

LEGEND

DESCRIPTION	NEW	EXISTING
CONTOURS (5 FT)	5135	5135
CONTOURS (1 FT)	5131	
PROPOSED OFFSITE CONTOURS		
SPOT ELEVATION	+ 34.52	
DIRECTION OF RUNOFF		
FLOWLINE		
PROPERTY LINE		
TOP OF CURB ELEVATION	TC=XX.XX	11.87
FLOWLINE ELEVATION	FL=XX.XX	11.13
TOP OF SIDEWALK ELEVATION	TSW=XX.XX	
CURB		
OVERHEAD ELECTRIC CABLE		
POWER POLE		
STREET LIGHT		
CONCRETE		

CERTIFICATION FOR PERMANENT CERTIFICATE OF OCCUPANCY
I HEREBY CERTIFY THAT I HAVE INSPECTED THE SITE GRADING AND DRAINAGE IMPROVEMENTS AND THAT THEY HAVE BEEN CONSTRUCTED AND ARE EXPECTED TO FUNCTION IN SUBSTANTIAL COMPLIANCE WITH THE INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN. THE AS-CONSTRUCTED INFORMATION SHOWN ON THIS PLAN WAS PROVIDED BY OTHERS. PROPOSED CONTOURS HAVE NOT BEEN REVISED TO REFLECT AS-CONSTRUCTED ELEVATIONS AND SHOULD BE CONSIDERED APPROXIMATE.

CHARLES M. EASTERLING, P.E.
N.M.P.E. No. 6411

DATE: 8-16-96

NEW MEXICO
6411
REGISTERED PROFESSIONAL ENGINEER

GENERAL NOTES FOR GRADING AND DRAINAGE

- ALL WORK DETAILED ON THIS PLAN, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. SUPPLEMENTAL EARTHWORK PROCEDURES & SPECIFICATIONS, AND PAVING DESIGN & SPECIFICATIONS SHALL CONFORM TO SITE PLAN AND PROJECT SPECIFICATIONS.
- A CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT SO THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- REFER TO ARCHITECTURAL SITE PLAN FOR SITE GEOMETRY AND DETAILS OF SITE FEATURES.
- ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- DISPOSAL OF ALL WASTE MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONSTRUCTION SAFETY: THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN ENTIRELY THE RESPONSIBILITY OF THE CONTRACTOR.
- THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO BUILDINGS SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO STRUCTURES. FOR CONSTRUCTION DETAILS, REFER TO THE LANDSCAPING AND ARCHITECTURAL PLANS.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- THE CONTRACTOR SHALL EXERCISE CARE SO AS NOT TO DISTURB OR DAMAGE EXISTING FEATURES TO REMAIN DURING ALL PHASES OF CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT INFORMATION AT SPOTS SHOWN ON THIS PLAN FOR GRADING CERTIFICATION. THE REQUIRED SPOTS ARE MARKED. THE CONTRACTOR SHALL CONTACT THE ENGINEER AT THE START OF CONSTRUCTION TO REVIEW CERTIFICATION REQUIREMENTS.

DRAINAGE PLAN

EXISTING CONDITIONS

THE SITE CONSISTS OF APPROXIMATELY 1.190 ACRES AND IS CURRENTLY UNDEVELOPED. OVERALL DRAINAGE IS FROM EAST TO WEST, WITH FREE DISCHARGE TO GIBSON BLVD. NE. THE SITE IS BOUNDED BY CITY STREETS TO THE EAST AND SOUTH, AND BY A PRIVATE ACCESS EASEMENT TO THE WEST. EXAMINATION OF THE EXISTING TOPOGRAPHY SUGGESTS THAT THE SITE IS NOT IMPACTED BY OFFSITE FLOWS, ACCORDING TO FEMA MAP NO. 35, DATED OCTOBER 14, 1983. THE SITE DOES NOT LIE IN A 100-YEAR FLOOD HAZARD ZONE.

DEVELOPED CONDITIONS

IT IS PROPOSED TO BUILD A GAS STATION ON THE SITE. THE SITE WILL DRAIN TO THE WEST AS INDICATED ON THE PLAN. THE DEVELOPED RUNOFF WILL BE DISCHARGED TO GIBSON BLVD. VIA A PRIVATE ACCESS DRIVE AT THE WEST END OF THE SITE. FREE DISCHARGE OF THE SITE IS APPROPRIATE DUE TO THE DOWNSTREAM DRAINAGE FACILITIES IN GIBSON BLVD.

100 YEAR RAINFALL DEPTHS
ALBUQUERQUE ZONE 2

DURATION	DEPTH (in.)
1 hr	2.01
6 hr	2.35
24 hr	2.75
4 day	3.30
10 day	3.95

HYDROLOGY SUMMARY

BASIN DESCRIPTION	CONDITION	AREA (ACRES)	LAND TREATMENT CLASSIFICATION (% OF TOTAL)				100 YEAR STORM	
			A	B	C	D	PEAK DISCHARGE (CFS)	6 HOUR VOLUME (CF)
PROJECT SITE	EXISTING	1.190	97	0	0	3	2.0	2,496
	DEVELOPED	1.190	0	12	0	88	5.2	8,464

KEYED NOTES

- CONCRETE PAD PER SITE PLAN
- CONCRETE WALK PER SITE PLAN
- H/C RAMP PER SITE PLAN
- ASPHALT PAVING PER SITE PLAN
- LANDSCAPING PER LANDSCAPING PLAN
- CONCRETE CURB PER SITE PLAN (TYP)
- REMOVE & DISPOSE OF EXISTING CURB
- MATCH NEW ASPHALT TO EXISTING ASPHALT.
- 3' CURB OPENING FOR DRAINAGE.

LEGAL DESCRIPTION

LOT 3
GIBSON TRACTS
40/20 ASSOCIATES SUBDIVISION

BENCHMARK

CITY OF ALBUQUERQUE SURVEY MONUMENT G-9A
ELEVATION = 5143.07

SURVEYOR

SOUTHWEST SURVEYING CO. INC.
333 LOMAS N.E.
ALBUQUERQUE, N.M. 87102

AUG 16 1996

1" = 20'

0 10' 20' 40'

Designed By: CME
File No. 4260

Drawn By: DEC
Date: 10-95

Checked By: CME

Easterling & Associates, Inc.
CONSULTING ENGINEERS
10131 Coors Rd., NW, Suite H-7/B
ALBUQUERQUE, NEW MEXICO 87114
(505) 898-8021 FAX (505) 898-8501

ALBUQUERQUE, NEW MEXICO

COA HYD. No. L15-D45

Sheet 1 of 1

GIBSON BLVD. & UNIVERSITY BLVD. S.E.

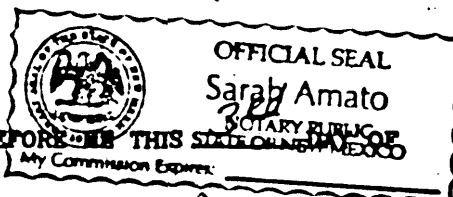
L-15

FREE CONSENT:

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND DO HEREBY REPRESENT THAT THE UNDERSIGNED INDIVIDUALS ARE AUTHORIZED TO SO ACT AND DO HEREBY GRANT THE PRIVATE ACCESS, PUBLIC WATER AND SANITARY SEWER EASEMENTS AS SHOWN HEREON.

