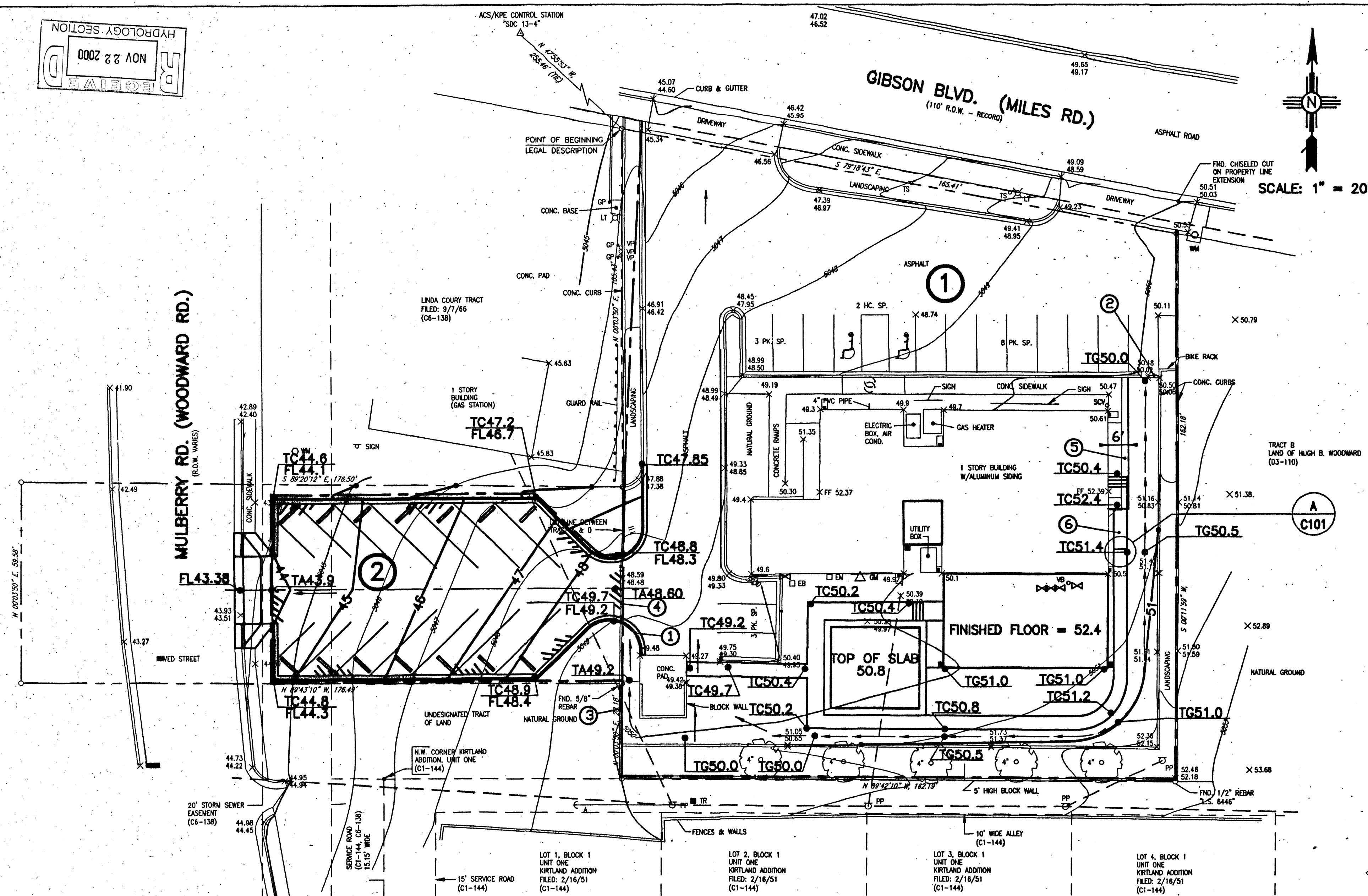


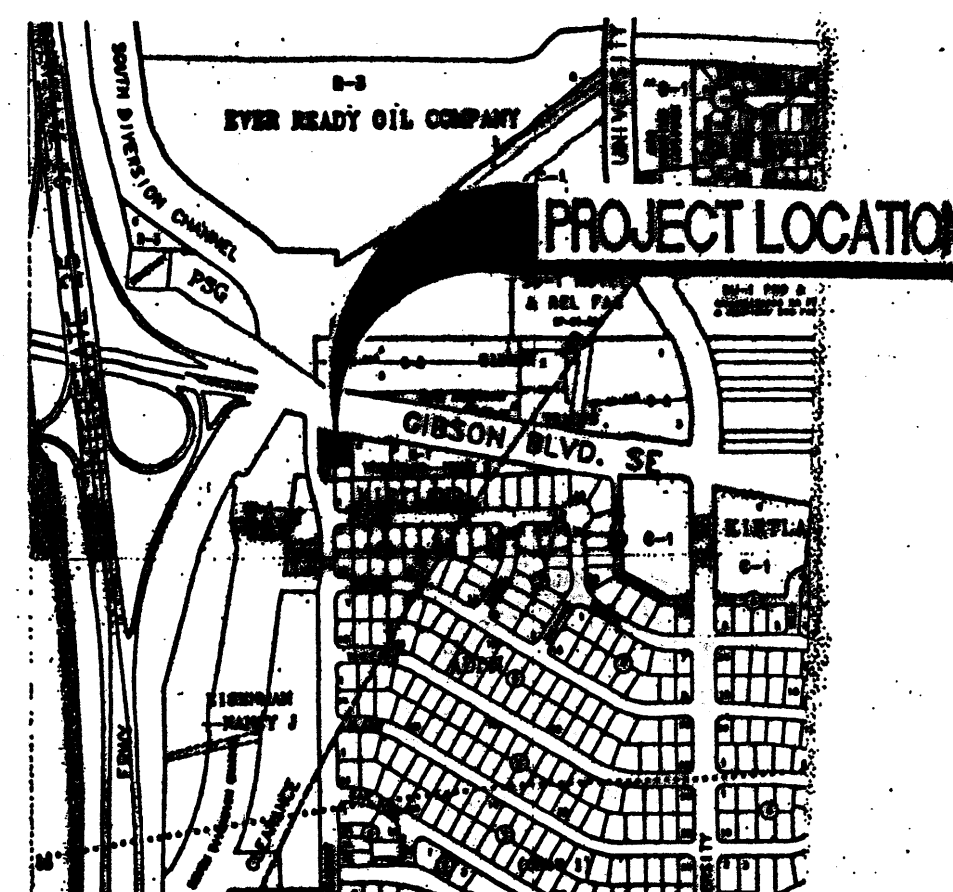
HYDROLOGY SECTION
NOV 22 2000



ENGINEER'S
CERTIFICATION



I HEREBY CERTIFY THAT THE FINAL CONSTRUCTION IS IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED DRAINAGE PLAN. THE FINISHED GRADE ELEVATIONS MATCH THE DESIGN ELEVATIONS UNLESS OTHERWISE NOTED.



VICINITY MAP
MAP NO. M-15

KEYED NOTES:

- 1 PROVIDE 2' CURB OPENING FOR DRAINAGE.
- 2 DRAINAGE THRU EXISTING CURB OPENING.
- 3 CONSTRUCT HEADER CURB BETWEEN EXISTING CURB AND PROPERTY LINE. PER COA STANDARD DWG 2415.
- 4 REMOVE EXISTING HEADER CURB. BACK OF CURB TO BACK OF CURB.
- 5 WIDEN EXISTING SIDEWALK TO 6'.
- 6 ADA RAMP.

LEGEND

PROPOSED	EXISTING	
		SIDEWALK
		BUILDING
		CONTOUR
		PARKING STRIPE
		CURB AND GUTTER
		SPOT ELEVATIONS
		PARKING BUMPER
		TOP OF ASPHALT
		TOP OF CONCRETE
		TOP OF GROUND
		FLOWLINE
		DOWNSPOUT
