



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 13, 2001

Mark Goodwin, P.E.
Mark Goodwin & Assoc.
P.O. Box 90606
Albuquerque, New Mexico 87199

RE: RAMADA INN- YALE BLVD (L-15/D43)
(1801 Yale SE)
ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY
ENGINEERS STAMP DATED 10/24/1995 Rev. 11/13/1995
ENGINEERS CERTIFICATION DATED 1/9/1997 Rev. 2/14/1997

Dear Mr. Goodwin:

On February 19, 1997, a 30-day Temporary Certificate of Occupancy was issued, prior to approving a Permanent Certificate of Occupancy, until all of the outstanding drainage issues. The City's storm drainage maintenance inspector has performed an inspection of the site, since this deadline date has long passed, and has confirmed the outstanding issues still remain unresolved.

When the outstanding drainage issues have been resolved and an approval is given by the City's storm drainage maintenance inspector, a Permanent Certificate of Occupancy will be issued.

If I can be of further assistance, please feel free to contact me at 924-3981.

Sincerely,

Teresa A. Martin
Hydrology Plan Checker
Public Works Department
BLB

c: File
Dr. Vijay P. Agarwal, M.D.

B# 251-3663

ALBUQUERQUE
GASTROENTEROLOGY
ASSOCIATES, P.C.

Vijay P. Agarwal, M.D.
*Diplomate, American Board of
Internal Medicine & Gastroenterology*

200 Oak Street, NE ♦ Albuquerque, NM 87106 ♦ (505) 766-5471
4801 McMahon, NW ♦ Albuquerque, NM 87114 ♦ (505) 766-5471
Fax (505) 766-6883

Develop needs
to hire contract
to correct
Deficiencies w/ 5019
for NATT.
9/12/01
(contract needs permit)

DRAINAGE INFORMATION SHEET

L-15/D43

PROJECT TITLE: RAMADA INN - YALE ZONE MAP/DRG. FILE #: L-15-Z
 DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: MOTEL
 CITY ADDRESS: 1801 YALE BLVD, SE, ALBUQUERQUE, NM 87106

ENGINEERING FIRM: D. Mark Goodwin & Associates, P.A. CONTACT: Mark Goodwin
 ADDRESS: P.O. Box 90606, PHONE: 345-2010
 CITY, STATE: Albuquerque, NM 87199 ZIP CODE: 87199

OWNER: VIJAY P. AGARWAL, M.D. CONTACT: Dr. Agarwal
 ADDRESS: 200 OAK ST, NE PHONE: 766-5471
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87106

ARCHITECT: De la Torre & Reinhardt CONTACT: Mr. De la Torre
 ADDRESS: _____ PHONE: _____
 CITY, STATE: Albuquerque, NM ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: Mondel Enterprises CONTACT: Orlando Montoya
 ADDRESS: _____ PHONE: 865-0100
 CITY, STATE: Las Lunas, NM ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

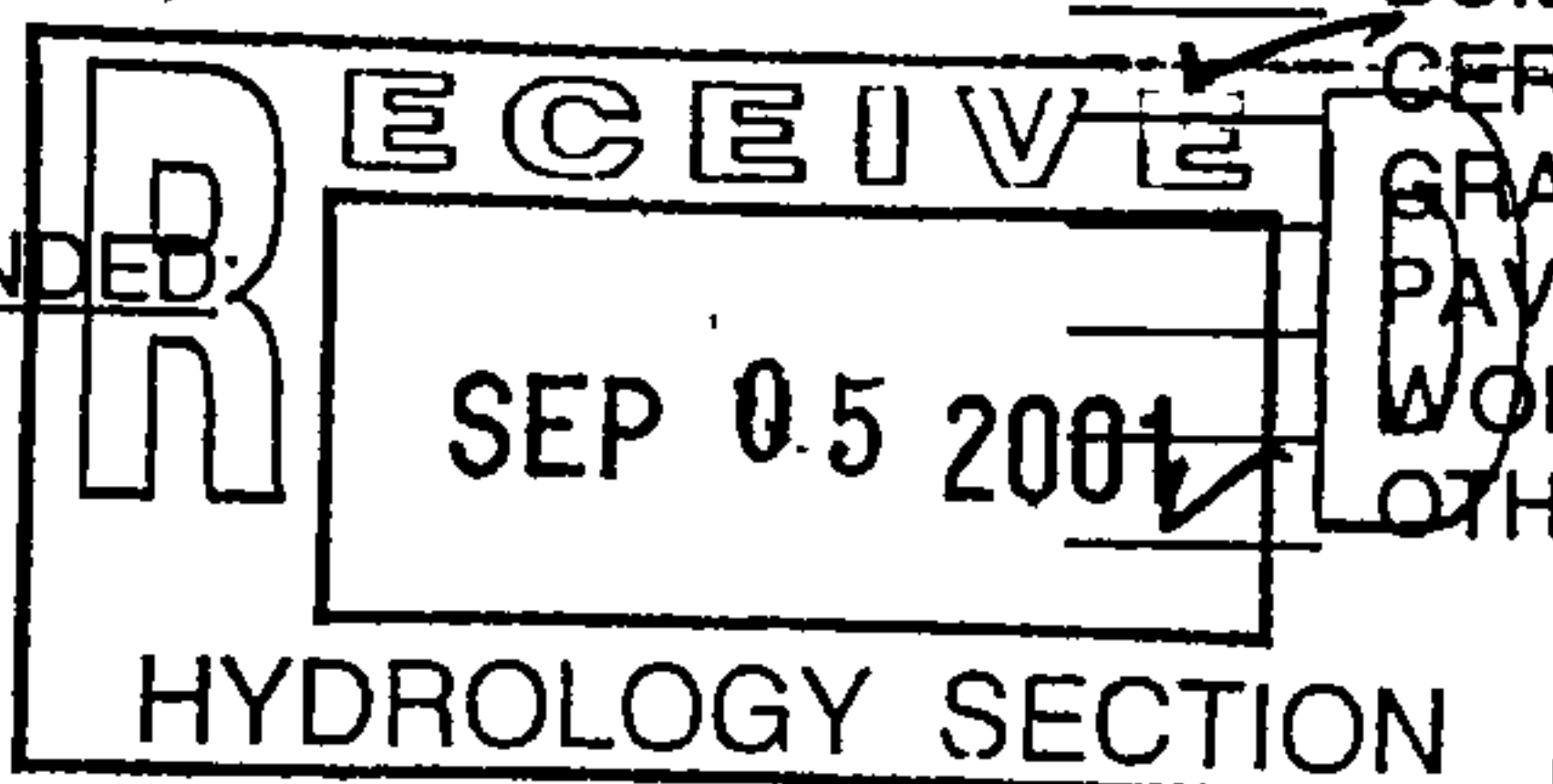
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ OTHER