OWNER(S) SIGNATURE: Paul Tucker
PAUL TUCKER
DATE: 8/3/95
ADDRESS: #7 CALLE CACTO PLACITAS NM 87043
TRACT: 1-2-3

BY: ACKNOWLEDGMENT
STATE OF NEW MEXICO }
COUNTY OF BERNALILLO } .SS



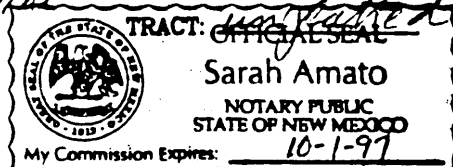
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS August 1995.

MY COMMISSION EXPIRES: 10-1-97

Sarah Amato
NOTARY PUBLIC

OWNER(S) SIGNATURE: Paul J. Matteucci
PAUL J. MATTEUCCI
DATE: August 1, 1995
ADDRESS: 317 6th Street N.W.
Albuquerque, New Mexico 87102

BY: ACKNOWLEDGMENT
STATE OF NEW MEXICO }
COUNTY OF BERNALILLO } .SS



THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 1st DAY OF August 1995.

MY COMMISSION EXPIRES: 10-1-97

Sarah Amato
NOTARY PUBLIC

OWNER(S) SIGNATURE: Charles Vance Mauney
CHARLES VANCE MAUNEY
DATE: August 1, 1995
OWNER(S) SIGNATURE: Helen Louise Mauney
HELEN LOUISE MAUNEY
DATE: August 1, 1995

ADDRESS: 1808 NEWTON PLACE NE.
ALBUQUERQUE, NM 87106-2527
TRACT: UNPLATTE

BY: ACKNOWLEDGMENT
STATE OF NEW MEXICO }
COUNTY OF BERNALILLO } .SS



THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 1st DAY OF August 1995.

MY COMMISSION EXPIRES: 10-1-97

Sarah Amato
NOTARY PUBLIC

SUBDIVISION DATA / NOTES:

1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEY.
2. ALL CORNERS IDENTIFIED AS "SET" ARE A #4 REBAR W/CAP STAMPED "LS 6446", UNLESS NOTED OTHERWISE.
3. ALL CORNERS IDENTIFIED AS "END" ARE A #4 REBAR W/CAP STAMPED "LS 6446", UNLESS NOTED OTHERWISE.
4. BASIS OF BEARINGS PER PLAT OF "TRACTS A & B OF 40/25 ASSOCIATES SUBDIVISION", FILED MAY 1, 1995 IN VOLUME 95C, FOLIO 149.
5. DISTANCES ARE GROUND DISTANCES.
6. PLAT SHOWS ALL EASEMENTS OF RECORD.
7. GROSS ACREAGE: 7.626 ACRES
8. NUMBER OF EXISTING TRACTS/LOTS: 3
9. NUMBER OF TRACTS/LOTS CREATED: 5
10. BEARINGS AND DISTANCES IN PARENTHESES (), PER RECORD.
11. BEARINGS ARE STATE PLANE GRID BEARINGS, CENTRAL ZONE.
12. THE 40' PRIVATE ACCESS, DRAINAGE, PUBLIC WATER & SANITARY SEWER EASEMENTS SHOWN HEREON, ARE FOR THE BENEFIT AND USE, BY AND FOR THE OWNERS OF TRACTS 1-5 AND ARE TO BE MAINTAINED BY SAID OWNERS. REF: NOTES

PROJECT NO. 57B-02

PLOT DATE: 7/26/96

OWNER(S) SIGNATURE: Avelino Gutierrez
AVELINO GUTIERREZ
DATE: August 4, 1995
ADDRESS: 5601 Ponderosa NE.
Albuquerque, N.M. 87119

OWNER(S) SIGNATURE: Lorraine Gutierrez
LORRAINE GUTIERREZ
DATE: August 4, 1995
ADDRESS: 5601 Ponderosa NE

OWNER(S) SIGNATURE: Edward J. Apodaca, Sr.
EDWARD J. APODACA, SR.
DATE: 2 Aug 95
ADDRESS: 200 Lomas N.W., Suite 1015

OWNER(S) SIGNATURE: Edward J. Apodaca, Jr.
EDWARD J. APODACA, JR.
DATE: 2 Aug 95
ADDRESS: 200 Lomas N.W. Suite 1015

OWNER(S) SIGNATURE: Inga Apodaca
INGA APODACA
DATE: 2 Aug 95
ADDRESS: 200 Lomas N.W. Suite 1015

OWNER(S) SIGNATURE: David Garcia
DAVID GARCIA
DATE: 8-8-95
ADDRESS: 4205 Goodrich NE ALB

OWNER(S) SIGNATURE: Gilbert Garcia by: David Garcia
GILBERT GARCIA by: DAVID GARCIA
Attorney-in-Fact
DATE: 8-8-95
ADDRESS: 4205 Goodrich NE ALB

OWNER(S) SIGNATURE: Roberto Garcia by: David Garcia
ROBERTO GARCIA by: DAVID GARCIA
Attorney-in-Fact
DATE: 8-8-95
ADDRESS: 4205 Goodrich NE ALB

OWNER(S) SIGNATURE: Beneranda Garcia Castillo by: David Garcia
BENERANDA GARCIA CASTILLO by: DAVID GARCIA
Attorney-in-Fact
DATE: 8-8-95
ADDRESS: 4205 Goodrich NE ALB

BY: ACKNOWLEDGMENT
STATE OF NEW MEXICO }
COUNTY OF BERNALILLO } .SS



THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS August 1995.

MY COMMISSION EXPIRES: 10-1-97

Sarah Amato
NOTARY PUBLIC

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON UPC #:

SEE 7 UPDS

GUTIERREZ AVELINO V. GUADALUPE VILLAGE INC, CHEVRON USA INC
PROPERTY OWNER OF RECORD:

Frank R. Rial
BERNALILLO COUNTY TREASURER'S OFFICE:

State of New Mexico } SS
County of Bernalillo }
This instrument was filed for record on
24 SEP - 8 1995
in records of said County Folio 344
Indy. Notarized Clerk & Recorder
Deputy Clerk

A PLAT OF
TRACTS 1 thru 5
of
GIBSON TRACTS
SITUATE WITHIN SECTION 28,
T 10 N, R 3 E, N.M.P.M.
CITY OF ALBUQUERQUE, NEW MEXICO
JULY 1995

DISCLOSURE STATEMENT:

THE PURPOSE OF THIS REPLAT IS TO CREATE FIVE (5) TRACTS FROM THREE (3) EXISTING TRACTS OF LAND; GRANT A PRIVATE ACCESS, PUBLIC WATER & SANITARY SEWER EASEMENT; AND VACATE EASEMENTS SHOWN PER V-95-40.