		DRAINAGE BOUNDARY
		DRAINAGE AREA NUMBER
		ASPHALT PAVEMENT

EXISTING DRAINAGE CONDITIONS				DEVELOPED DRAINAGE CONDITIONS			
ZONE 2	TREATMENT	VOL ₁₀₀ (ACR)	C ₁₀₀ (CFS)	TREATMENT	VOL ₁₀₀ (ACR)	C ₁₀₀ (CFS)	
DRAINAGE AREA 1	0.07 ACRES C	0.11	2.82	0.05 ACRES C	0.17	3.07	
DRAINAGE AREA 2	0.60 ACRES D	0.01	0.41	0.62 ACRES D	0.01	0.56	
TOTAL	0.80 ACRES			0.80 ACRES			

EXISTING SITE CONDITIONS

THE EXISTING SITE IS 75% DEVELOPED. A BUILDING AND PARKING AREA EXISTS AT THE SITE. THE SOUTH SIDE OF THE BUILDING AND THE WEST PORTION OF THE TRACK ARE UNDEVELOPED.

PROPOSED SITE DRAINAGE PLAN

THE DEVELOPED SITE WILL FOLLOW THE EXISTING DRAINAGE PATTERNS. DRAINAGE AREA 1 CONTAINING THE ADDITION AND MISCELLANEOUS SITE IMPROVEMENTS WILL DRAIN ONTO GIBSON FROM THE NORTHWEST PORTION OF THE SITE. DRAINAGE AREA 2 CONTAINING THE NEW PARKING AREA WILL CONTINUE TO DRAIN TO THE WEST TO MULBERRY ROAD.