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) S.D.19



DATE SUBMITTED: 9.5.2001 BY: Vijay P. Agarwal

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

FRANK J. MEYER
865-915

ADDRESS

1801 Yale Blvd. SE

DATE

3/12/96

PLANCHECK/BUILDING PERMIT NUMBER

9602406

PROJECT

Remax Inn

TYPE OF CONSTRUCTION

II One Hour Fully Sprinkled

OCCUPANCY GROUP

R1

LAND USE ZONE

C2

SUITE NUMBER

OWNER OF BUILDING

VIVIAN AGUIER WAL

766-5471

ADDRESS

200 OAK NE

Albany

87106

CERTIFICATE OF OCCUPANCY

YES

CERTIFICATE OF COMPLETION

DATE CERTIFICATE ISSUED

SECTIONS	C/O REQUIRED	INSPECTION REQUIRED	DATE		C/O REQUIRED	INSPECTION REQUIRED	DATE
ENVIRM'TAL HEALTH 764-1694	YES	JAKE COUSINS	2-14-97	BOILER 764-1644	YES	1-3-97	OK
FIRE MARSHAL 764-1688	YES	M. Manda	2-12-97	ELEVATOR 764-1644	YES	Elevator OK	YES AIA 1-9-97
HYDROLOGY 764-1699	YES		1-12-96	REFUSE 761-8149	YES	Brad Gibson	1-14-97
MECHANICAL 764-1638	YES	V. Munitz	12/20/96	TRANSPORTATION DEVELOPMENT 764-2680	YES	M. Zama	4/29/97
PLUMBING 764-1638	YES	V.M. 12/9/96 DE all OK H.D. 12/10/96 FOLE H.D. 2/13/97 BRPT		UNIFORM BUILDING CODE 764-1629	YES	P. Wilkes	2-13-97
ELECTRICAL 764-1652	YES	B.C.B.	12-13-96	ZONING 764-1664	YES	T. Murphy	1-9-97



CITY OF
Albuquerque

Public Works Department

February 19, 1997

Martin J. Chávez, Mayor

Robert E. Gurulé, Director

Mark Goodwin
Mark Goodwin & Associates
P.O. Box 90606
Albuquerque, NM 87199

(1801 YALE SE)

LTL CONCRETE

RE: RAMADA INN - YALE (L15-D43). ENGINEER'S CERTIFICATION FOR
CERTIFICATE OF OCCUPANCY. ENGINEER'S CERTIFICATION DATED
FEBRUARY 14, 1997.

Dear Mr. Goodwin:

Based on the information provided on your February 14, 1997
submittal, the above referenced project is approved for a 30-day
Temporary Certificate of Occupancy. Prior to final Certificate
of Occupancy, please provide this office with a copy of the green
tag for the sidewalk culvert.

Did you move the existing type "D" inlet out of the driveway?
Please indicate on as-built drawings.

If I can be of further assistance, please feel free to contact me
at 924-3984.

Sincerely,

Lisa Ann Manwill, P.E.
Engineering Assoc./Hyd.

c: Andrew Garcia
File

Good for You, Albuquerque!





Public Works Department

Martin J. Chávez, Mayor

Robert E. Gurulé, Director

January 16, 1997

Mark Goodwin
Mark Goodwin & Associates
P.O. Box 90606
Albuquerque, New Mexico 87199

RE: TEMPORARY ENGINEER CERTIFICATION FOR RAMADA-INN @ YALE (L15-D43)
CERTIFICATION STATEMENT DATED 1/9/97

Dear Mr. Goodwin:

Based on the information provided on your January 9, 1997 submittal, a 30-day temporary C.O. will be issued. Please be advised that once the project is completed, you will need to submit the final certification.

If I can be of further assistance, please feel free to contact me at 924-3986.

C: Andrew Garcia

Sincerely

Bernie J. Montoya C.E.
Engineering Associate

Good for You, Albuquerque!



TELEFAX COVER SHEET

DATE: 2/4/99

FAX PHONE: 865-1700

TELEFAX TO: Mondel Enterprises

ATTN: Orlando Montoya

SUBJECT: City letter

FROM: Andrew Garcia

**CITY OF ALBUQUERQUE - Building & Safety Division
600 - 2nd St., N.W., Lobby Level
Albuquerque, NM 87102**

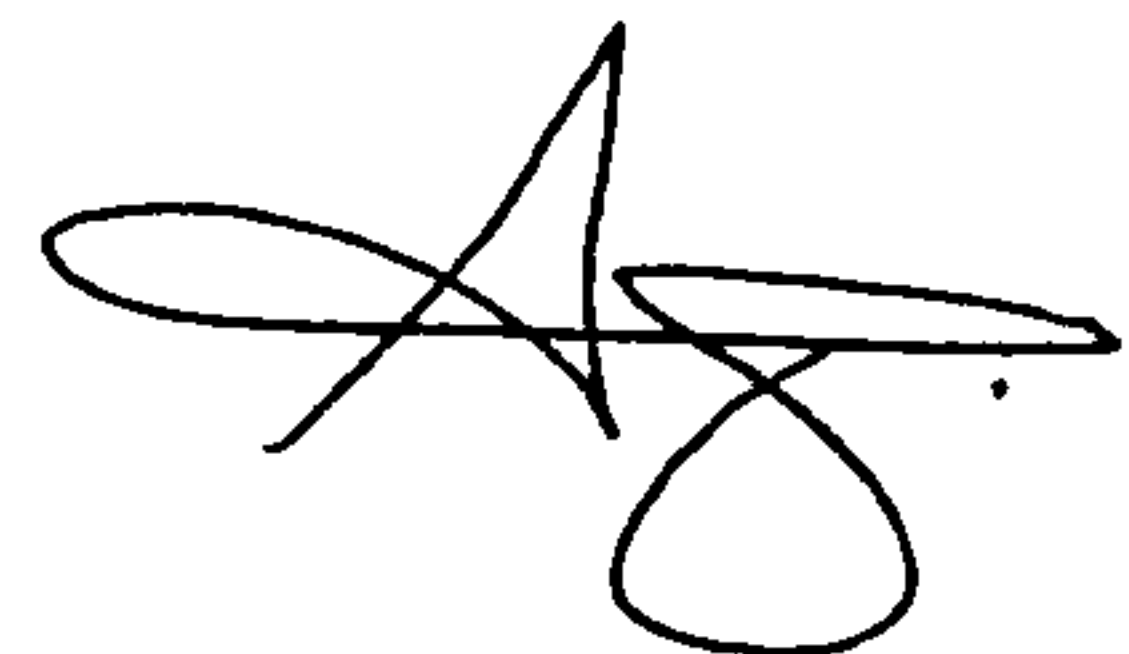
Telephone: 505-764-
Fax Number: 505-764-1847

Number of Pages Cover + 1 = 2

COMMENTS:

Any questions, please call

924.3330.



Box #
8W-1200
L-15/D43

2:54

Orlando Montoya
Bob Williams
Ramade Jim
Yate

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Ramada Inn - Yale ZONE ATLAS/DRNG, FILE#: L-15/043
DRB #: _____ EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: Lots 4-A & 6-A, Block 11, Lots 21-26, Block 11; Clayton Heights
CITY ADDRESS: Yale & Ross SE

ENGINEERING FIRM: Mark Goodwin & Associates, PA CONTACT: Mark Goodwin PE
ADDRESS: PO Box 90606 PHONE: 345-2010
OWNER: Dr. Vijay Agarwal CONTACT: _____
ADDRESS: 5608 Zuni SE PHONE: 766-5471
ARCHITECT: De la Torre Architects CONTACT: Carlos de la Torre
ADDRESS: 7801 Academy NE PHONE: 828-9611
SURVEYOR: Harris Surveying CONTACT: Tony Harris
ADDRESS: 2412 Monroe NE PHONE: 889-8056
CONTRACTOR: MONDEL ENTER. CONTACT: Orlando Montoya
ADDRESS: _____ PHONE: 865-0100

TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION
☐ OTHER

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATION OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☒ OTHER TEMP. (Specify)

PRE-DESIGN MEETING:

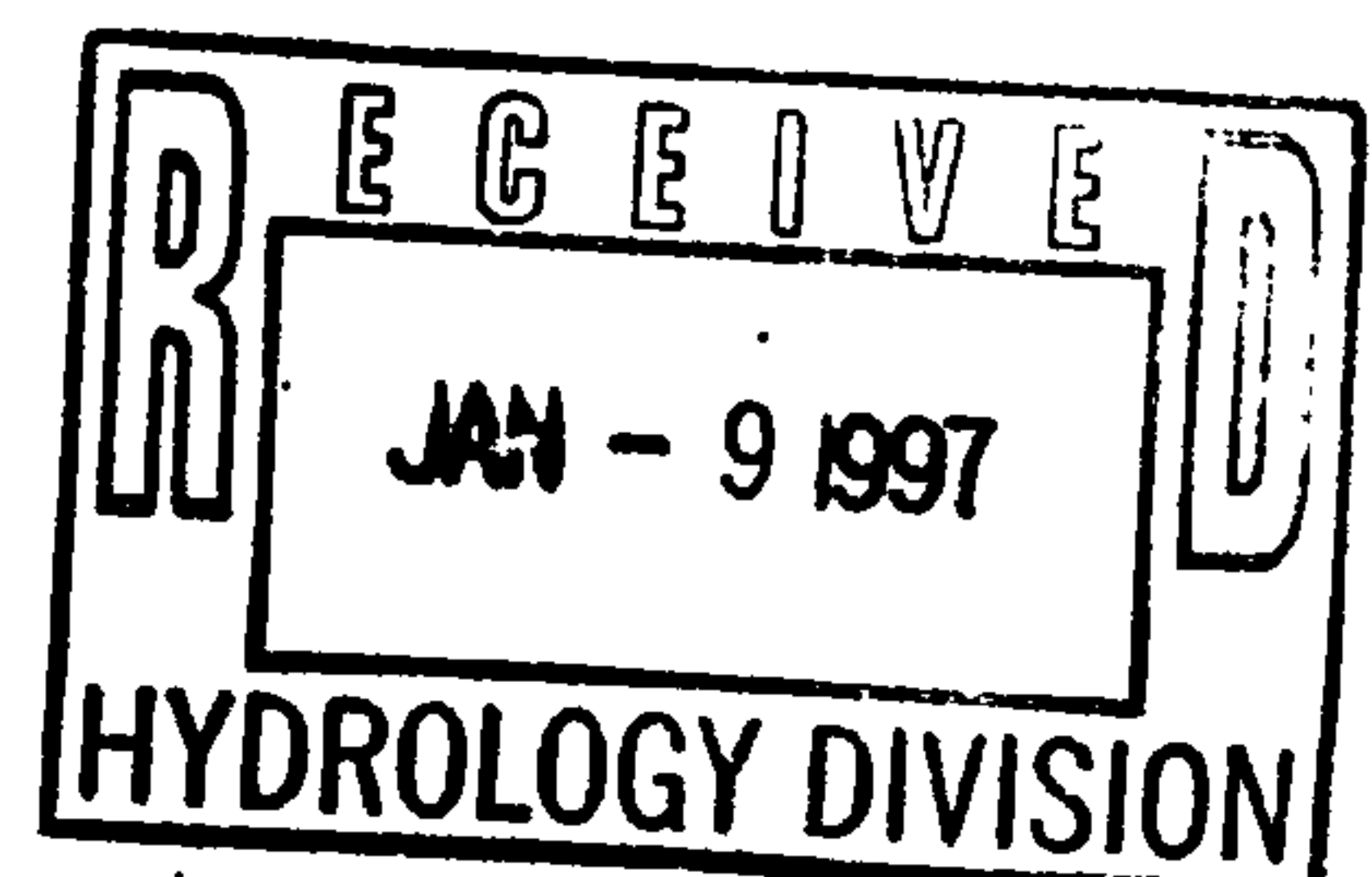
☐ YES
☒ NO
☐ COPY PROVIDED

30 DAY TEMP issued on 1/9/97

DATE SUBMITTED: 1/9/97

BY: Mark Goodwin

Mark Goodwin PE





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 16, 1995

Mark Goodwin
Mark Goodwin & Associates
P.O. Box 90606
Albuquerque, NM 87199

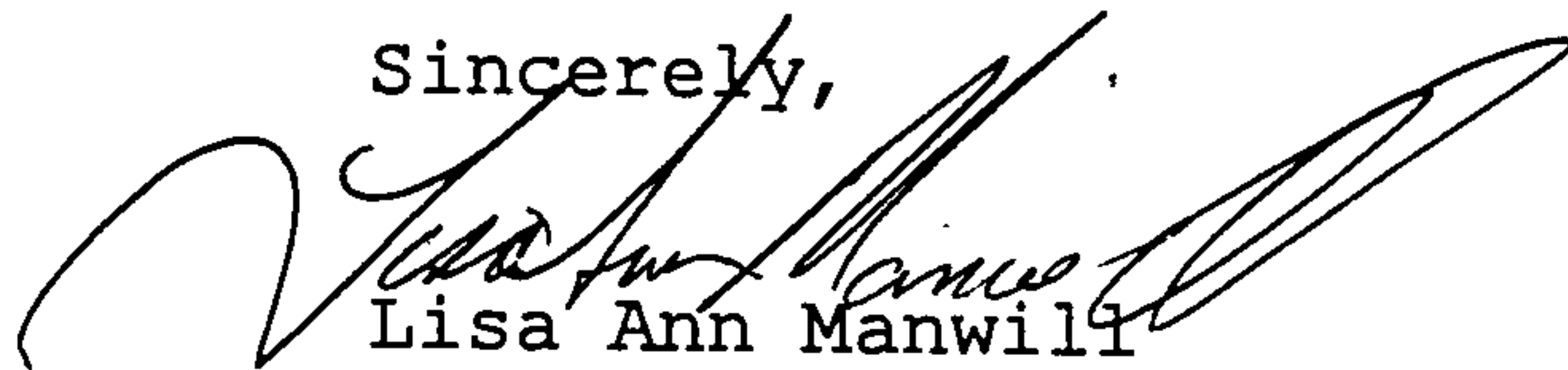
**RE: RAMADA INN - YALE (L15-D43) DRAINAGE AND GRADING PLAN FOR
BUILDING PERMIT AND SO #19 APPROVAL. ENGINEER'S STAMP DATED
11-13-95.**

Dear Mr. Goodwin:

Based on the information provided on your November 14, 1995
submittal, the above referenced project is approved for Building
Permit and SO #19.

If I can be of further assistance, please feel free to contact me
at 768-3622.

