11:48
 To: Cory Alexander Greenfield cory@campoverdearchitecture.com
 Cc: Michel, Racquel M. rmichel@cabq.gov, Harmon Rita T. rharmon@cabq.gov

Cory,

Here is the Drainage Transportation Information Sheet (DTIS) application you will need to fill out. Attach Your DTIS to two paper copies of the TCL. You will need to submit this paper submittal to Transportation at the Plaza Del Sol Building on the Ground floor West. An electronic copy of your submittal will also need to be submitted as well. Please send the electronic copy to PLNDRS@cabq.gov. If you have any questions please feel free to give me a call. Thanks

Grading and Drainage requirement: there will not be a requirement for grading and drainage for the over flow parking area. The total cubic yards of material you will be utilizing is less than 500 cubic yards of material that would require a grading and drainage.

Monica Ortiz

Planning Department – Transportation & Hydrology
 Development & Building Services Division
 600 2nd St. NW, Suite 201
 Albuquerque, NM 87102
 t 505-924-3981
 f 505-924-3864

Traffic Circulation, Access and Parking Layout Checklist

Category	
General Information & Notes	1 Show vicinity map with zone atlas page number.
	2 Label type and size of development on plan.
	3 Labeling of Setback Requirements for Building/Size of development
	4 Labeling of Parking Space Requirements that are required by Zoning
	5 Specify City Standard Drawing Number when applicable in R/W (sidewalk, pmvt., driveway, drivepad, etc.)
	6 Include copy of shared access agreement with adjacent property owner, if applicable.
	7 Work within Public Right-of-way requires DRC-approved plans.
	8 Include a minimum of 2 copies of "Traffic Circulation Layout" for approval.
	9 Include labeling of address/legal description of development.
Drafting	10 Plan must be stamped, signed, and dated by a P.E. or R.A.
	11 TCL must be on a 24" x 36" Sheet with minimum 1-inch margins with a north arrow shown.
	12 Acceptable Scales (engineering scales) : 1"=50', 1"=20', 1"=40', 1"=50'
	13 Acceptable Scales: 1"=100' (overall layouts only)
Existing Conditions for Streets	14 Are you able to tell proposed improvements from existing improvements easily? (Line weights, labels)
	15 Identify street right-of-way widths and pavement widths and medians for adjacent streets.
	16 Identify existing adjacent access easements and adjacent property lines along with dimensions.
	17 Identify existing and proposed on-site buildings, doors, sidewalks, structures, walls, drivepads, curb cuts, existing curb, and anything that influences traffic circulation.
Proposed Conditions for Parking Lot Spaces	18 Clearly show existing sidewalk and handicapped ramps within the public right-of-way.
	19 Are existing adjacent sidewalks in acceptable shape? Is any replacement needed?
	20 List width and length for all parking spaces.
	21 Parking Spaces cannot cross over property lines.
	22 Reference NMBC Table 1106.1- F of Accessible Pkg. Spaces/Van Accessible Pkg. Spaces Required
	23 Compact Parking Spaces may account for 1/3 of spaces if #spaces >20 (Page 23-84).
	24 Handicapped spaces must be min. width of 8.5 feet wide and 18 feet long.
	25 Handicapped spaces must have 8-foot wide van accessible aisle with "No Parking" labeled.
	26 Label compact parking spaces by marking "Compact".
	27 Required language on handicapped signage per 66-7-353.4C NMSA containing language "Violators are Subject to a Fine and/or Towing".
28 ADA accessible aisle shall have "No Parking" in capital letters, 1-foot high and 2-inches wide at rear of parking space.	
29 On-Street parking allowance to fulfill zoning's parking requirements must be requested and approved by Kristal prior to TCL approval. (Businesses will only be granted 50% credit for available street parking.)	
30 Five-foot keyway required for dead-end parking aisles.	
31 Parking Lots with 100 or more spaces must have landscaped islands at the ends.	
32 Minimum motorcycle parking per off-street parking spaces (Zoning Code, 14-16-3-1, IC).	
33 Required bicycle parking within 300 feet of use for residential uses, schools, 14-16-3-1 (B)).	
Other Notes	Check Location of Drives with proximity to intersection, checking classification of nearby streets - Page 23-68, and also check for sufficient distance between proposed driveway and existing driveway on adjacent property.