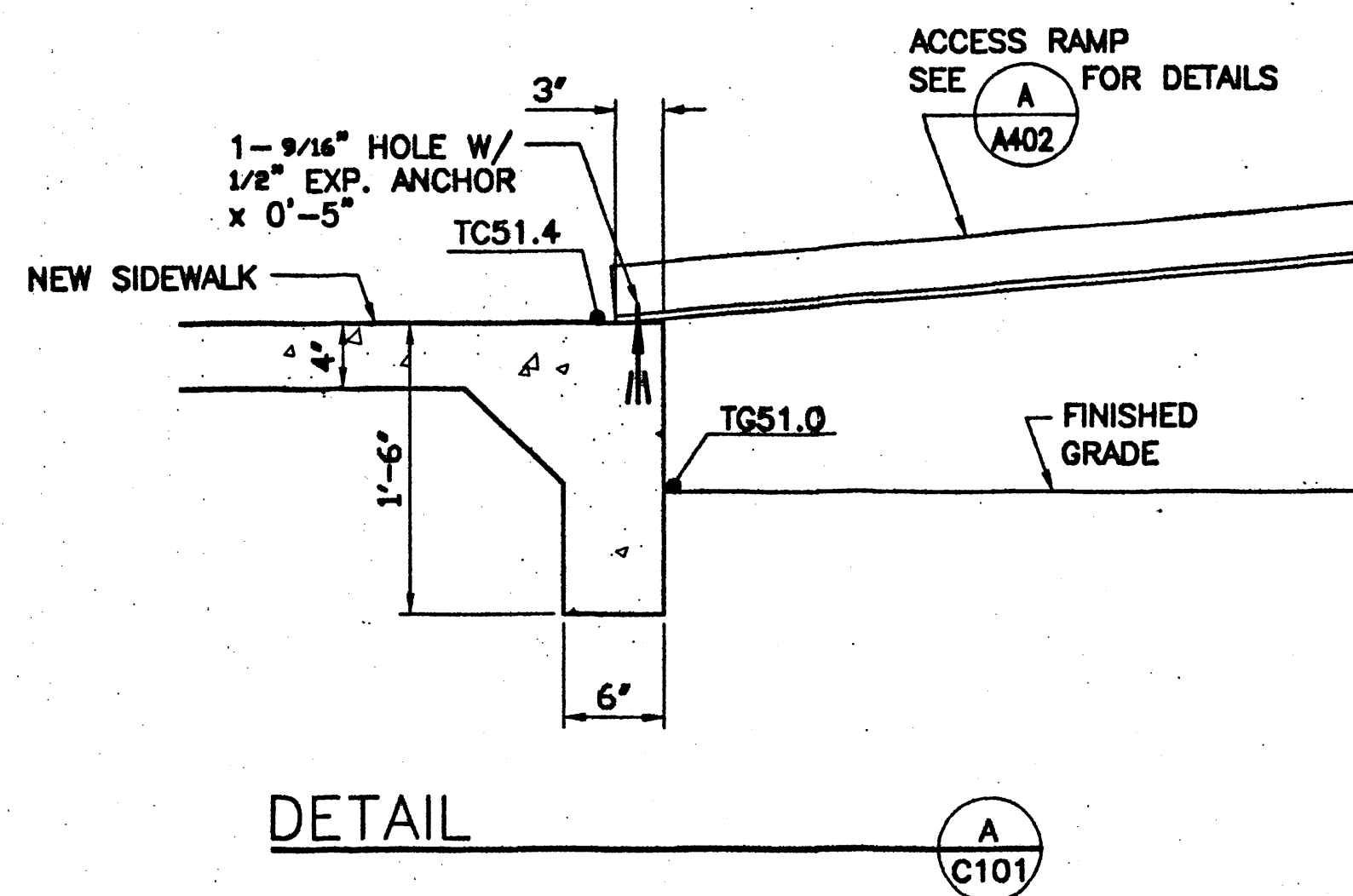
EROSION CONTROL PLAN

CONTRACTOR IS RESPONSIBLE FOR THE ABATEMENT OF SEDIMENT ONTO ADJOINING PUBLIC RIGHT-OF-WAY, PUBLIC AND/OR PRIVATE LAND DURING CONSTRUCTION AND FOR THE REMOVAL OF ANY SEDIMENT DEPOSITED ON ANY ADJOINING AREAS.

CONTRACTOR IS ALSO RESPONSIBLE FOR OBTAINING A "TOP SOIL DISTURBANCE PERMIT", PROTECTING ADJACENT PROPERTY FROM SEDIMENT (SEE ABOVE NOTE) AND REPAIRING ANY DAMAGE PROMPTLY.

LEGAL DESCRIPTION

BEING THAT CERTAIN PARCEL OF LAND SITUATED WITHIN THE TOWN OF ALBUQUERQUE GRANT, WITHIN THE SOUTHERLY PORTION OF SECTION 28 AND ITS PROJECTION INTO THE TOWN OF ALBUQUERQUE GRANT, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING IDENTIFIED AS TRACT A AND THE EASTERLY 0.239 ACRE OF TRACT D, LAND OF HUGH B. WOODWARD, AS SAID TRACTS A AND D ARE SHOWN AND DESIGNATED ON "GIBSON AND MILES AREA TRACT 'C' OF LAND OF HUGH B. WOODWARD, ALBUQUERQUE, NEW MEXICO", PLAT OF WHICH WAS FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 22, 1965, IN VOLUME D3, FOLIO 110.



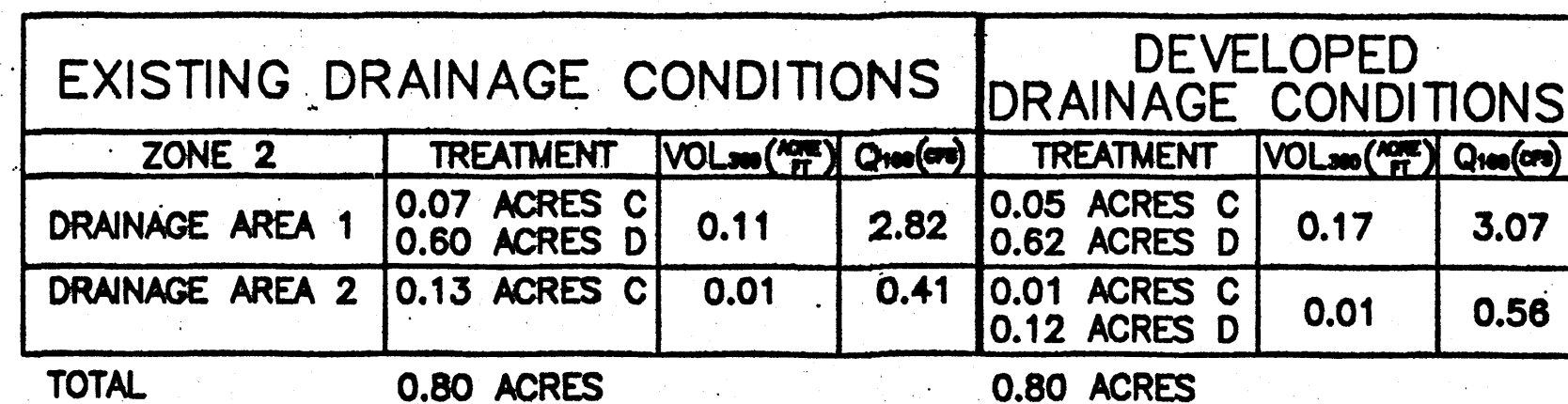
Kells & Craig
400 Gold S.W.
Suite 880
Albuquerque, New Mexico 87102
Holmes & Narver, Inc.,
Architects, Inc. AIA
(505) 243-2724