Sincerely,



Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Arlene Portillo
Andrew Garcia
File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Ramada Inn - Yale ZONE ATLAS/DRNG, FILE#: L-15/1043
DRB #: _____ EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: Lots 4-A & 6-A, Block 11, Lots 21-26, Block 11; Clayton Heights
CITY ADDRESS: Yale & Ross SE

ENGINEERING FIRM: Mark Goodwin & Associates, PA CONTACT: Mark Goodwin PE
ADDRESS: PO Box 90606 PHONE: 345-2010
OWNER: Dr. Vijay Agarwal CONTACT: _____
ADDRESS: 5608 Zuni SE PHONE: 766-5471
ARCHITECT: De la Torre Architects CONTACT: Carlos de la Torre
ADDRESS: 7801 Academy NE PHONE: 828-9611
SURVEYOR: Harris Surveying CONTACT: Tony Harris
ADDRESS: 2412 Monroe NE PHONE: 889-8056
CONTRACTOR: N/A CONTACT: _____
ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

☒ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG PERMIT APPROVAL
☒ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATION OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☒ OTHER SD - 19 (Specify)

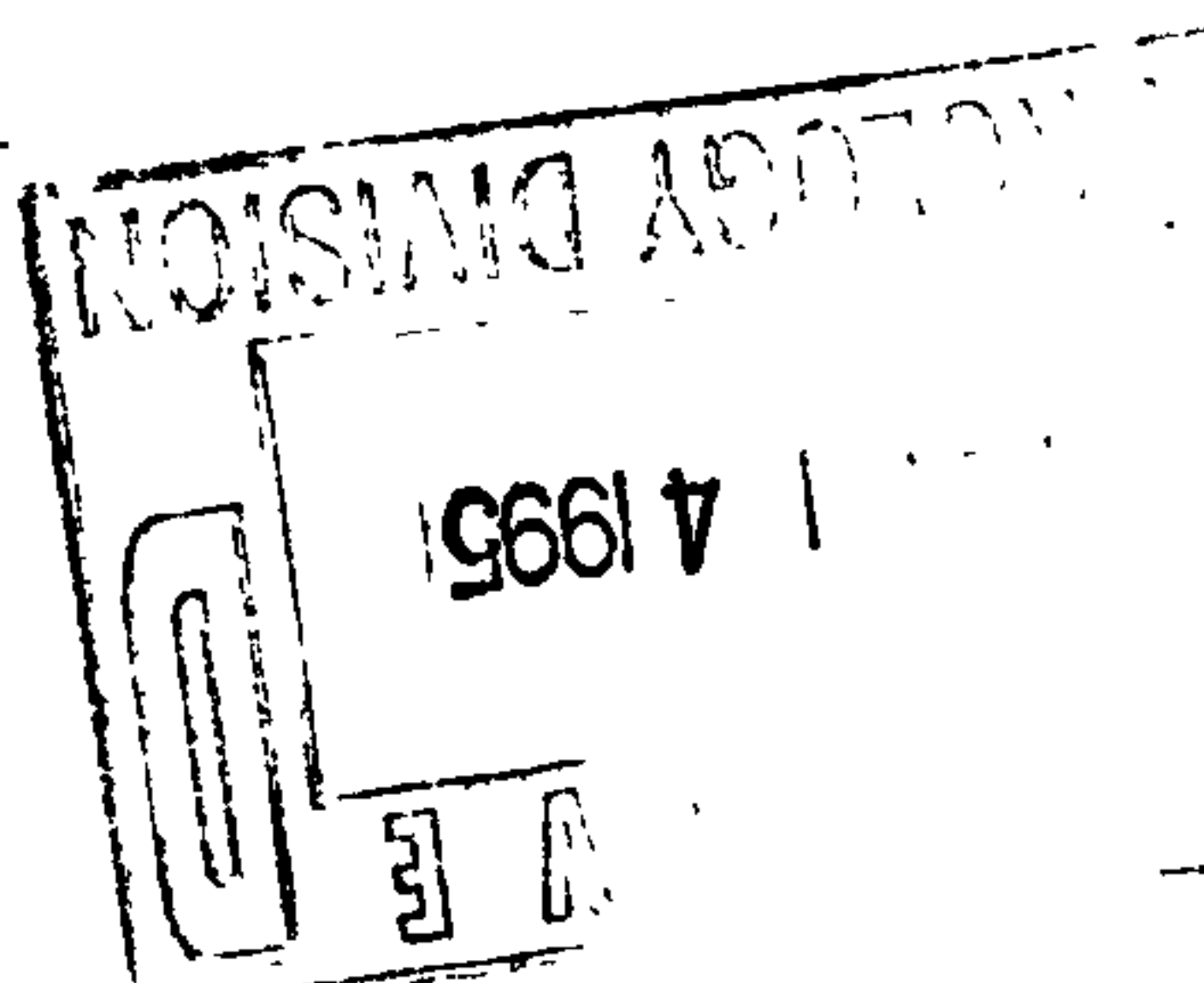
PRE-DESIGN MEETING:

☒ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 11/13/95

BY: Mark Goodwin

Mark Goodwin PE





D. Mark Goodwin & Associates, P.A.
Consulting Engineers and Surveyors

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 345-2010

November 13, 1995

*Ms. Lisa Manwill
Hydrology Division
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103*

Re: Ramada Inn — Yale (C15/D43)

Dear Ms. Manwill:

We have received your letter dated 11/2/95, and offer the following:

- 1. We do not propose discharge to the Yale Storm Drain. We propose to discharge overland to Ross Avenue, 200 feet east of the Arroyo. Per attached calculations, there is adequate capacity for this concept.*
- 2. Plat is attached.*

With this submittal, we hereby request Building Permit and SO-19 approval. Please contact me if you have any questions or further comments.