CITY APPROVALS:
CITY ENGINEER: John J. Gugin DATE: 9-6-95
CITY SURVEYOR: Robert D. ... DATE: 9-22-95
TRAFFIC ENGINEER: ... DATE: 8-29-95
PARKS AND GENERAL SERVICES: ... DATE: 9-6-95
REAL PROPERTY DIVISION: Robert W. Kane DATE: 8-29-95
UTILITY DEVELOPMENT DIVISION: ... DATE: 9-9-95
CITY PLANNER, ALBUQUERQUE PLANNING DIVISION: ... DATE: 9-9-95

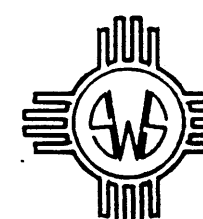
PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE FOR THE COMMON AND JOINT USE OF:

- 1.) THE PUBLIC SERVICE COMPANY OF NEW MEXICO, FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES, AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES, AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- 2.) THE GAS COMPANY OF NEW MEXICO FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES, OR OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICE.
- 3.) U.S. WEST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE TELEPHONE SERVICE.
- 4.) JONES INTERCABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURES SHALL NOT BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING OR ANY STRUCTURES ADJACENT TO, WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

Violet Watson 9/8/95
JONES INTERCABLE
Norma S. Carrillo 9-7-95
U.S. WEST COMMUNICATIONS
... 9-21-95
GAS COMPANY OF NEW MEXICO
... 9-21-95
PUBLIC SERVICE COMPANY OF NEW MEXICO
DATE: JAN 7 1996



SOUTHWEST SURVEYING CO., INC.

333 LOMAS BLVD. N.E.
ALBUQUERQUE, NEW MEXICO 87102

PHONE: (505) 247-4444
FAX: (505) 242-8089

SHEET 1 of 2

TION R3E SEC 28



N.T.S.

L-15-Z

K.P.E. CONTROL STATION
S.D.C. 13-4
X = 384,765.39
Y = 1,477,082.75
GROUND TO GRID = 0.99967417
DELTA ALPHA = - 0°13'16"
NEW MEXICO STATE PLANE
COORDINATE SYSTEM
CENTRAL ZONE
NAD 1927

EASEMENT DATA

a	7' PRIVATE WATER & SANITARY SEWER EASEMENT 5/1/95 95C-149
b	40' PRIVATE ACCESS, PUBLIC WATER & SANITARY SEWER EASEMENT 5/1/95 95C-149
c	15' UTILITY EASEMENT 5/3/98 84-68
d	7' UTILITY EASEMENT 5/3/98 84-68
e	20'x40' RECIPROCAL PRIVATE ACCESS EASEMENT 5/1/95 95C-149
f	20'x40' RECIPROCAL PRIVATE ACCESS EASEMENT (GRANTED BY THIS FLAT)
g	5' UTILITY EASEMENT 5/3/98 84-68
h	40' SIGN EASEMENT 5/1/95 95C-149
i	10' P.S.C. OF N.M. EASEMENT & PUBLIC UTILITY EASEMENT (GRANTED BY THIS FLAT)
j	40' PRIVATE ACCESS, DRAINAGE PUBLIC WATER & SANITARY SEWER EASEMENT (GRANTED BY THIS FLAT)
k	40'x100' PRIVATE ACCESS, DRAINAGE, PUBLIC WATER & SANITARY SEWER EASEMENT (GRANTED BY THIS FLAT)

SUBDIVISION DATA / NOTES:

1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEY.
2. ALL CORNERS IDENTIFIED AS "SET" ARE A #4 REBAR W/CAP STAMPED "LS 6446", UNLESS NOTED OTHERWISE.
3. ALL CORNERS IDENTIFIED AS "FND" ARE A #4 REBAR W/CAP STAMPED "LS 6446", UNLESS NOTED OTHERWISE.
4. BASIS OF BEARINGS PER PLAT OF "TRACTS A & B OF 40/25 ASSOCIATE SUBDIVISION", FILED MAY 1, 1996 IN VOLUME 95C, FOLIO 149.
5. DISTANCES ARE GROUND DISTANCES.
6. PLAT SHOWS ALL EASEMENTS OF RECORD.
7. GROSS ACREAGE: 7.626 ACRES
8. NUMBER OF EXISTING TRACTS/LOTS: 3
9. NUMBER OF TRACTS/LOTS CREATED: 5
10. BEARINGS AND DISTANCES IN PARENTHESIS (), PER RECORD.
11. BEARINGS ARE STATE PLANE GRID BEARINGS, CENTRAL ZONE.
12. THE 40' PRIVATE ACCESS, DRAINAGE, PUBLIC WATER & SANITARY SEWER EASEMENTS SHOWN HEREON, ARE FOR THE BENEFIT AND USE, BY AND FOR THE OWNERS OF TRACTS 1-5 AND ARE TO BE MAINTAINED BY SAID OWNERS. REF: NOTES B, C, D & E.

LEGAL DESCRIPTION

A certain tract of land being and comprising Tract B of the plat of 40/25 Associates Subdivisions of as the same is shown and designated on said plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on May 1, 1995 in Volume 95-C, folio 149; together with adjacent unplatted lands and being more particularly described as follows:

BEGINNING at the Northeast corner of said tract, being the Southeast corner of Tract B-1 EVER READY SUBDIVISION as filed February 19, 1982 in Volume C19, folio 93 and a point on the West right-of-way of University Boulevard, S.E.; thence from said point of beginning Southeasterly along a curve to the right along said right-of-way through a central angle of 24° 21' 11", having a radius of 689.28 feet, a distance of 292.97 feet to a point of tangency; thence S 03° 17' 20" W, 91.95 feet to the Southeast corner and point of intersection with the North right-of-way of Gibson Boulevard, S.E.; thence Northwesterly along a curve to the right along said right-of-way through a central angle of 02° 14' 30", having a radius of 5670.00 feet, a distance of 221.84 feet to a point; thence S 09° 09' 06" W, 5.03 feet; thence continuing along said curve to the right though a central angle of 03° 52' 05", having a radius of 3195.61 feet, a distance of 215.74 feet to a point of tangency; thence N 79° 30' 00" W, 172.94 feet to a point; thence leaving said right-of-way N 00° 39' 58" E, 103.19 feet to a point; thence N 89° 20' 02" E, 594.33 feet to a point on the North right-of-way of Gibson Boulevard, S.E.; thence N 79° 22' 39" W, 98.64 feet along said right-of-way; thence N 59° 12' 02" W, 47.43 feet to a point on the East right-of-way of the South Diversion Channel; thence N 00° 37' 53" E, 143.66 feet to the Northwest corner; thence leaving said right-of-way S 89° 23' 56" E, 1275.28 feet to the point of beginning and containing 7.626 acres more or less.