CITY OF ALBUQUERQUE
DEPARTMENT OF FAMILY & COMMUNITY SERVICES

TITLE: ISSHIN RYU
GRADING AND DRAINAGE PLAN

Design Review Committee City Engineer Approval
NOV 22 2000
HYDROLOGY SECTION

City Project No. 5782.01
Zone Map No. L-15-Z
Sheet C101

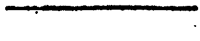
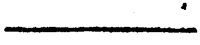
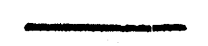
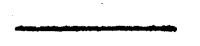
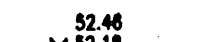


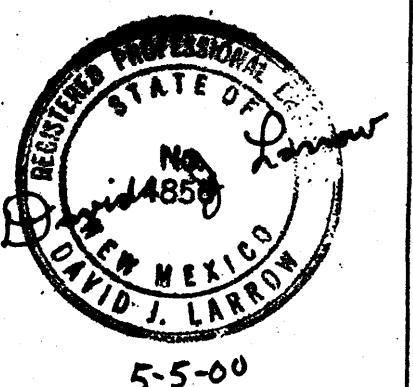
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- 2 DRAINAGE THRU EXISTING CURB OPENING.
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- 4 REMOVE EXISTING HEADER CURB. BACK OF CURB TO BACK OF CURB.
- 5 WIDEN EXISTING SIDEWALK TO 6'.
- 6 ADA RAMP.

LEGEND

PROPOSED	EXISTING	
		SIDEWALK
		BUILDING
		CONTOUR
		PARKING STRIPE
		CURB AND GUTTER
		SPOT ELEVATIONS
		PARKING BUMPER
TA		TOP OF ASPHALT
TC		TOP OF CONCRETE
TG		TOP OF GROUND
FL		FLOWLINE
		DOWNSPOUT
		DRAINAGE BOUNDARY
		DRAINAGE AREA NUMBER
		ASPHALT PAVEMENT

[illegible]

Kells & Craig
400 Gold S.W.
Suite 880
Albuquerque, New Mexico 87102

HEN
Holmes & Narver, Inc.
Architects, Inc. AIA
(505) 243-2724

CITY OF ALBUQUERQUE
DEPARTMENT OF FAMILY & COMMUNITY SERVICES

TITLE: ISSHIN RYU
GRADING AND DRAINAGE PLAN

Design Review Committee	City Engineer Approval	RECEIVED MAY 8 '2000 HYDROLOGY SECTION	RECEIVED	RECEIVED

City Project No.	Zone Map No.	Sheet
5782.01	L-15-Z	C101

LEGAL DESCRIPTION

Being that certain parcel of land situated within the Town of Albuquerque Grant, within the southerly portion of Section 28 and its projection into the Town of Albuquerque Grant, Township 10 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, and being identified as Tract A and the easterly 0.239 acre of Tract D, Land of Hugh B. Woodward, as said Tracts A and D are shown and designated on "GIBSON AND MILES AREA TRACT 'C' OF LAND OF HUGH B. WOODWARD, ALBUQUERQUE, NEW MEXICO", plat of which was filed in the office of the County Clerk of Bernalillo County, New Mexico, on March 22, 1965 in Volume D3, Folio 110, and being more particularly described by metes and bounds survey as follows:

Beginning at the most northerly corner of the parcel of land herein described being a point on the southerly right-of-way line of Gibson Boulevard SE, whence the KPE Control Station "SDC 13-4" bears N. 47° 55' 53" W., 255.46 feet distance; thence,

S. 79° 10' 43" E., 165.41 feet distance to the northeast corner of the parcel of land herein described; thence,

S. 00° 11' 59" W., 162.18 feet distance to the southeast corner of the parcel of land herein described being a point on the northerly line of Kirtland Addition, Unit One (C1-144); thence,

N. 89° 42' 10" W., 162.19 feet distance to a point; thence,

N. 00° 03' 50" E., 28.18 feet distance to a point; thence,

N. 89° 43' 10" W., 176.49 feet distance to the southwest corner of the parcel of land herein described; thence,

N. 00° 03' 50" E., 59.58 feet distance to a point; thence,

S. 89° 20' 12" E., 176.50 feet distance to a point; thence,

N. 00° 03' 50" E., 105.43 feet distance to the most northerly corner and point of beginning of the parcel of land herein described and containing 39,171 square feet (0.8992 acre), more or less.

LEGEND

NEW

- PORTABLE BLDG.
- CONTOURS
- CURB & GUTTER
- FLOW DIRECTION
- TOP OF CURB ELEV.
- FLOW LINE ELEV.
- SPOT ELEV.
- TOP OF SIDEWALK
- TOP OF ASPHALT

EXISTING

- POWER POLE
- ANCHOR
- LIGHT POLE
- GUARD POST
- ELECTRIC BOX
- TRAFFIC SIGN
- TELEPHONE BOOTH
- WATER METER
- DROP INLET
- BUILDING
- CONTOUR
- RIGHT OF WAY
- CURB & GUTTER

KEYED NOTES

- MECHANICAL CONCRETE PAD ELEVATIONS 5051.0 (TYP.)
- STAIRS TO BE ADJUSTED TO FIT SIDEWALK ELEVATIONS.
- RAMP TO BE RECONSTRUCTED TO PROVIDE REQUIRED 12:1 SLOPE.
- GRADE PLANTER AREA TO PROVIDE POSITIVE DRAINAGE AND SMOOTH TRANSITIONS TOWARDS CONCRETE MOWSTRIP/SIDEWALKS.

