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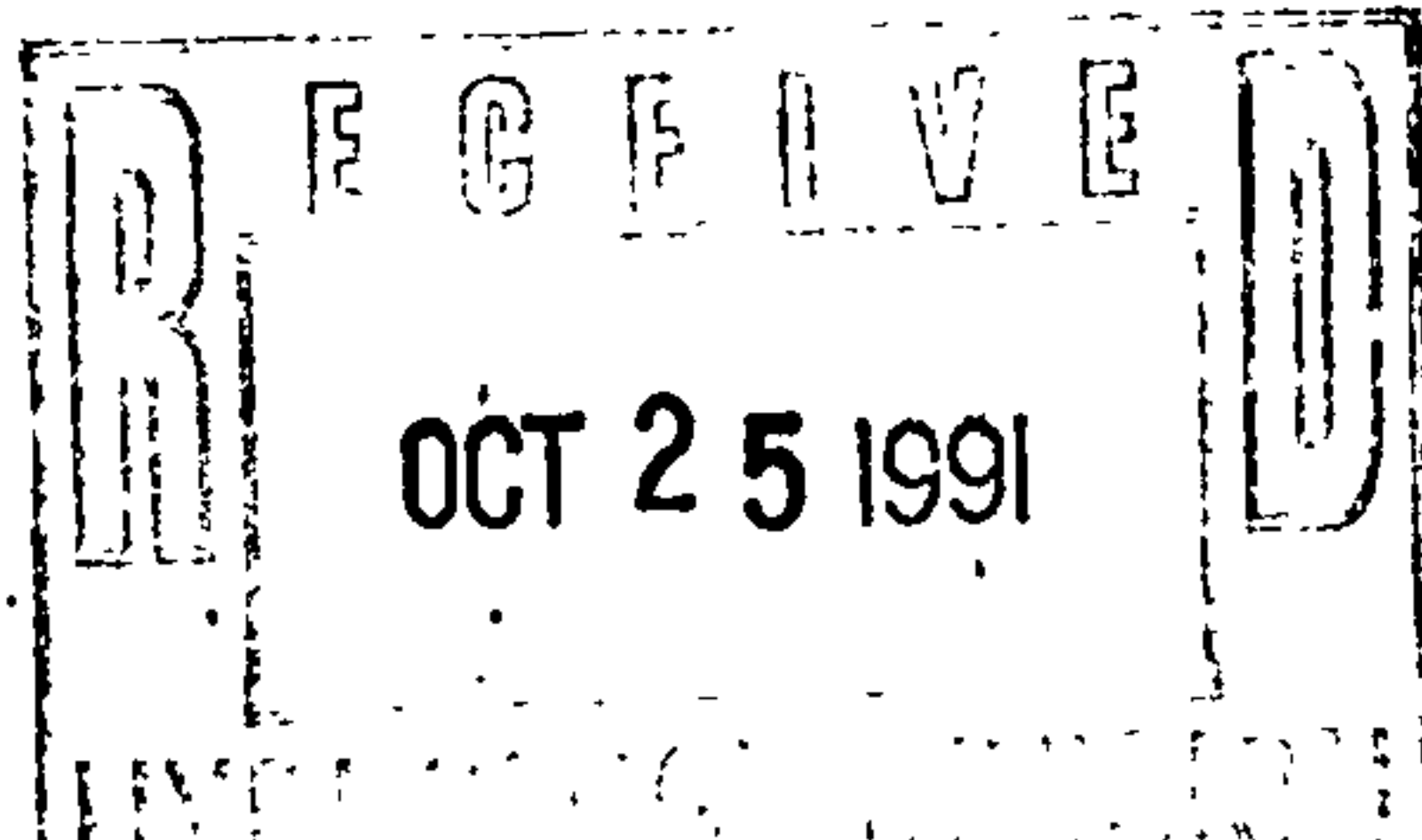
LEGAL DESCRIPTION  
T 10 N  
R 3 E  
SEC 28