- Tracts 1 thru 5 (inclusive) and Tract A are subject to reciprocal access easements, being a (24') Twenty-four foot wide drive aisle.
- Property is subject to a Twenty-Four foot (24') wide reciprocal access easement from University Boulevard, S.E. across Tract 1 to serve Tracts A, 1, 2, 3, 4, and 5 as shown.
- Access is temporary and may be restricted to right in / right out and/or may be eliminated in the future to Gibson Boulevard, S.E.
- Prior to development, City of Albuquerque Water and Sanitary Sewer Service to Tracts 1 thru 5 must be verified and coordinated with the Public Works Department, City of Albuquerque, via a request for a water and sanitary sewer availability statement.

State of New Mexico } SS
County of Bernalillo
This instrument was filed for record on

224 SEP - 6 1935
At 10 o'clock P.m. Recorded in Vol. 24
Divisions of said County Folio 344
County Clerk
Judy Woodward, Clerk & Excess
with Deputy Clerk

A PLAT OF

95091605

TRACTS 1 thru 5
of
GIBSON TRACTS

SITUATE WITHIN SECTION 28,
T 10 N, R 3 E, N.M.P.M.
CITY OF ALBUQUERQUE, NEW MEXICO

JULY 1995

LINE TABLE

NO.	BEARING	DISTANCE
L1	S 03°17'20" W	91.95'
L2	S 09°09'06" W	5.03'
L3	N 78°22'39" W	98.64'
L4	N 58°12'02" W	47.43'
L5	N 00°37'53" E	61.81'
L6	N 00°37'53" E	81.85'
L7	N 00°37'53" E	143.66'
L8	S 83°33'05" W	100.00'
L9	S 08°36'03" W	107.33'
L10	N 08°36'03" E	99.66'
L11	N 00°39'58" E	42.24'
L12	N 00°39'58" E	40.00'

CURVE TABLE

NO.	DELTA ANGLE	RADIUS	LENGTH
C1	18°07'46"	669.28'	218.10'
C2	6°13'25"	669.28'	74.87'
C3	24°21'11"	669.28'	292.97'
C4	2°14'30"	5670.00'	221.84'
C5	3°03'31"	3195.61'	170.59'
C6	0°43'05"	3195.61'	40.05'
C7	0°05'29"	3195.61'	5.10'
C8	3°52'05"	3195.61'	215.74'

NOTE A.

PNM EASEMENT RELEASE APPROVAL

Public Service Company of New Mexico does hereby release, waive, quitclaim and discharge its right, title and interest in the easement (granted by prior plat, reprint or document) shown to be vacated on this plat.

PUBLIC SERVICE COMPANY OF NEW MEXICO

BY: [Signature]

ACKNOWLEDGMENT
STATE OF NEW MEXICO)

COUNTY OF BERNALILLO

This instrument was acknowledged before me this 31st day of AUGUST, 1998 by: Rob Roberts of the Public Service Company of New Mexico, a New Mexico Corporation, on behalf of said corporation.

My Commission Expires:

Notary Public

SURVEYOR'S CERTIFICATION:

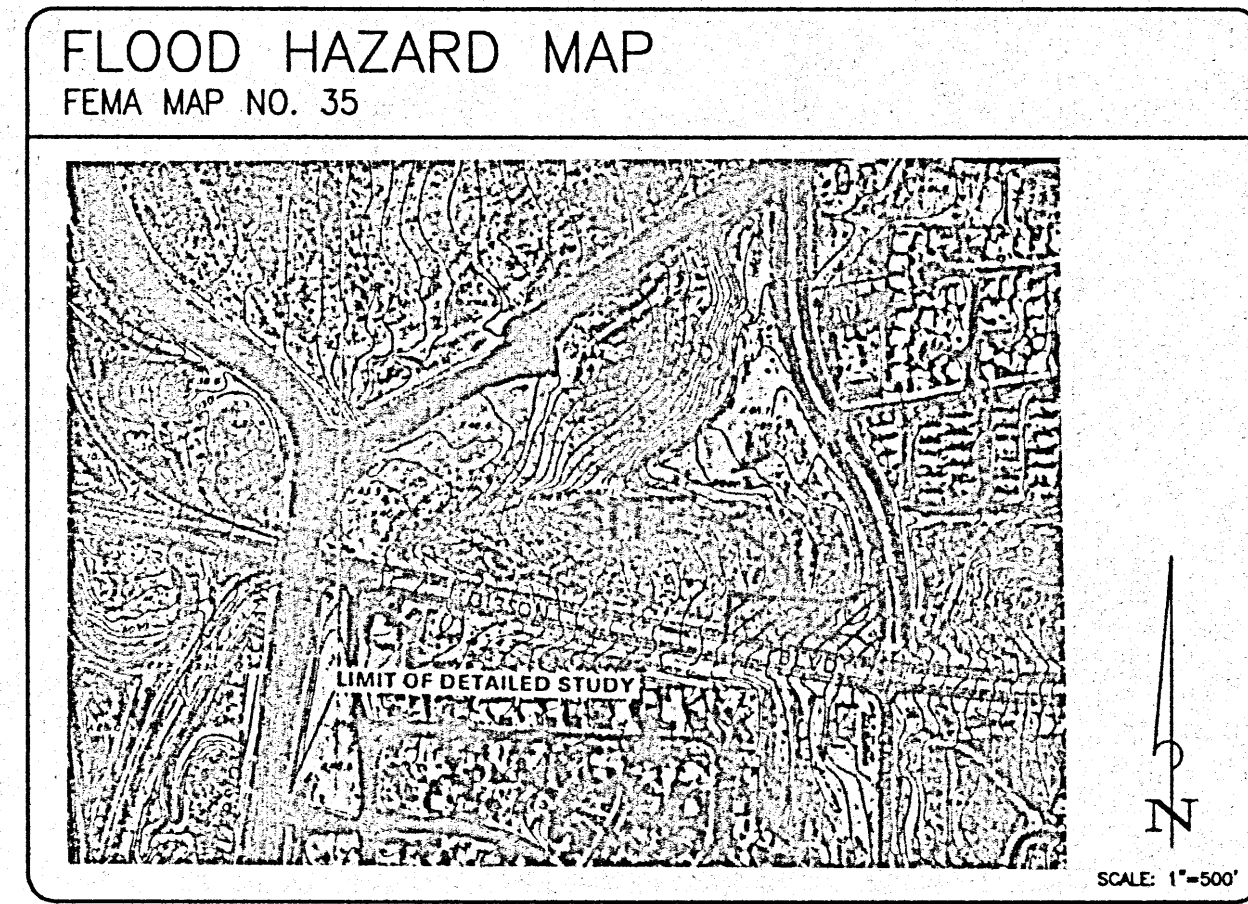
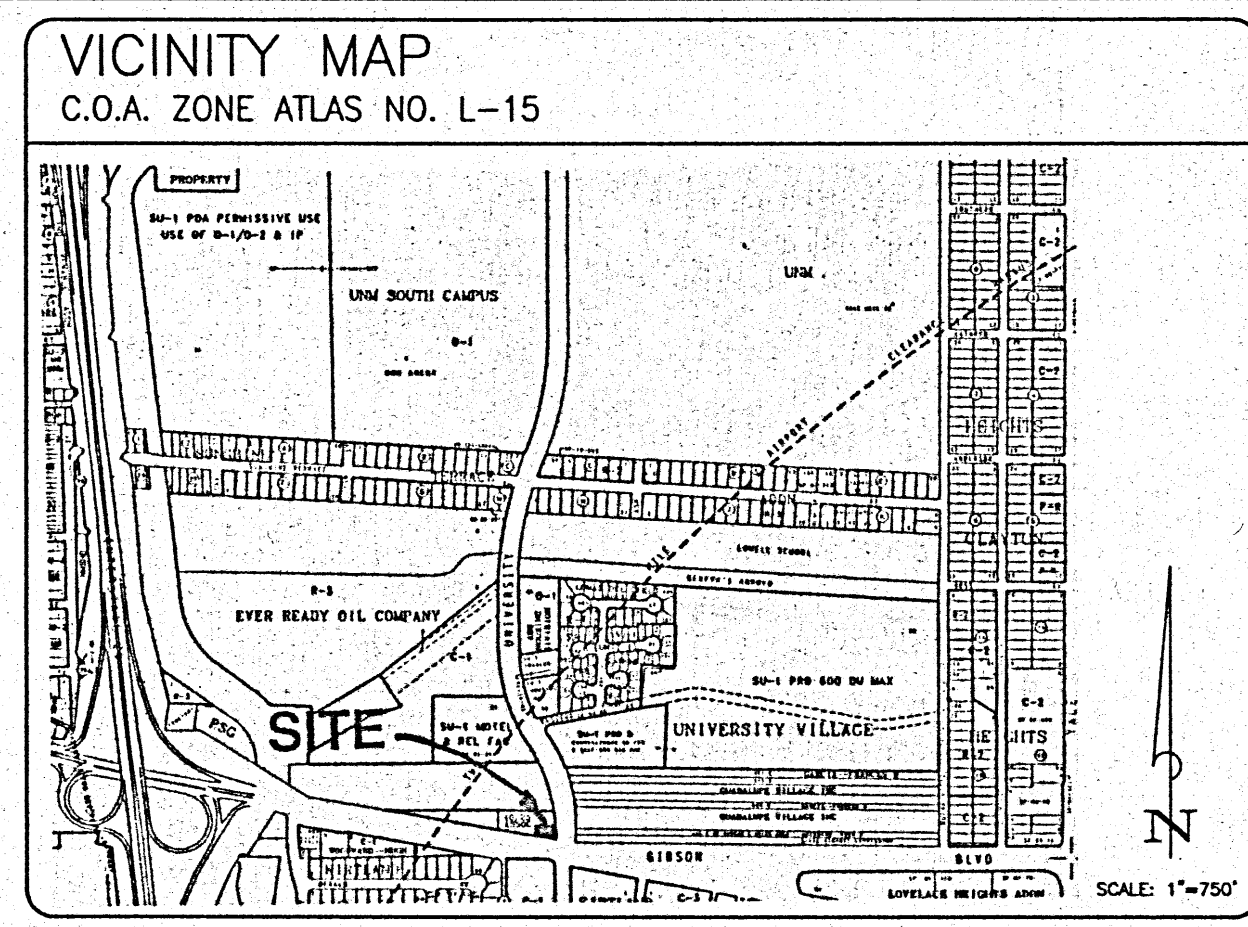
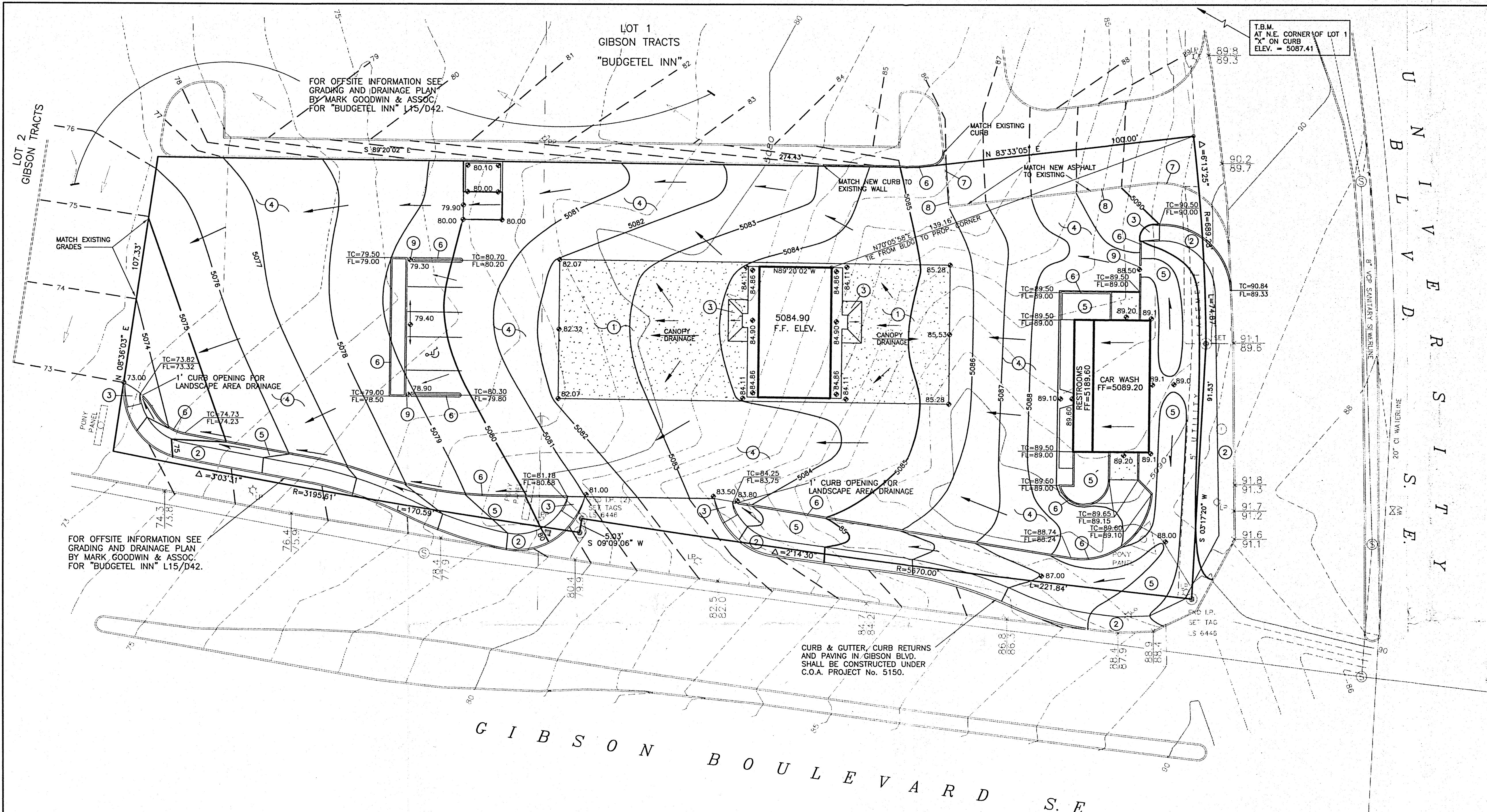
I, FRANKLIN E. WILSON, A REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY SUPERVISION, MEETS THE MINIMUM REQUIREMENTS OF MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

FRANKLIN E. WILSON, N.M.L.S. NO. 8446

SOUTHWEST SURVEYING CO., INC.