AS BUILT INFORMATION				BENCH MARKS				SURVEY INFORMATION				ENGINEER'S SEAL			
CONTRACTOR	DATE	BY	NO.	STA. 1-25-30	ELEV. 5038.509	DATE	NO.	NO.	BY	DATE	NO.	DATE	BY	DATE	NO.
STANDARD MASON BRASS TABLET STAMPED "STA. 1-25-30"	DATE	DATE	DATE	SET IN TOP OF A CONCRETE POST PROJECTING 0.2 FT.	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE
ABOVE GROUND	DATE	DATE	DATE	LOCATED 1.8 MILES SOUTH OF DOWNTOWN ALBUQUERQUE	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE
AT NW CORNER OF HWY. 1-25 BRIDGE CROSSING OVER GIBSON BLVD.	DATE	DATE	DATE		DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE

David J. Larrow
5-25-94

REVISIONS	DATE	BY
DESIGN	5/94	L. LOSACK
DRAWN BY	5/94	L. LOSACK
CHECKED BY	5/94	D. LARROW

MAY 26 1994

HN
Holmes & Narver

CITY OF ALBUQUERQUE
PARKS / GENERAL SERVICES
DESIGN & DEVELOPMENT
TITLE: ISSHIN RYU KARATE CLUB
GRADING/DRAINAGE PLAN

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
PARKS/GEN. SERV.			TRAFFIC		
ENVIRON. HEALTH					
HYDROLOGY					
DRAWING NO.	4848.90	MAP NO.	L-15-Z	SHEET	OF

PROJECT LOCATION

VICINITY MAP

SCALE: 1" = 20'-0"

LEGAL DESCRIPTION

Being that certain parcel of land situated within the Town of Albuquerque Grant, within the southerly portion of Section 28 and its projection into the Town of Albuquerque Grant, Township 10 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, and being identified as Tract A and the easterly 0.239 acre of Tract D, Land of Hugh B. Woodward, as said Tract A and D are shown and designated on "GIBSON AND MILES AREA TRACT 'C' OF LAND OF HUGH B. WOODWARD, ALBUQUERQUE, NEW MEXICO", plat of which was filed in the office of the County Clerk of Bernalillo County, New Mexico, on March 22, 1965 in Volume D3, Folio 110, and being more particularly described by metes and bounds survey as follows;

Beginning at the most northerly corner of the parcel of land herein described being a point on the southerly right-of-way line of Gibson Boulevard SE, whence the KPE Control Station "SDC 13-4" bears N. 47° 55' 53" W., 255.46 feet distance; thence,

S. 79° 10' 43" E., 165.41 feet distance to the northeast corner of the parcel of land herein described; thence,

S. 00° 11' 59" W., 162.18 feet distance to the southeast corner of the parcel of land herein described being a point on the northerly line of Kirtland Addition, Unit One (C1-144); thence,

N. 09° 42' 10" W., 162.19 feet distance to a point; thence,

N. 00° 03' 50" E., 20.18 feet distance to a point; thence,

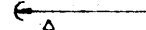
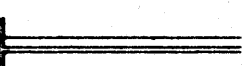
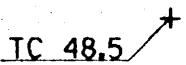
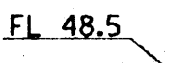
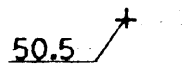
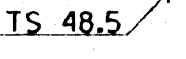
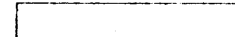
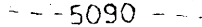
N. 09° 43' 10" W., 176.49 feet distance to the southwest corner of the parcel of land herein described; thence,

N. 00° 03' 50" E., 59.58 feet distance to a point; thence,

S. 09° 20' 12" E., 176.50 feet distance to a point; thence,

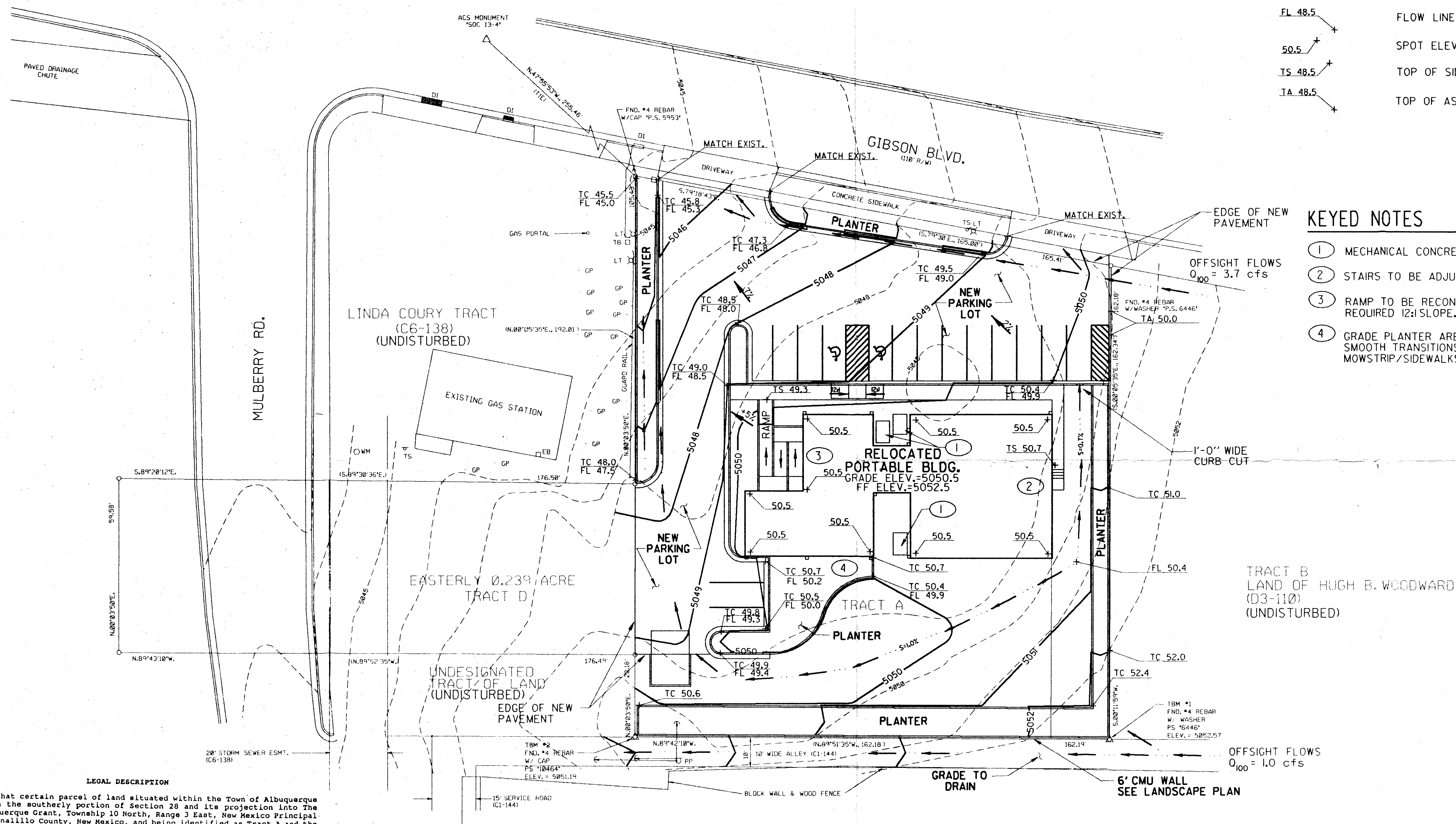
N. 00° 03' 50" E., 105.43 feet distance to the most northerly corner and point of beginning of the parcel of land herein described and containing 39,171 square feet (0.8992 acre), more or less.

