

CITY OF ALBUQUERQUE



October 20, 2016

Mr. Cory Greenfield
Campoverde Architecture
709 16th St., NW
Albuquerque, NM 87104

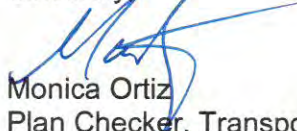
Re: The 377 - 2027 Yale Ave., SE
Request for Certificate of Occupancy- Transportation Development
Architect's Stamp dated 6-09-15 (L15D030)
Certification dated 09-29-16

Dear Mr. Greenfield,

Based upon the information provided in your submittal received 10-20-16, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505) 924-3981.

Sincerely,


Monica Ortiz
Plan Checker, Transportation & Hydrology
Development Review Services

mao via: email
C: CO Clerk, File

TRAFFIC CERTIFICATION FOR THE 377
SEPTEMBER 29, 2016

This certification is submitted in support of a request for Certificate of Occupancy.

I, Cory Greenfield, NMRA of the firm Campverde Architecture, LC certify that the project for The 377 at 2027 Yale Blvd SE is in substantial compliance with and in accordance with the design intent of the TCL approved plan dated 9 June 2015 with City of Albuquerque Traffic Approval Stamped on 16 June 2015. I have obtained the record information edited onto the original design and certify, having personally visited the project site on 23 September 2016, that upon visual inspection the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief.

The following exceptions and/or qualifications exist:

As-Built changes shown on TCL/Site Plan AS1.0:

*At Overflow Parking Lot (parking spaces in excess of required parking count as previously approved):
Parking bumpers deleted. Added railroad ties with landscape bed. Width of parking aisle changed to 50'.
Refuse bin relocated to east end of parking aisle (location is approved by Solid Waste). Low earth berm added to east end of parking.*

The following deficiencies and/or required corrections exist:

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