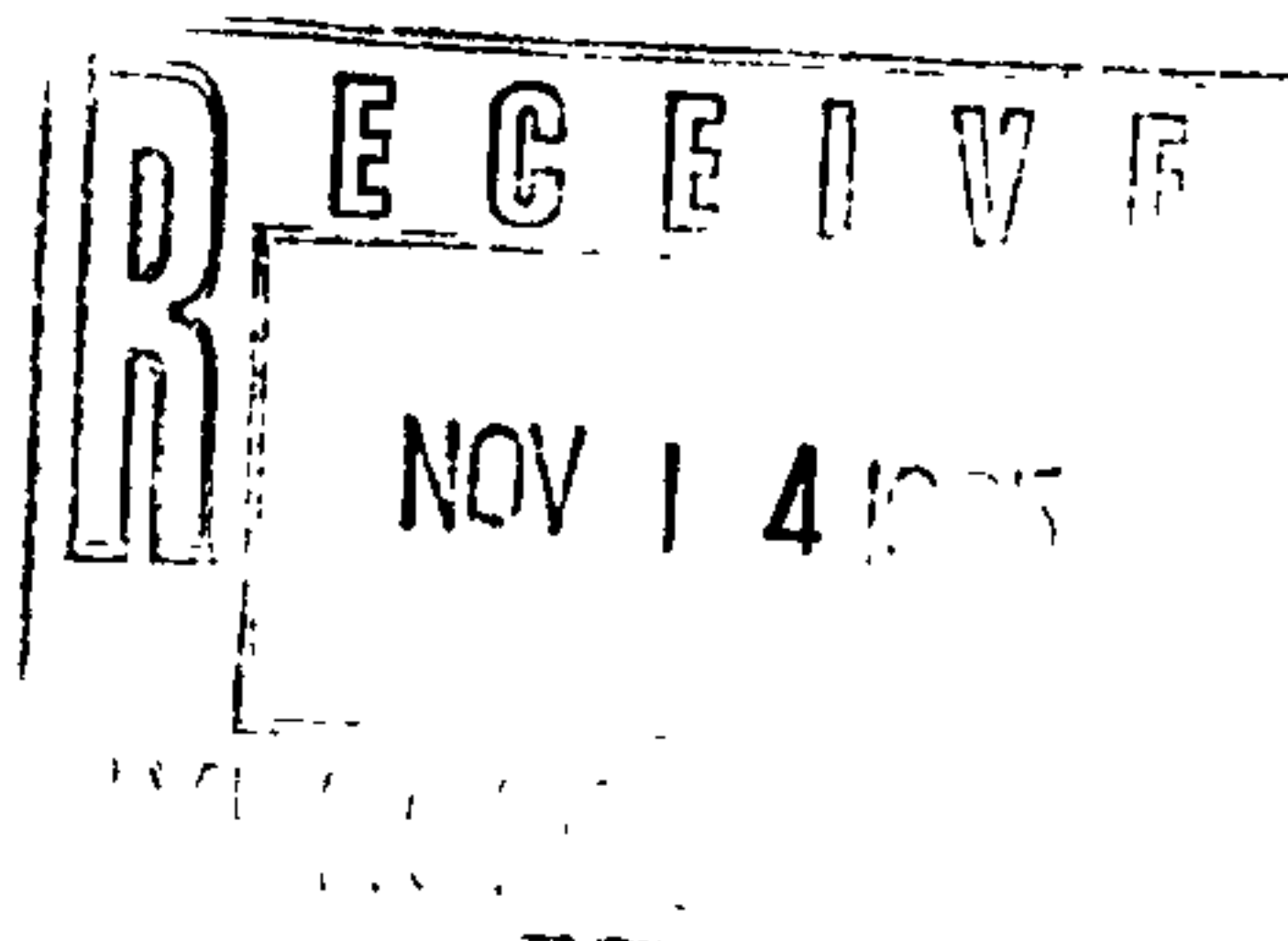
Sincerely,

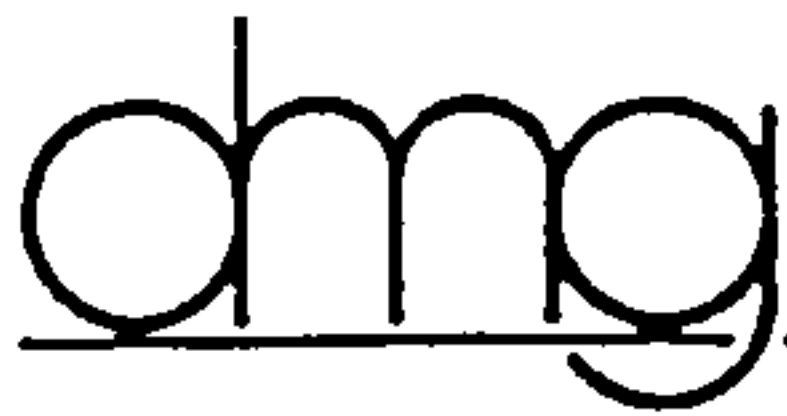
MARK GOODWIN AND ASSOCIATES, P.A.


Mark Goodwin, P.E.

DMG:smr

Attachments





D. Mark Goodwin & Associates, P.A.
Consulting Engineers and Surveyors

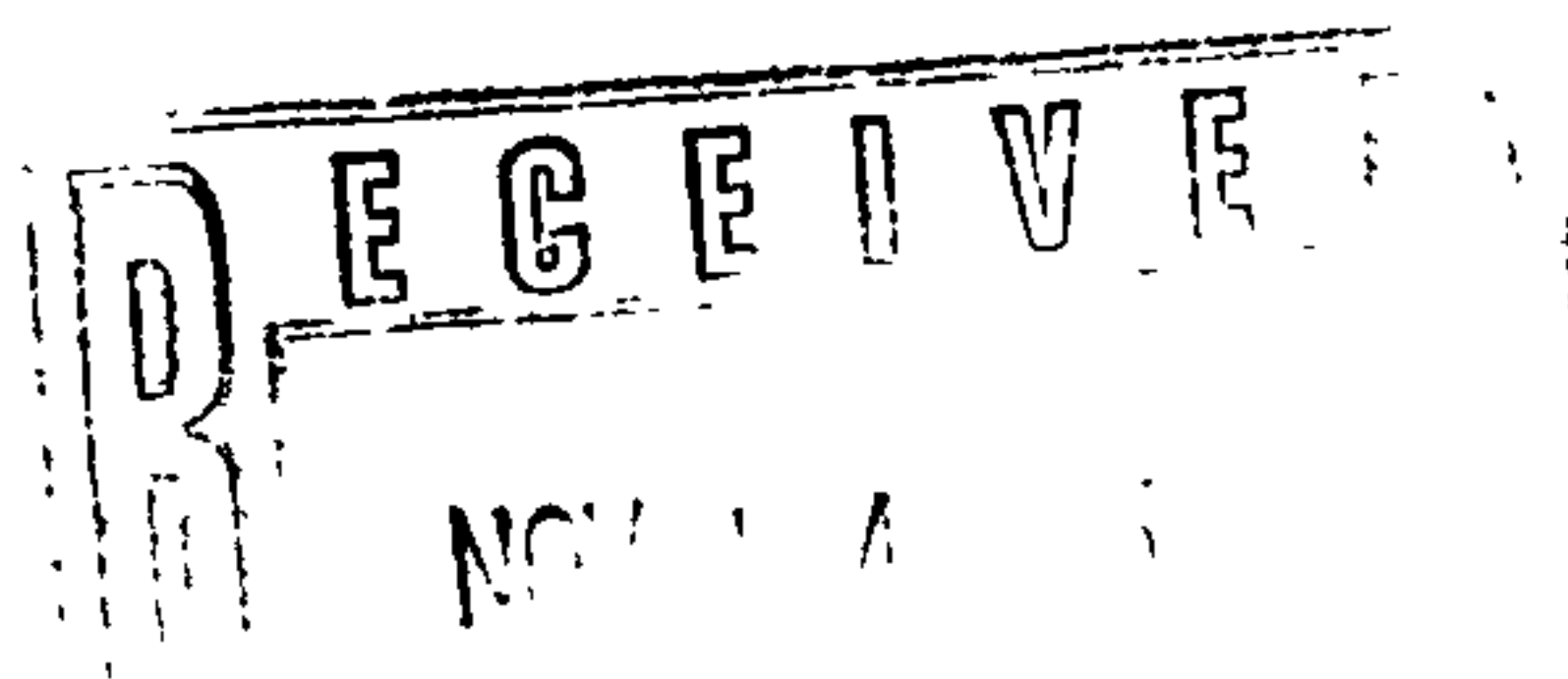
PROJECT Ranada Inn
SUBJECT Drainage
BY MG DATE 11/10/95
CHECKED _____ DATE _____
SHEET 1 OF 1

Per field recon, drainage basin to Ross
is 7.75 AC. - 'all residential' - This area
drains to a 40' FF street on a grade
of $\approx 5\%$