LEGEND

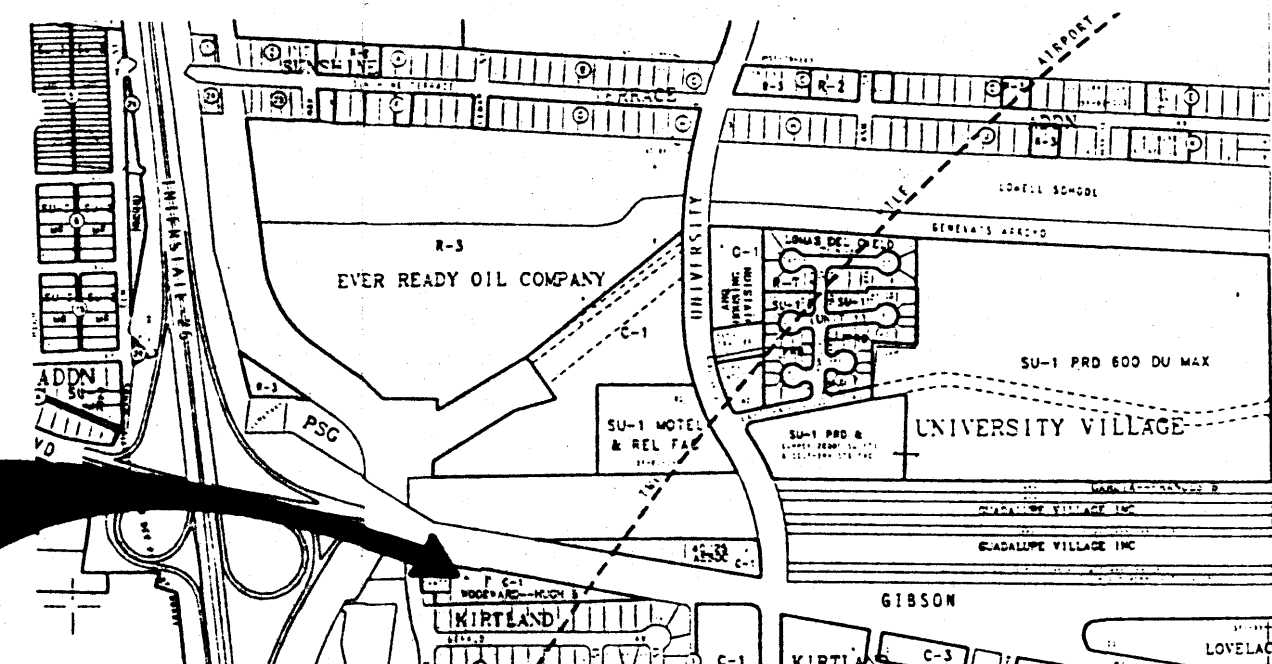
NEW		EXISTING	
	PORTABLE BLDG.		POWER POLE
	CONTOURS		ANCHOR
	CURB & GUTTER		LIGHT POLE
	FLOW DIRECTION		GUARD POST
	TOP OF CURB ELEV.		ELECTRIC BOX
	FLOW LINE ELEV.		TRAFFIC SIGN
	SPOT ELEV.		TELEPHONE BOOTH
	TOP OF SIDEWALK		WATER METER
	TOP OF ASPHALT		DROP INLET
			BUILDING
			CONTOUR
			RIGHT OF WAY
			CURB & GUTTER

KEYED NOTES

- MECHANICAL CONCRETE PAD ELEVATIONS 5051.0 (TYP.)
- STAIRS TO BE ADJUSTED TO FIT SIDEWALK ELEVATIONS.
- RAMP TO BE RECONSTRUCTED TO PROVIDE REQUIRED 12% SLOPE.
- GRADE PLANTER AREA TO PROVIDE POSITIVE DRAINAGE AND SMOOTH TRANSITIONS TOWARDS CONCRETE MOWSTRIP/SIDEWALKS.