333 LOMAS BLVD. N.E. PHONE: (505) 247-4444
ALBUQUERQUE, NEW MEXICO 87102 FAX: (505) 242-8069

SHEET 2 of 2



LEGEND		
DESCRIPTION	NEW	EXISTING
CONTOURS (5 FT)	—5135	—5135
CONTOURS (1 FT)	—5131	
PROPOSED OFFSITE CONTOURS		
SPOT ELEVATION	+ 34.52	
DIRECTION OF RUNOFF	←	←
FLOWLINE	—	—
PROPERTY LINE	—	—
TOP OF CURB ELEVATION	TC=XX.XX	11.52
FLOWLINE ELEVATION	FL=XX.XX	11.13
TOP OF SIDEWALK ELEVATION	TSW=XX.XX	
CURB		
OVERHEAD ELECTRIC CABLE		
POWER POLE		○PP
STREET LIGHT		★LP
CONCRETE		

GENERAL NOTES FOR GRADING AND DRAINAGE

- ALL WORK DETAILED ON THIS PLAN, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. SUPPLEMENTAL EARTHWORK PROCEDURES & SPECIFICATIONS, AND PAVING DESIGN & SPECIFICATIONS SHALL CONFORM TO SITE PLAN AND PROJECT SPECIFICATIONS.
- A CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING UTILITIES, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT SO THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- REFER TO ARCHITECTURAL SITE PLAN FOR SITE GEOMETRY AND DETAILS OF SITE FEATURES.
- ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- DISPOSAL OF ALL WASTE MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONSTRUCTION SAFETY: THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN ENTIRELY THE RESPONSIBILITY OF THE CONTRACTOR.
- THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO BUILDINGS SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO STRUCTURES. FOR CONSTRUCTION DETAILS, REFER TO THE LANDSCAPING AND ARCHITECTURAL PLANS.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- THE CONTRACTOR SHALL EXERCISE CARE SO AS NOT TO DISTURB OR DAMAGE EXISTING FEATURES TO REMAIN DURING ALL PHASES OF CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT INFORMATION AT SPOTS SHOWN ON THIS PLAN FOR GRADING CERTIFICATION. THE REQUIRED SPOTS ARE MARKED. THE CONTRACTOR SHALL CONTACT THE ENGINEER AT THE START OF CONSTRUCTION TO REVIEW CERTIFICATION REQUIREMENTS.

DRAINAGE PLAN

EXISTING CONDITIONS

THE SITE CONSISTS OF APPROXIMATELY 1.190 ACRES AND IS CURRENTLY UNDEVELOPED. OVERALL DRAINAGE IS FROM EAST TO WEST, WITH FREE DISCHARGE TO GIBSON BLVD. NE. THE SITE IS BOUNDED BY CITY STREETS TO THE EAST AND SOUTH, AND BY A PRIVATE ACCESS EASEMENT TO THE WEST. EXAMINATION OF THE EXISTING TOPOGRAPHY SUGGESTS THAT THE SITE IS NOT IMPACTED BY OFFSITE FLOWS. ACCORDING TO FEMA MAP NO. 35, DATED OCTOBER 14, 1983, THE SITE DOES NOT LIE IN A 100-YEAR FLOOD HAZARD ZONE.

DEVELOPED CONDITIONS

IT IS PROPOSED TO BUILD A GAS STATION ON THE SITE. THE SITE WILL DRAIN TO THE WEST AS INDICATED ON THE PLAN. THE DEVELOPED RUNOFF WILL BE DISCHARGED TO GIBSON BLVD. VIA A PRIVATE ACCESS DRIVE AT THE WEST END OF THE SITE. FREE DISCHARGE OF THE SITE IS APPROPRIATE DUE TO THE DOWNSTREAM DRAINAGE FACILITIES IN GIBSON BLVD.

100 YEAR RAINFALL DEPTHS
ALBUQUERQUE ZONE 2

DURATION	DEPTH (in.)
1 hr	2.01
6 hr	2.35
24 hr	2.75
4 day	3.30
10 day	3.95

HYDROLOGY SUMMARY

BASIN DESCRIPTION	CONDITION	AREA (ACRES)	LAND TREATMENT CLASSIFICATION (% OF TOTAL)				100 YEAR STORM	
			A	B	C	D	PEAK DISCHARGE (CFS)	6 HOUR VOLUME (CF)
PROJECT SITE	EXISTING	1.190	97	0	0	3	2.0	2,496
PROJECT SITE	DEVELOPED	1.190	0	12	0	88	5.2	8,464

KEYED NOTES

- CONCRETE PAD PER SITE PLAN
- CONCRETE WALK PER SITE PLAN
- H/C RAMP PER SITE PLAN
- ASPHALT PAVING PER SITE PLAN
- LANDSCAPING PER LANDSCAPING PLAN
- CONCRETE CURB PER SITE PLAN (TYP)
- REMOVE & DISPOSE OF EXISTING CURB
- MATCH NEW ASPHALT TO EXISTING ASPHALT.
- 3' CURB OPENING FOR DRAINAGE.

LEGAL DESCRIPTION

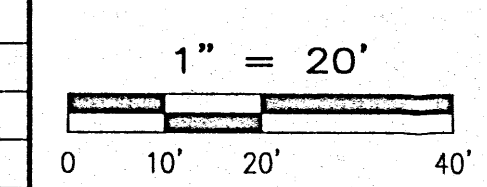
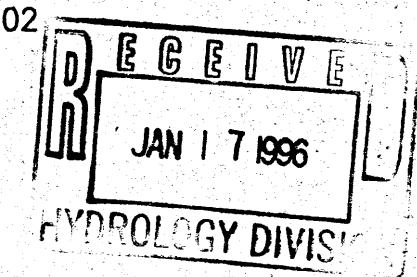
LOT 3
GIBSON TRACTS
40/20 ASSOCIATES SUBDIVISION

BENCHMARK

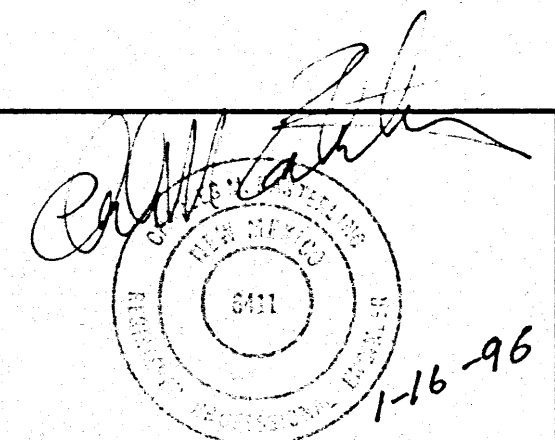
CITY OF ALBUQUERQUE SURVEY MONUMENT G-9A
ELEVATION = 5143.07