UNIFORM PROPERTY CODE  
1-08-056

MAP AMENDED THROUGH  
AUGUST 1981

**L-15-Z**

9052210



4260

RECIPROCAL GRANT OF EASEMENTS

THIS EASEMENT GRANT is made as of this 5 day of July 1990, 1990, between Ima Jean Session, OWNER of Lot 9, Block D of the Sunshine Terrace Addition to the City of Albuquerque, as the same is shown and designated on the Amended Plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on March 17, 1950, in Book C1, Page 91 AND Ima Jean Session, OWNER of Lot 10, Block D of the Sunshine Terrace Addition to the City of Albuquerque, as the same is shown and designated on the Amended Plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on March 17, 1950 in Book C1, Page 91.

The OWNER of Lot 9 grants to the OWNER of Lot 10 an easement for ingress and egress and the conveyance of surface storm drainage waters, subject to the conditions set forth on Exhibit "A" attached hereto, over the southerly 80 feet of the easterly 3.5 feet and the northerly 44.99 feet of the easterly 27.00 feet of Lot 9 as shown on Exhibit "B" attached hereto.

The OWNER OF Lot 10 grants to the OWNER of Lot 9 an easement for ingress and egress and the conveyance of surface storm drainage waters, subject to the conditions set forth on Exhibit "A" attached hereto, over the southerly 80 feet of the westerly 14.5 feet and the northerly 44.99 feet of the westerly 38.00 feet of Lot 10 as shown on Exhibit "B" attached hereto.

NOW THEREFORE, in consideration of the foregoing, the mutual covenants and conditions contained herein and attached hereto, for good and valuable consideration, the receipt of which is hereby acknowledged by the parties hereto, the hereinabove described grants of easement are executed as of the date and year first written above.

OWNER LOT 9:

Ima Jean Session

OWNER LOT 10:

Ima Jean Session

STATE OF NEW MEXICO )

) SS

COUNTY OF BERNALILLO )

5th The foregoing instrument was duly acknowledged before me this 5th day of July, 1990, by Ima Jean Session.