PROJECT LOCATION



VICINITY MAP

SCALE: 1" = 20'-0"



AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEERS SEAL	
CONTRACTOR	DATE	STA. 1-25-30	ELEV. 5038.509	NO.	DATE	NO.	DATE
BY	DATE	STANDARD MASHC BRASS TABLE STAMPED "STA. 1-25-30"		1	2/94		
FIELD ADJUSTED BY	DATE	SET IN TOP OF A CONCRETE POST PROJECTING 0.2 FT. ABOVE GROUND.					
CONNECTED BY	DATE	LOCATED 1.8 MILES SOUTH OF DOWNTOWN ALBUQUERQUE					
REQUIRED BY	DATE	AT NW CORNER OF HWY. 1-25 BRIDGE CROSSING OVER GIBSON BLVD.					

David J. Larrow
5-25-94

HN
Holmes & Narver

CITY OF ALBUQUERQUE
PARKS / GENERAL SERVICES
DESIGN & DEVELOPEMENT

TITLE: ISSHIN RYU KARATE CLUB
GRADING/DRAINAGE PLAN

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
PARKS/GEN. SERV.			TRAFFIC		
ENVIRON. HEALTH					
HYDROLOGY					

DRAWING NO.	4848.90	MAP NO.	L-15-Z	SHEET	OF
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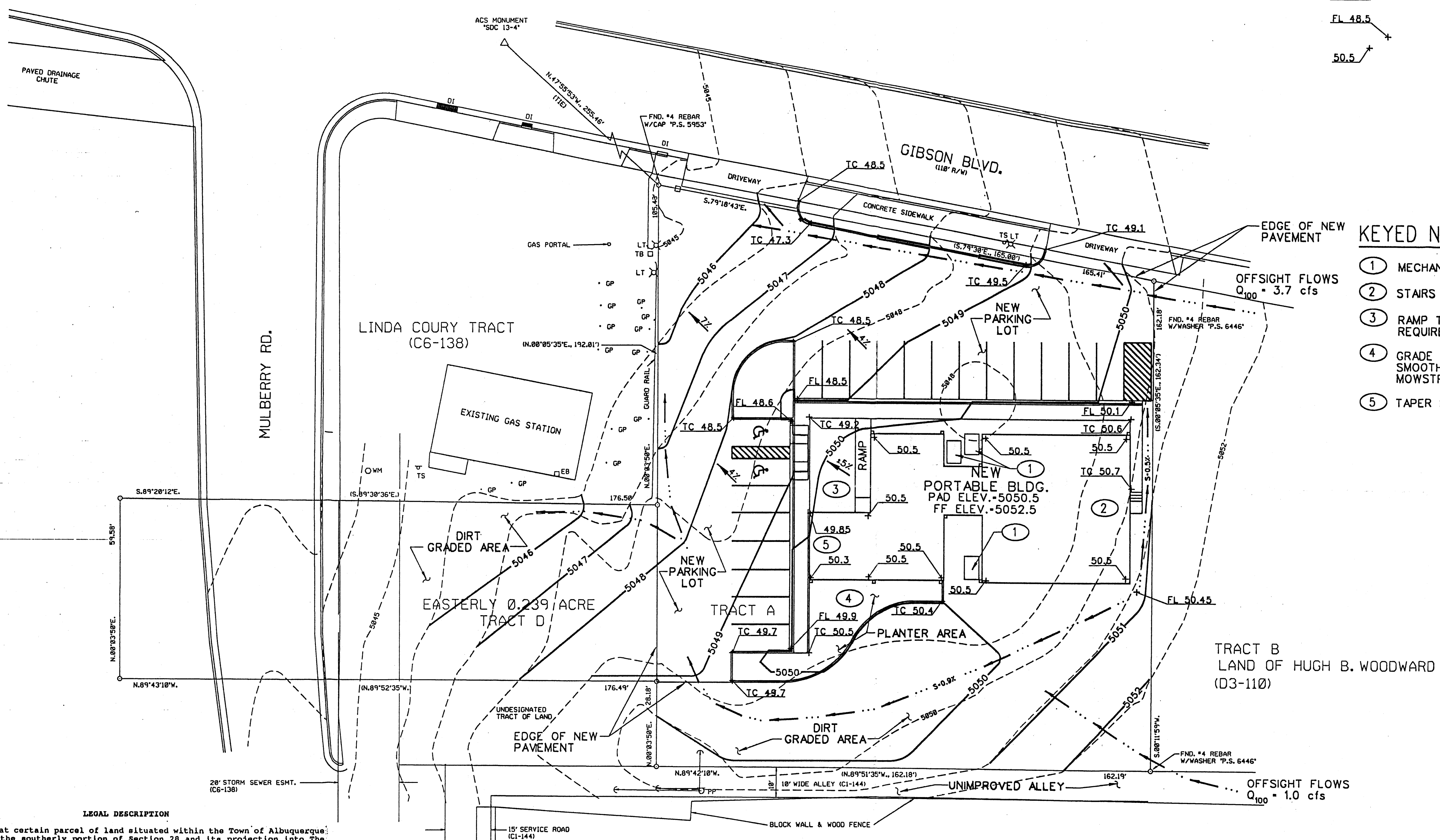
REVISIONS	DATE	BY
DESIGN	5/94	L. LOSACK
CHECKED BY	5/94	D. LARROW

LEGEND

NEW		EXISTING	
	PORTABLE BLDG.		POWER POLE
	CONTOURS		ANCHOR
	CURB & GUTTER		LIGHT POLE
	FLOW DIRECTION		GUARD POST
	TOP OF CURB ELEV.		ELECTRIC BOX
	FLOW LINE ELEV.		TRAFFIC SIGN
	SPOT ELEV.		TELEPHONE BOOTH
			WATER METER
			DROP INLET
			BUILDING
			CONTOUR
			RIGHT OF WAY
			CURB & GUTTER

KEYED NOTES

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- STAIRS TO BE ADJUSTED TO FIT SIDEWALK ELEVATIONS.
- RAMP TO BE RECONSTRUCTED TO PROVIDE REQUIRED 12:1 SLOPE.
- GRADE PLANTER AREA TO PROVIDE POSITIVE DRAINAGE AND SMOOTH TRANSITIONS TOWARDS CONCRETE MOWSTRIP/SIDEWALKS.
- TAPER BLDG. PAD TO MEET SIDEWALK FOR CRAWL SPACE.