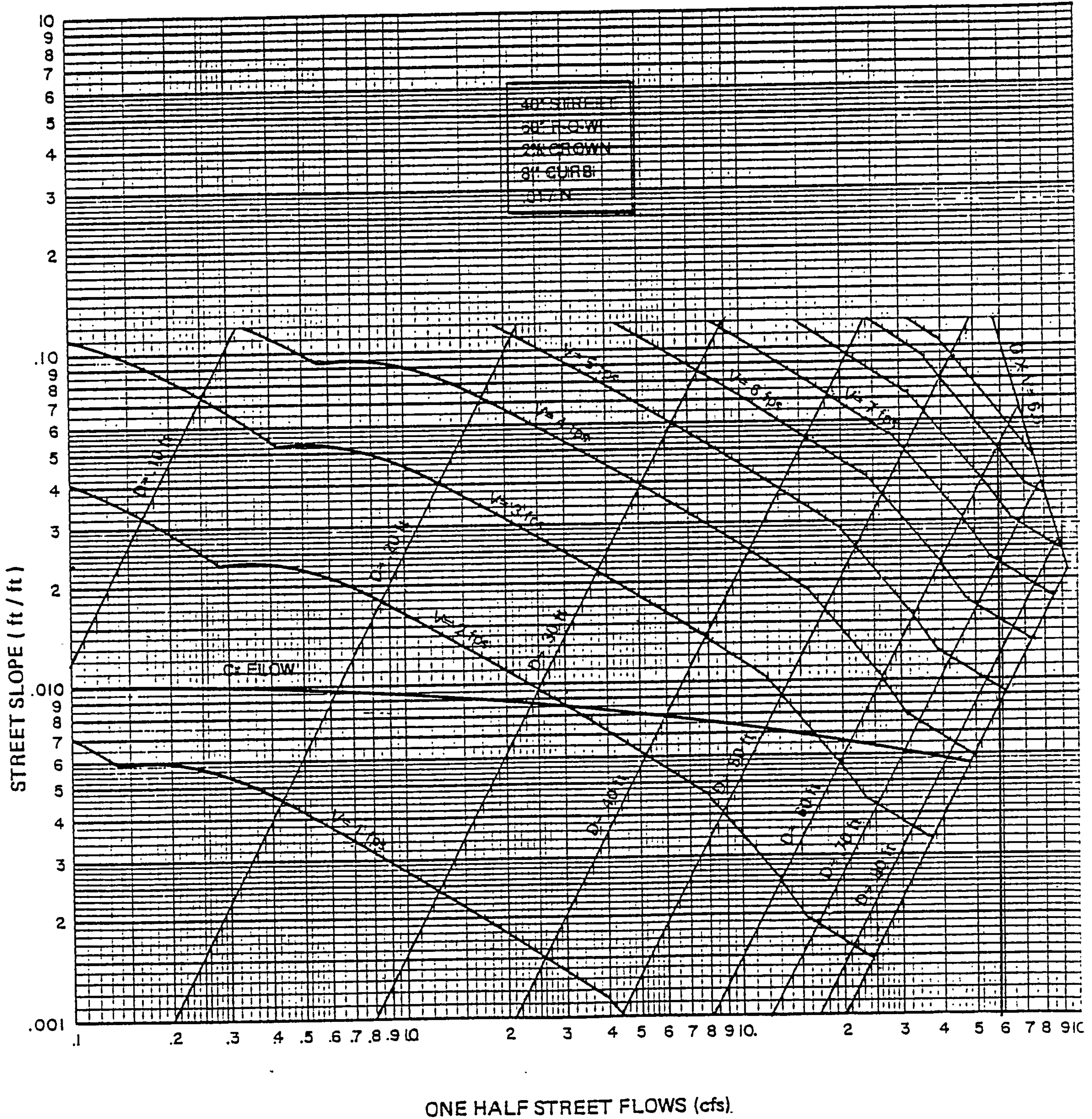
Using Land Treatments $B = 40$
 $C = 10$
 $D = 50$

$$Q = 27.7 \text{ cfs}$$

Per Attached Nomograph, street
Capacity for $\frac{1}{2}$ Street is 58 cfs -
for above actual.



STREET CAPACITY





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 2, 1995

Mark Goodwin
Mark Goodwin & Associates
P.O. Box 90606
Albuquerque, NM 87199

**RE: RAMADA INN - YALE (L15-D43) DRAINAGE AND GRADING PLAN FOR
BUILDING PERMIT APPROVAL. ENGINEER'S STAMP DATED 10-24-95.**

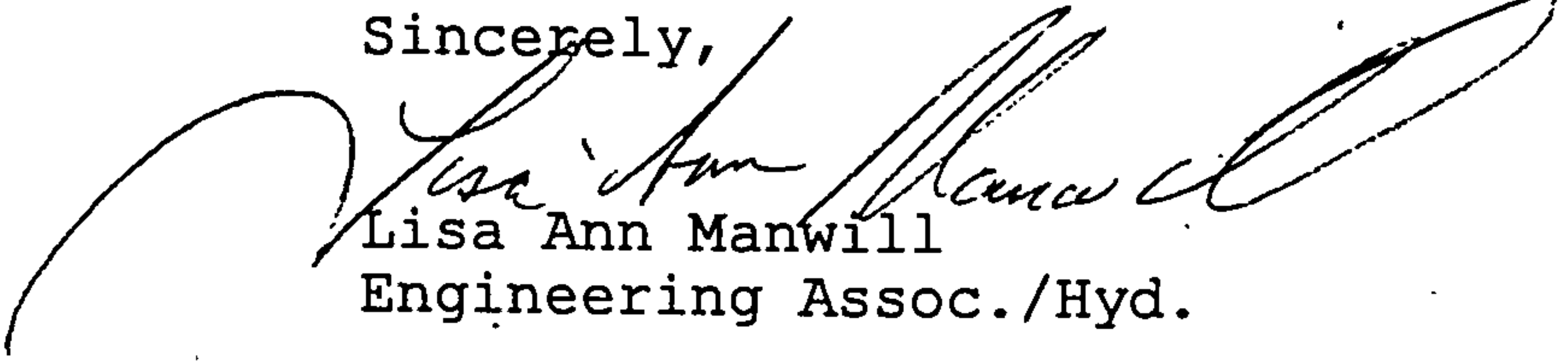
Dear Mr. Goodwin:

Based on the information provided on your October 25, 1995
submittal, City Hydrology has the following comments:

1. Are you allowed free discharge? Is there downstream capacity for your developed flows? I assume you intend on taking discharge to the Geneva Arroyo. How do you plan on getting water to the Arroyo? I realize that the Arroyo has plenty of capacity for your developed flows, however, I believe the Yale Storm Drain does not have the capacity.
2. The copy of the plat was inadvertently left out of your submittal. Please included with your next submittal.

If I can be of further assistance, please feel free to contact me at 768-3622.

Sincerely,


Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Ramada Inn — Yale ZONE ATLAS/DRNG, FILE#: L-15/1443
DRB #: _____ EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: Lots 4-A & 6-A, Block 11, Lots 21-26, Block 11; Clayton Heights
CITY ADDRESS: Yale & Ross SE

ENGINEERING FIRM: Mark Goodwin & Associates, PA CONTACT: Mark Goodwin PE
ADDRESS: PO Box 90606 PHONE: 345-2010
OWNER: Dr. Vijay Agarwal CONTACT: _____
ADDRESS: 5608 Zuni SE PHONE: 766-5471
ARCHITECT: De la Torre Architects CONTACT: Carlos de la Torre
ADDRESS: 7801 Academy NE PHONE: 828-9611
SURVEYOR: Harris Surveying CONTACT: Tony Harris
ADDRESS: 2412 Monroe NE PHONE: 889-8056
CONTRACTOR: N/A CONTACT: _____
ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

☒ DRAINAGE REPORT
☐ DRAINAGE PLAN
☒ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATION OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☒ OTHER 50-19 (Specify)

PRE-DESIGN MEETING:

☒ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 10/24/95

BY: Mark Goodwin
Mark Goodwin PE

RECEIVED

OCT 25 1995



D. Mark Goodwin & Associates, P.A.
Consulting Engineers and Surveyors

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 345-2010

October 24, 1995

Ms. Lisa Manwill
Hydrology Division
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Re: **Ramada Inn - Yale; L-15/D43**

Dear Ms. Manwill:

We are in receipt of your letter dated September 29, 1995, and offer the following:

1. There are no off-site flows.
 2. Per attached information from the "Engineering Analysis Report, Geneva's Arroyo Improvements," the basin this site lies in was analyzed as fully developed.
 3. The DRB number is DRB 95-76.
 4. SO-19 has been requested.
 5. Legend has been corrected.
 6. Plat is included. (where?)
- This tells me
very little*

With this response we respectfully request Building Permit and SO-19 approval. Please call if you have any questions or comments.