Susan Law  
Notary Public

August 7 1993

STATE OF NEW MEXICO  
COUNTY OF BERNALILLO  
FILED FOR RECORD

1990 JUL -6 AM 10:29

9011-4260-4262  
EN BCR  
GLADYS M. DAVIS  
CO CLERK



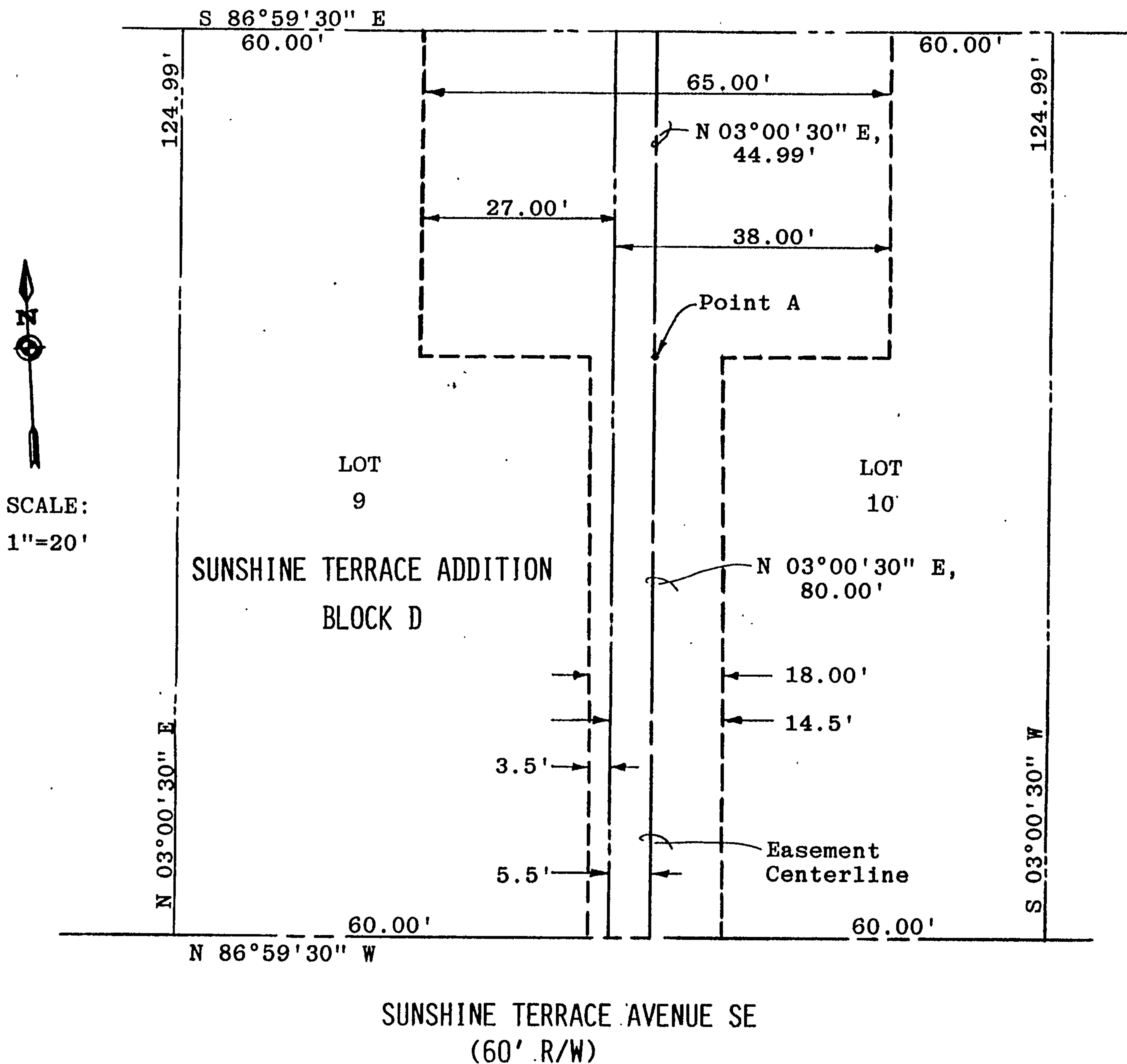
## LEGAL DESCRIPTION

4262

A certain parcel of land situate within projected Section 28, T. 10 N., R. 3 E., N.M.P.M., within the City of Albuquerque, Bernalillo County, New Mexico, and being contained within Lots 9 and 10, Block D, as the same is shown and designated on the plat entitled Amended Plat of Blocks 3 to 24 Inclusive, (Comprising New Blocks A, B, C, D, E, F, G, H, J, and K) of SUNSHINE TERRACE ADDITION, filed in the office of the County Clerk of Bernalillo County, New Mexico, on March 17, 1950, in Book C1, Page 91, and being more particularly described as follows:

An easement for access and drainage purposes eighteen (18) feet wide, the centerline of which is parallel to and 5.5 feet east of the lot line common to Lots 9 and 10, beginning at the north right-of-way line of Sunshine Terrace Avenue SE; thence leaving said right-of-way line and proceeding N 03°00'30" E, 80.00 feet to point A, said point being the end of the 18-foot wide easement and the beginning of a 65-foot wide easement; thence proceeding from Point A along the easement centerline N 03°00'30" E, 44.99 feet to the north line of Lot 10 and end of this parcel of land and containing 4,364 square feet of land (0.1002 acres) more or less.

Basis of Bearing: The same as shown on the recorded plat of the hereinabove described SUNSHINE TERRACE ADDITION.