LEGAL DESCRIPTION

Being that certain parcel of land situated within the Town of Albuquerque Grant, within the southerly portion of Section 28 and its projection into the Town of Albuquerque Grant, Township 10 North, Range 3 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, and being identified as Tract A and the easterly 0.239 acre of Tract D, land of Hugh B. Woodward, as said Tracts A and D are shown and designated on "GIBSON AND MILES AREA TRACT 'C' OF LAND OF HUGH B. WOODWARD, ALBUQUERQUE, NEW MEXICO", plat of which was filed in the office of the County Clerk of Bernalillo County, New Mexico, on March 22, 1965 in Volume D3, Folio 110, and being more particularly described by metes and bounds survey as follows:

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S. 79° 18' 43" E., 165.41 feet distance to the northeast corner of the parcel of land herein described; thence,

S. 00° 11' 59" W., 162.18 feet distance to the southeast corner of the parcel of land herein described being a point on the northerly line of Kirtland Addition, Unit One (C1-144); thence,

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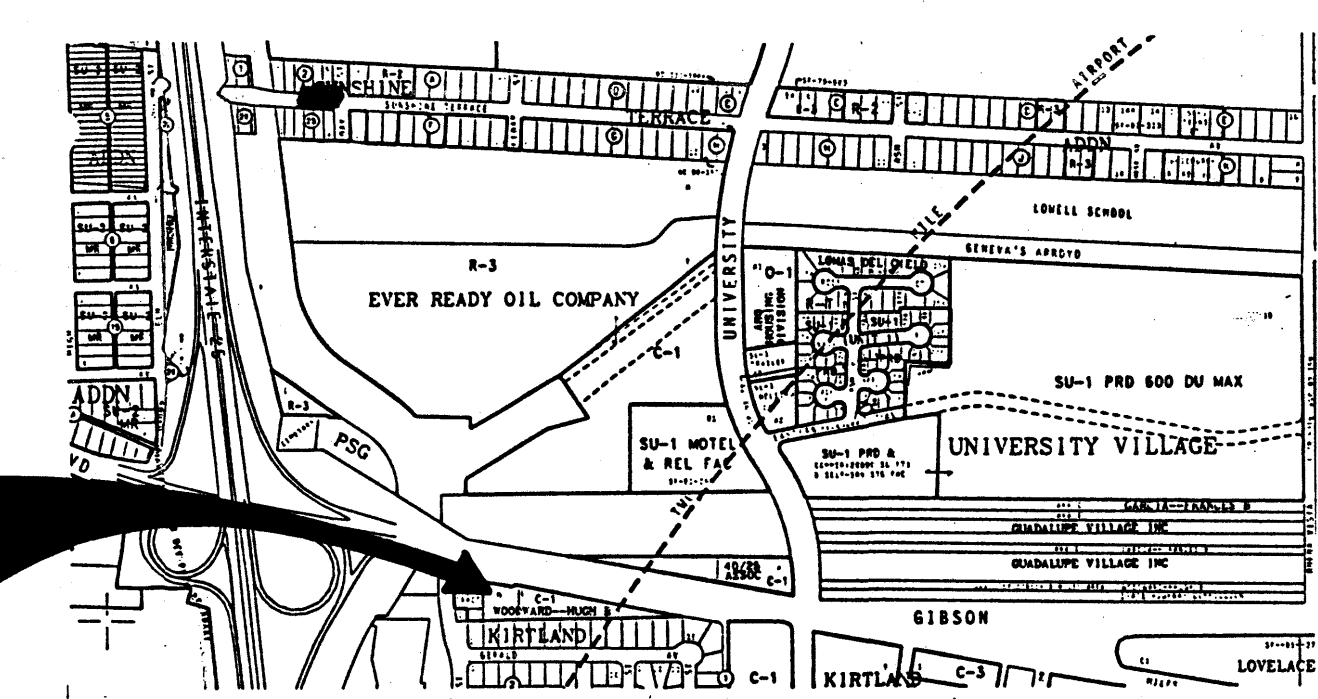
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N. 00° 03' 50" E., 105.43 feet distance to the most northerly corner and point of beginning of the parcel of land herein described and containing 39,171 square feet (0.8992 acre), more or less.

PROJECT LOCATION



VICINITY MAP

SCALE: 1" = 20'-0"

						ENGINEER'S SEAL						SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
												FIELD NOTES		STA. 1-25-30		ELEV. 5038.509	
								NO.		BY		DATE					
								1		ALGO. SURV. CO. INC.		2/94		STANDARD INCH BRASS TABLET STAMPED "STA. 1-25-30"		DATE	
										SURVEY				SET IN TOP OF A CONCRETE POST PROJECTING 0.2 FT.		DATE	
														ABOVE GROUND.		DATE	
														LOCATED 1.8 MILES SOUTH OF DOWNTOWN ALBUQUERQUE		MICRO-FILM INFORMATION	
														AT NW CORNER OF HWY. 1-25 BRIDGE CROSSING OVER		RECORDED BY	
														GIBSON BLVD.		NO.	