SURVEYOR

SOUTHWEST SURVEYING CO. INC.
333 LOMAS N.E.
ALBUQUERQUE, N.M. 87102



Designed By: CME	Drawn By: DEC	Checked By: CME
File No. 4260	Date: 10-95	



Easterling & Associates, Inc.
CONSULTING ENGINEERS
10131 Coors Rd., NW, Suite H-7/B
ALBUQUERQUE, NEW MEXICO 87114
(505) 898-8021 FAX (505) 898-8501

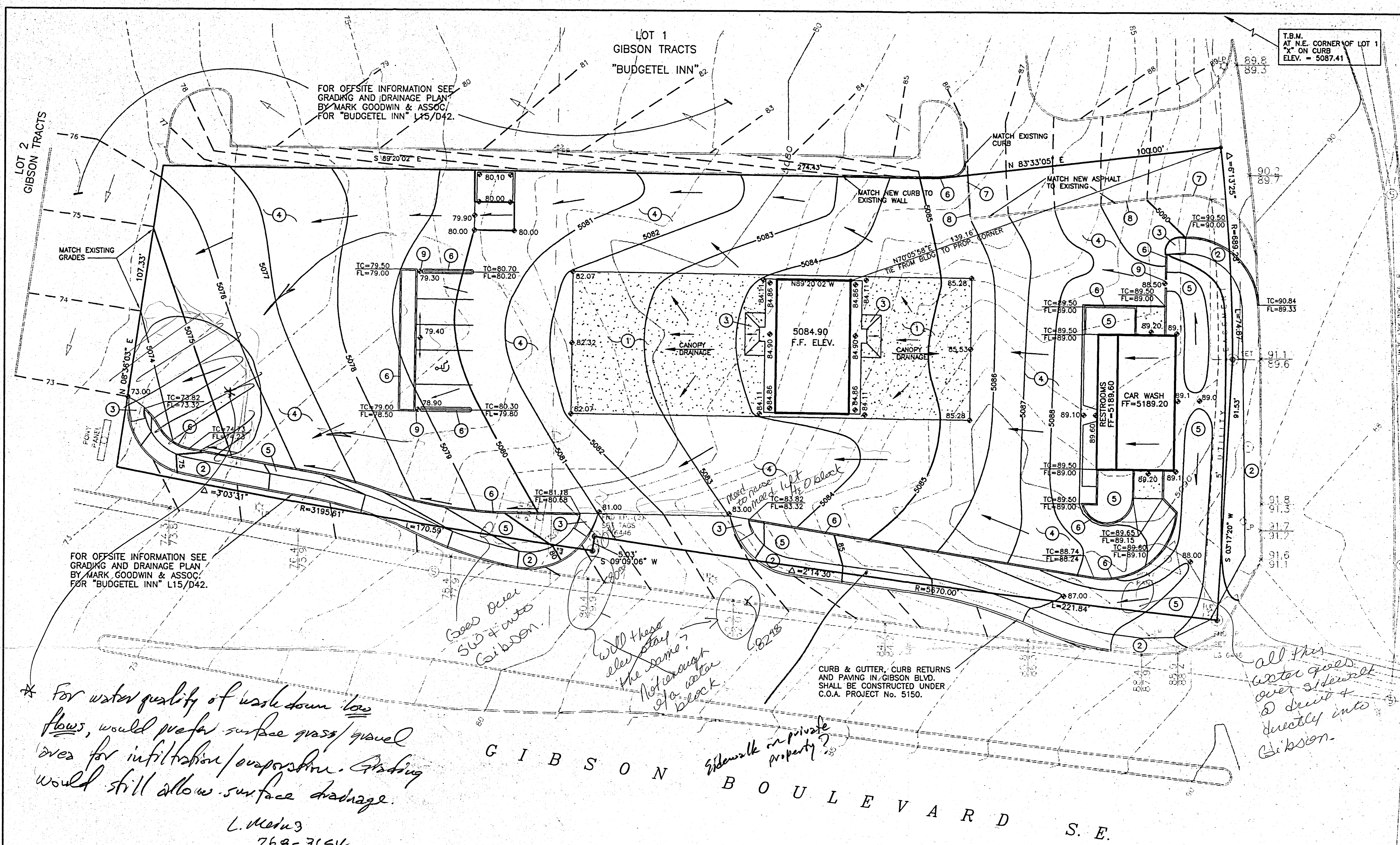
ALBUQUERQUE, NEW MEXICO COA HYD. No. L15-D45

ROBERTS OIL
GRADING & DRAINAGE PLAN

GIBSON BLVD. & UNIVERSITY BLVD. S.E. L-15

Sheet 1
of 1

COPYRIGHT



* For water quality of washdown low flows, would prefer surface grass/gravel area for infiltration/evaporation. Grading would still allow surface drainage.

L. Medina
768-3654

GENERAL NOTES FOR GRADING AND DRAINAGE

- ALL WORK DETAILED ON THIS PLAN, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. SUPPLEMENTAL EARTHWORK PROCEDURES & SPECIFICATIONS, AND PAVING DESIGN & SPECIFICATIONS SHALL CONFORM TO SITE PLAN AND PROJECT SPECIFICATIONS.
- A CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT SO THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- REFER TO ARCHITECTURAL SITE PLAN FOR SITE GEOMETRY AND DETAILS OF SITE FEATURES.
- ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- DISPOSAL OF ALL WASTE MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONSTRUCTION SAFETY: THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN ENTIRELY THE RESPONSIBILITY OF THE CONTRACTOR.
- THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO BUILDINGS SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO STRUCTURES. FOR CONSTRUCTION DETAILS, REFER TO THE LANDSCAPING AND ARCHITECTURAL PLANS.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- THE CONTRACTOR SHALL EXERCISE CARE SO AS NOT TO DISTURB OR DAMAGE EXISTING FEATURES TO REMAIN DURING ALL PHASES OF CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT INFORMATION AT SPOTS SHOWN ON THIS PLAN FOR GRADING CERTIFICATION. THE REQUIRED SPOTS ARE MARKED. THE CONTRACTOR SHALL CONTACT THE ENGINEER AT THE START OF CONSTRUCTION TO REVIEW CERTIFICATION REQUIREMENTS.

DRAINAGE PLAN

EXISTING CONDITIONS

THE SITE CONSISTS OF APPROXIMATELY 1.190 ACRES AND IS CURRENTLY UNDEVELOPED. OVERALL DRAINAGE IS FROM EAST TO WEST, WITH FREE DISCHARGE TO GIBSON BLVD. NE. THE SITE IS BOUNDED BY CITY STREETS TO THE EAST AND SOUTH, AND BY A PRIVATE ACCESS EASEMENT TO THE WEST. EXAMINATION OF THE EXISTING TOPOGRAPHY SUGGESTS THAT THE SITE IS NOT IMPACTED BY OFFSITE FLOWS. ACCORDING TO FEMA MAP NO. 35, DATED OCTOBER 14, 1983, THE SITE DOES NOT LIE IN A 100-YEAR FLOOD HAZARD ZONE.