## EXHIBIT "A"

1. This Reciprocal Easement is granted subject to any covenants, restrictions or easements affecting the properties and subject to the right of OWNERS to grant right-of-way easement over, in and to the said properties;
2. OWNERS reserve the right to dedicate the property containing said easement to any governmental authority;
3. OWNERS reserve the unlimited, unqualified and unrestricted right of access over said easement and ingress to and egress from any of its property adjoining said easement and at all times freely to pass and repass over and across said easement on foot or with animals, vehicles, loads or otherwise;
4. OWNERS reserve the unlimited, unqualified and unrestricted right and ownership of the surface of the property contained in the easement;
5. Non-use by either OWNER for a period of THREE (3) YEARS shall be deemed an abandonment of the easement and entitle either OWNER to determine and cancel the said easement and this provision shall be self executing and require no affirmative consent or similar action by either OWNER.
6. OWNERS, their successors and assigns their agents and employees, shall at all times have free access for the purpose of maintaining and repairing any improvements within the area bounded by the easement; PROVIDED HOWEVER, that such right of access does not and shall not be construed to impair in any manner the absolute and unrestricted right of OWNERS, their successors and assigns, to develop, improve and construct upon the lands adjoining such easement, nor shall the privilege of access provided hereunder be construed to require either OWNER, their successors or assigns, to develop the adjoining properties in a manner which would provide access to such surface storm drainage and access easement. After any entry to maintain, repair, operate or remove or replace, the premises shall immediately be restored to the condition prior to entry.

The provisions hereof shall inure to the benefit of and bind the successors, administrators and assigns of the parties hereto.



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 30, 1991

Scott McGee  
Isaacson & Arfman, P.A.  
128 Monroe Street, NE  
Albuquerque, New Mexico 87108

RE: REVISED DRAINAGE PLAN FOR AN ADDITION TO SUNSHINE SHELTER  
(L-15/D39) ENGINEER'S STAMP DATED OCTOBER 25, 1991

Dear Mr. McGee:

Based on the information provided on your submittal of October 25, 1991, the above referenced plan is approved for Building Permit.

Please attach a copy of this plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer's Certification per the DPM Checklist will be required.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya, C.E.  
Engineering Assistant

xc: Alan Martinez

BJM/bsj  
(WP+2977)

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.  
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER



# DRAINAGE INFORMATION SHEET

PROJECT TITLE: ADDITION TO SUNSHINE SHELTER ZONE ATLAS/DRAINAGE FILE # L-15

LEGAL DESCRIPTION: LOTS 9&10, BLOCK D, SUNSHINE TERRACE ADD'N

CITY ADDRESS: 1801 SUNSHINE TERRACE SE

ENGINEERING FIRM: ISAACSON & ARFMAN CONTACT: SCOTT MCGEE

ADDRESS: 128 MONROE NE PHONE: 268-8828

OWNER: IMA JEAN SESSION CONTACT: SAME

ADDRESS: 1801 SUNSHINE TERRACE PHONE: 842-9723

ARCHITECT: H GLENN MURRAY & ASSOCS. CONTACT: DAN MONK

ADDRESS: 2509 VERMONT NE - SUITE D PHONE: 275-6171

SURVEYOR: W. PETTIT CONTACT: BILL PETTIT

ADDRESS: 128 MONROE NE PHONE: 268-8828

CONTRACTOR: UNKNOWN CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

## PRE-DESIGN MEETING:

☐ YES

☒ NO

☐ COPY OF CONFERENCE RECAP SHEET PROVIDED

DRB NO. \_\_\_\_\_

EPC NO. \_\_\_\_\_

PROJECT NO. \_\_\_\_\_

## TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAIN PLAN

☒ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

## CHECK TYPE OF APPROVAL SOUGHT:

☐ SECTOR PLAN APPROVAL

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☒ BUILDING PERMIT APPROVAL

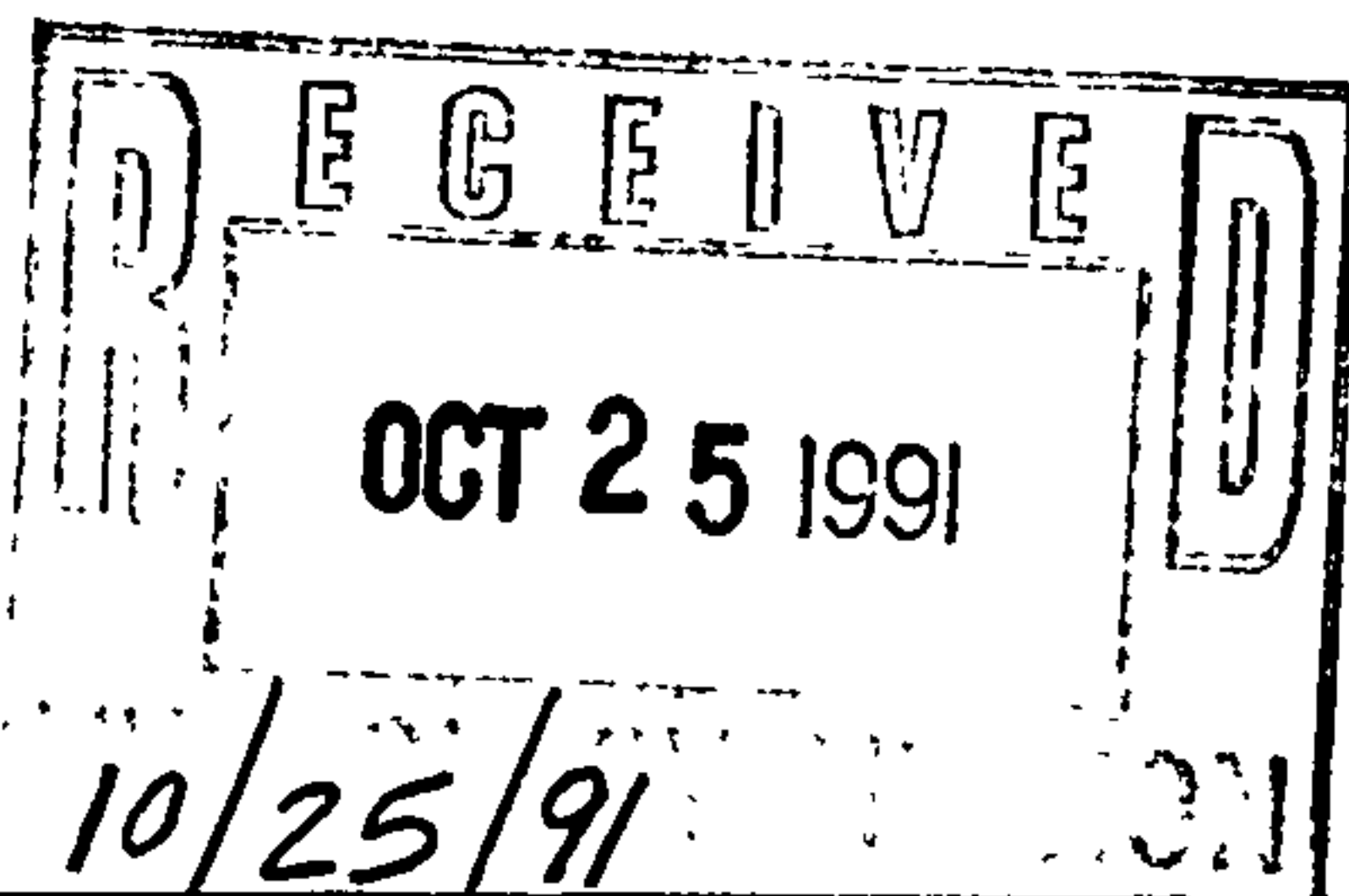
☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

☐ GRADING/PAVING PERMIT APPROVAL

☐ OTHER \_\_\_\_\_ (SPECIFY)



DATE SUBMITTED: 10/25/91

BY: Scott M McGee



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 18, 1991

Scott McGee, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe Street, NE  
Albuquerque, New Mexico 87108

RE: DRAINAGE PLAN FOR AN ADDITION TO SUNSHINE SHELTER  
(L-15/D39) RECEIVED OCTOBER 7, 1991

Dear Mr. McGee:

Based on the information provided on your submittal of October 7, 1991, listed are some concerns that will need to be addressed prior to final approval.