Sincerely,

MARK GOODWIN AND ASSOCIATES, P.A.


Mark Goodwin, P.E.

DMG:smr

Attachments

RECEIVED

OCT 25 1995

GI

ENGINEERING ANALYSIS REPORT

PREPARED FOR THE
CITY OF ALBUQUERQUE
NEW MEXICO

GENEIVA'S ARROYO IMPROVEMENTS

BUENA VISTA DRIVE S.E. TO SOUTH DIVERSION CHANNEL
A/E JOB NO. 0330-01

APRIL, 1990



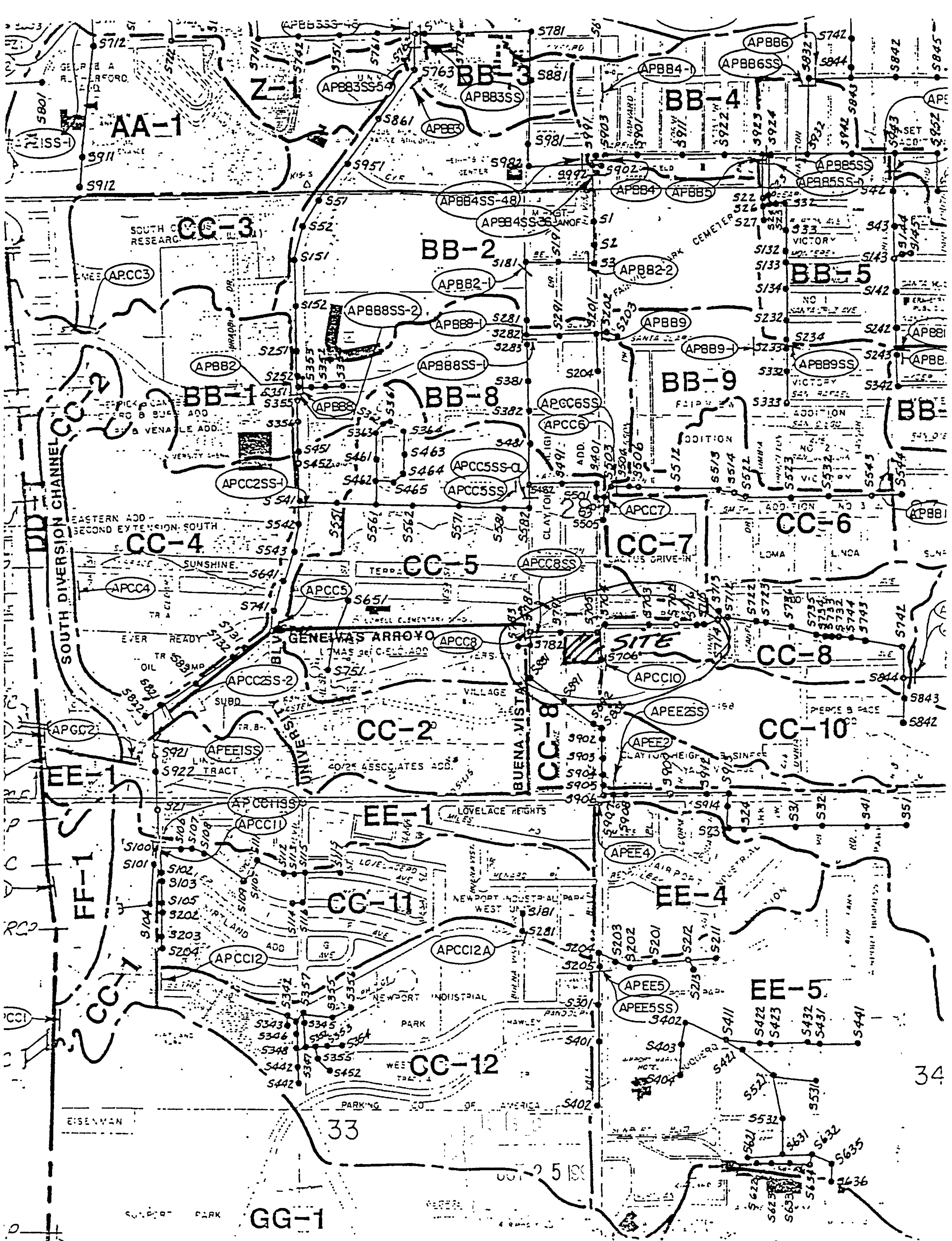
**Boyle
Engineering
Corporation**

consulting engineers

Suite 600-E
6400 Uptown Boulevard, N.E.
Albuquerque, New Mexico 87110

505 / 883-7700
FAX 505 / 881-9328

RECEIVED
OCT 25 1990



*
*****COMPUTE HYDROGRAPH FOR DRAINAGE BASIN CC8

*
***IMPERVIOUS DRAINAGE

*
COMPUTE HYD

ID=1 HYD=CC8
DT=0.02083 HRS DA=.009 SQ MI CN= 95
K= -0.0854 TP= -0.1708
MASS RAINFALL= 0.0 .01 .02 .04 .06 .07 .09 .12 .14
.16 .18 .22 .26 .29 .32 .37 .43 .48 .54 .64 .74 .95
1.07 1.23 1.31 1.38 1.45 1.50 1.54 1.59 1.62 1.65
1.68 1.70 1.72 1.75 1.77 1.79 1.81 1.83 1.85 1.86
1.87 1.88 1.90 1.91 1.93 1.94 1.95 1.96 1.97 1.98
1.98 1.99 1.99 2.00 2.00 2.01 2.01 2.01 2.02 2.02
2.02 2.03 2.03 2.03 2.03 2.04 2.04 2.04 2.04 2.05
2.05 2.05 2.05 2.05 2.05 2.06 2.06 2.06 2.06 2.06
2.06 2.07 2.07 2.07 2.07 2.07 2.07 2.07 2.07 2.07
2.07 2.07 2.07 2.07 2.07

SHAPE CONSTANT, N = 7.947

UNIT PEAK = 29.7CFS

MAXIMUM COMPUTED UNIT PEAK = 29.7CFS

***** ABOVE RAINFALL IS ZONE 2, EAST OF RIO GRANDE, BELOW 5200

*
PRINT HYD

ID=1 CODE=10

HYDROGRAPH NUMBER CC8

TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS
0.000	0.	1.041	5.	2.083	0.
0.208	0.	1.250	2.	2.291	0.
0.417	3.	1.458	1.	2.500	0.
0.625	21.	1.666	1.		
0.833	9.	1.875	0.		

RUNOFF VOLUME = 0.713 ACRE-FT
PEAK DISCHARGE RATE = 20.8 CFS
PEAK OCCURRED AT 0.62 HRS.

*
***PERVIOUS DRAINAGE

*
COMPUTE HYD

ID=12 HYD=CC8
DT=0.02083 HRS DA=.0512 SQ MI CN=72
K= -0.0854 TP= -0.1708
MASS RAINFALL=-1.0

SHAPE CONSTANT, N = 7.947

UNIT PEAK = 169.2CFS

MAXIMUM COMPUTED UNIT PEAK = 168.9CFS

*
PRINT HYD

ID=12 CODE=10

HYDROGRAPH NUMBER CC8

TIME HRS	FLOW CFS	TIME HRS	FLOW CFS	TIME HRS	FLOW CFS
0.000	0.	1.041	10.	2.083	0.
0.208	0.	1.250	6.	2.291	0.
0.417	0.	1.458	3.	2.500	0.
0.625	15.	1.666	2.	2.708	0.
0.833	15.	1.875	1.	2.916	0.