- ✓ 1. Finish Floor Elevations to full mean sea level designation.
- ✓ 2. Location and direction of roof drains.
- ✓ 3. Copy of plat showing the access and drainage easements.
- ✓ 4. Detail of proposed swale along the west property line of Lot 9 and east property line of Lot 10.
- ✓ 5. On Lot 10 you indicate your flow arrows from the proposed addition abutting a concrete slab. How do you propose to get the runoff over the slab and onto the asphalt.
- ✓ 6. The developed runoff from Lot 9 along the west boundary must be routed through the drive pad and not over the public sidewalk.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya, C.E.  
Engineering Assistant

BJM/bsj  
(WP+2977)

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.  
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

# DRAINAGE INFORMATION SHEET

PROJECT TITLE: ADDITION TO SUNSHINE SHELTER ZONE ATLAS/DRAINAGE FILE # L-15/D39

LEGAL DESCRIPTION: LOTS 9&10, BLOCK D, SUNSHINE TERRACE ADD'N

CITY ADDRESS: 1801 SUNSHINE TERRACE<sup>Ave</sup> SE

ENGINEERING FIRM: ISAACSON & ARFMAN CONTACT: SCOTT MCGEE

ADDRESS: 128 MONROE NE PHONE: 268-8828

OWNER: IMA JEAN SESSION CONTACT: SAME