RUNOFF VOLUME = 0.874 ACRE-FT
PEAK DISCHARGE RATE = 18.9 CFS
PEAK OCCURRED AT 0.71 HRS.

Fully Developed



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 29, 1995

Mark Goodwin
Mark Goodwin & Associates
P.O. Box 90606
Albuquerque, NM 87199

**RE: RAMADA INN - YALE (L15-D43) DRAINAGE AND GRADING PLAN FOR
BUILDING PERMIT APPROVAL. ENGINEER'S STAMP DATED 9-26-95.**

Dear Mr. Goodwin:

Based on the information provided on your September 27, 1995
submittal, please address the following comments:

1. Are there any offsite flows?
2. Are you allowed free discharge? Is there downstream capacity for your developed flows? Please reference relevant master plans and/or other reports where information may be obtained.
3. Is there a DRB # for this project?
4. Please request SO-19 approval on the Drainage Information Sheet.
5. I see the symbol for proposed contours in the legend, but I do not see any proposed contours on the plan.
6. Do you have a current copy of this plat? If so, please include with your next submittal.

If I can be of further assistance, please feel free to contact me at 768-3622.

Sincerely,


Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
File

DRAINAGE INFORMATION SHEET

043
L-15

PROJECT TITLE: Ramada Inn - Yale ZONE ATLAS/DRNG, FILE#: L-15
DRB #: _____ EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: Lots 4-A & 6-A, Block 11, Lots 21-26, Block 11; Clayton Heights
CITY ADDRESS: Yale & Ross SE

ENGINEERING FIRM: Mark Goodwin & Associates, PA CONTACT: Mark Goodwin PE
ADDRESS: PO Box 90606 PHONE: 345-2010
OWNER: Dr. Vijay Agarwal CONTACT: _____
ADDRESS: 5608 Zuni SE PHONE: 766-5471
ARCHITECT: De la Torre Architects CONTACT: Carlos de la Torre
ADDRESS: 7801 Academy NE PHONE: 828-9611
SURVEYOR: Harris Surveying CONTACT: Tony Harris
ADDRESS: 2412 Monroe NE PHONE: 889-8056
CONTRACTOR: MONDEL ENTER. CONTACT: Orlando Montoya
ADDRESS: _____ PHONE: 865-0100

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION
☐ OTHER

PRE-DESIGN MEETING:

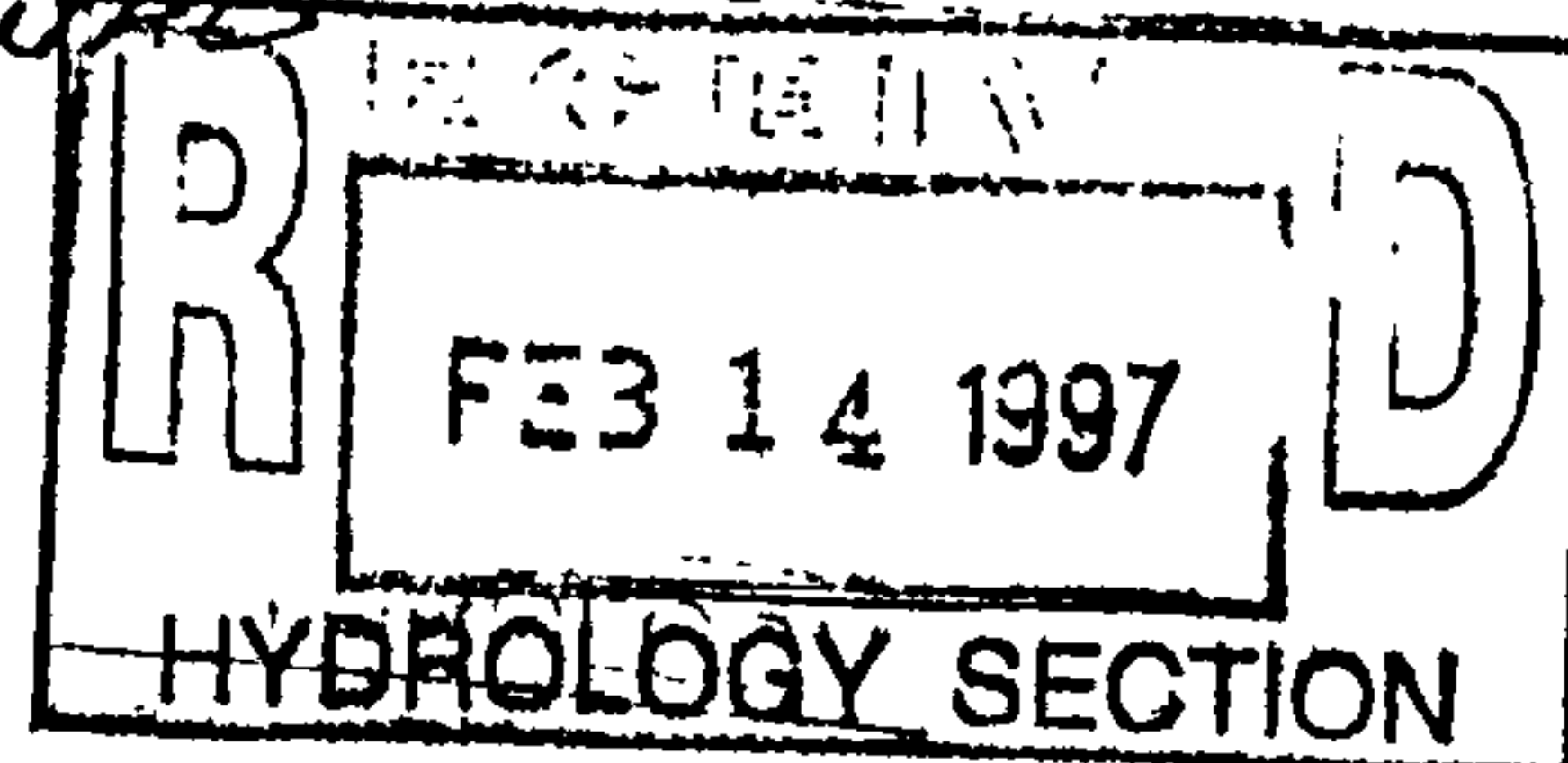
☐ YES
☒ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATION OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (Specify)

DATE SUBMITTED: 2/14/97

BY: Mark Goodwin
Mark Goodwin PE



DRAINAGE INFORMATION SHEET

PROJECT TITLE: Ramada Inn — Yale ZONE ATLAS/DRNG, FILE#: L-15 / 1843
DRB #: _____ EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: Lots 4-A & 6-A, Block 11, Lots 21-26, Block 11; Clayton Heights
CITY ADDRESS: Yale & Ross SE

ENGINEERING FIRM: Mark Goodwin & Associates, PA CONTACT: Mark Goodwin PE
ADDRESS: PO Box 90606 PHONE: 345-2010
OWNER: Dr. Vijay Agarwal CONTACT: _____
ADDRESS: 5608 Zuni SE PHONE: 766-5471
ARCHITECT: De la Torre Architects CONTACT: Carlos de la Torre
ADDRESS: 7801 Academy NE PHONE: 828-9611
SURVEYOR: Harris Surveying CONTACT: Tony Harris
ADDRESS: 2412 Monroe NE PHONE: 889-8056
CONTRACTOR: N/A CONTACT: _____
ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

☒ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATION OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (Specify)

PRE-DESIGN MEETING:

☒ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 9/24/95

BY: Mark Goodwin
Mark Goodwin PE