ADDRESS: 1801 SUNSHINE TERRACE PHONE: 842-9723

ARCHITECT: H GLENN MURRAY & ASSOCS. CONTACT: DAN MONK

ADDRESS: 2509 VERMONT NE - SUITE D PHONE: 275-6171

SURVEYOR: W. PETTIT CONTACT: BILL PETTIT

ADDRESS: 128 MONROE NE PHONE: 268-8828

CONTRACTOR: UNKNOWN CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

## PRE-DESIGN MEETING:

\_\_\_\_ YES DRB NO. \_\_\_\_\_

X NO EPC NO. \_\_\_\_\_

\_\_\_\_ COPY OF CONFERENCE RECAP SHEET PROVIDED PROJECT NO. \_\_\_\_\_

## TYPE OF SUBMITTAL:

\_\_\_\_ DRAINAGE REPORT

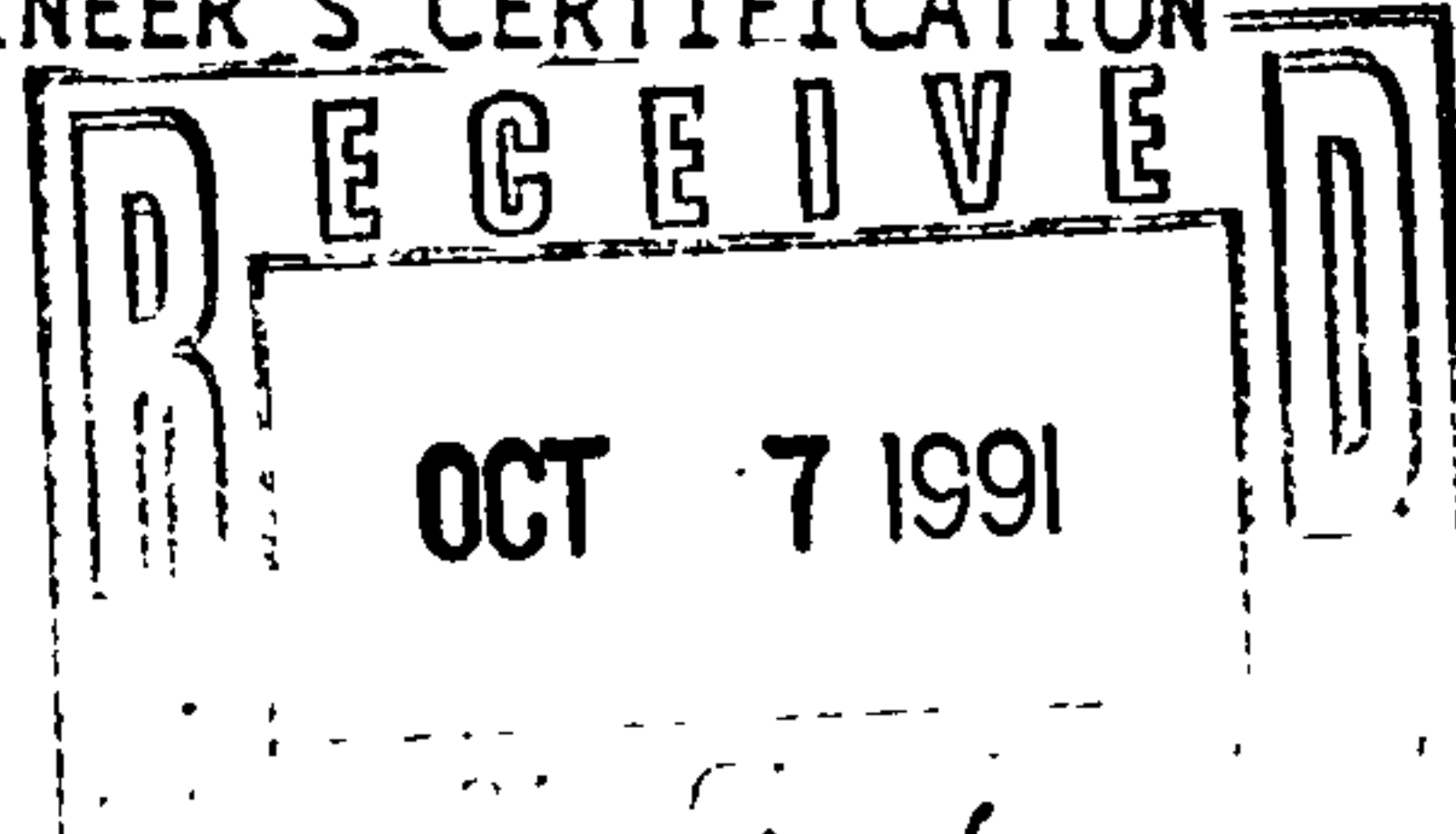
X DRAINAGE PLAN

\_\_\_\_ CONCEPTUAL GRADING & DRAIN PLAN

X GRADING PLAN

\_\_\_\_ EROSION CONTROL PLAN

\_\_\_\_ ENGINEER'S CERTIFICATION



DATE SUBMITTED: 10/7/91

BY: Scott M McGee

## CHECK TYPE OF APPROVAL SOUGHT:

\_\_\_\_ SECTOR PLAN APPROVAL

\_\_\_\_ SKETCH PLAT APPROVAL

\_\_\_\_ PRELIMINARY PLAT APPROVAL

\_\_\_\_ SITE DEVELOPMENT PLAN APPROVAL

\_\_\_\_ FINAL PLAT APPROVAL

X BUILDING PERMIT APPROVAL

\_\_\_\_ FOUNDATION PERMIT APPROVAL

\_\_\_\_ CERTIFICATE OF OCCUPANCY APPROVAL

\_\_\_\_ ROUGH GRADING PERMIT APPROVAL

\_\_\_\_ GRADING/PAVING PERMIT APPROVAL

\_\_\_\_ OTHER \_\_\_\_\_ (SPECIFY)