DEVELOPED CONDITIONS

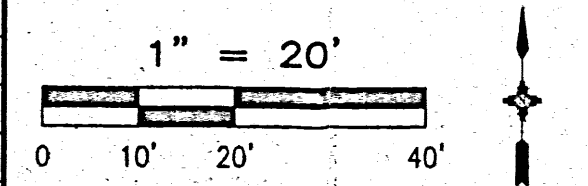
IT IS PROPOSED TO BUILD A GAS STATION ON THE SITE. THE SITE WILL DRAIN TO THE WEST AS INDICATED ON THE PLAN. THE DEVELOPED RUNOFF WILL BE DISCHARGED TO GIBSON BLVD. VIA A PRIVATE ACCESS/DRIVE AT THE WEST END OF THE SITE. FREE DISCHARGE OF THE SITE IS APPROPRIATE DUE TO THE DOWNSTREAM DRAINAGE FACILITIES IN GIBSON BLVD.

100 YEAR RAINFALL DEPTHS
ALBUQUERQUE ZONE 2

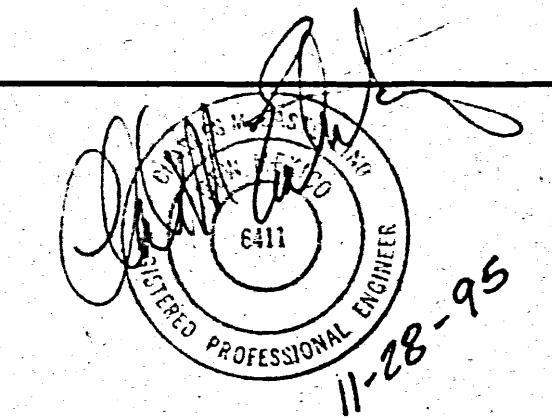
DURATION	DEPTH(in.)
1 hr	2.01
6 hr	2.35
24 hr	2.75
4 day	3.30
10 day	3.95

HYDROLOGY SUMMARY

BASIN DESCRIPTION	CONDITION	AREA (ACRES)	LAND TREATMENT CLASSIFICATION (% OF TOTAL)				100 YEAR STORM	
			A	B	C	D	PEAK DISCHARGE (CFS)	6 HOUR VOLUME (CF)
PROJECT SITE	EXISTING	1.190	97	0	0	3	2.0	2,496
	DEVELOPED	1.190	0	12	0	88	5.2	8,464



Designed By: CME
Drawn By: DEC
Checked By: CME
File No.: 4260
Date: 10-95



Easterling & Associates, Inc.
CONSULTING ENGINEERS
10131 Coors Rd., NW, Suite H-7/8
ALBUQUERQUE, NEW MEXICO 87114
(505) 898-8021 FAX (505) 898-8501

KEYED NOTES

- CONCRETE PAD PER SITE PLAN
- CONCRETE WALK PER SITE PLAN
- H/C RAMP PER SITE PLAN
- ASPHALT PAVING PER SITE PLAN
- LANDSCAPING PER LANDSCAPING PLAN
- CONCRETE CURB PER SITE PLAN (TYP)
- REMOVE & DISPOSE OF EXISTING CURB
- MATCH NEW ASPHALT TO EXISTING ASPHALT.
- 3' CURB OPENING FOR DRAINAGE.

LEGAL DESCRIPTION

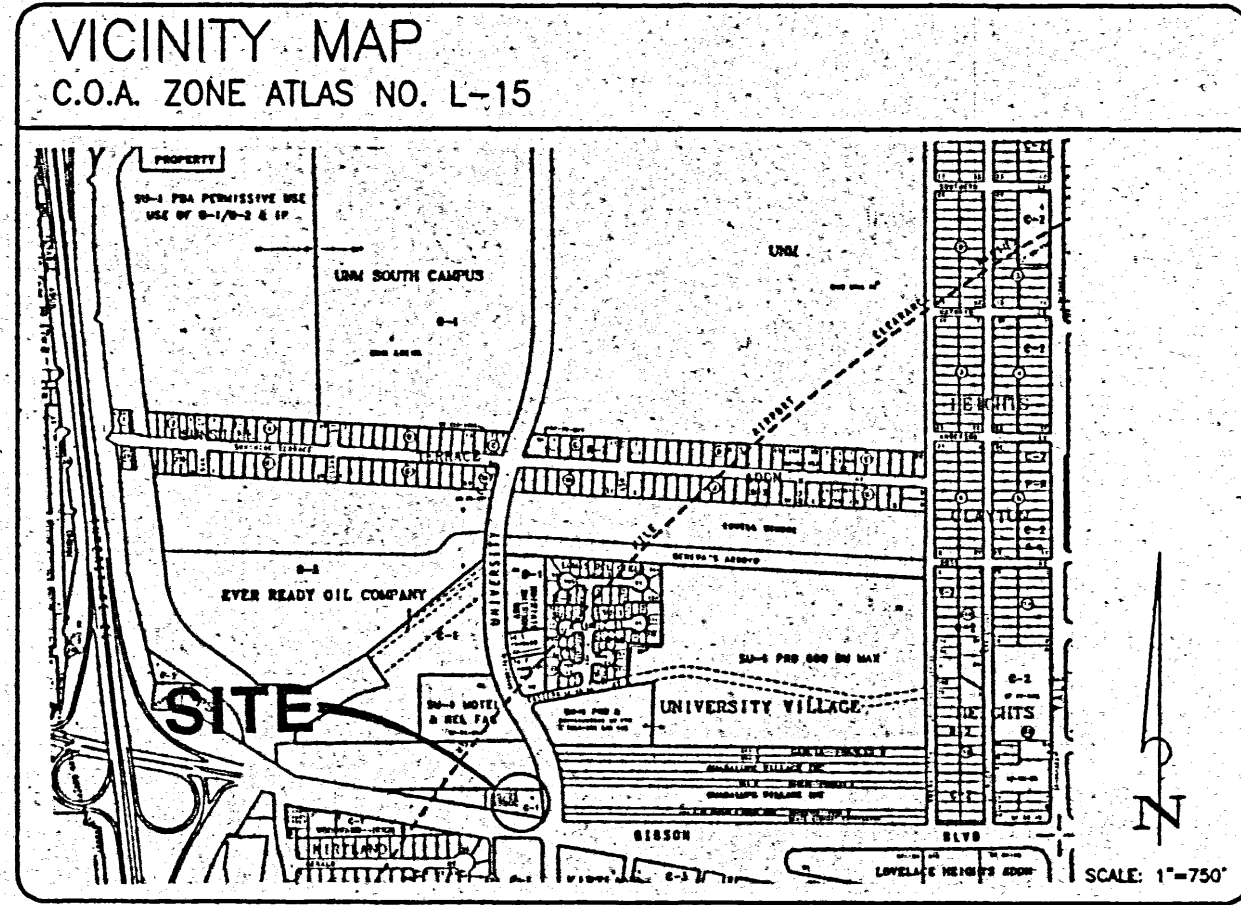
LOT: 3
GIBSON TRACTS
40/20 ASSOCIATES SUBDIVISION

BENCHMARK

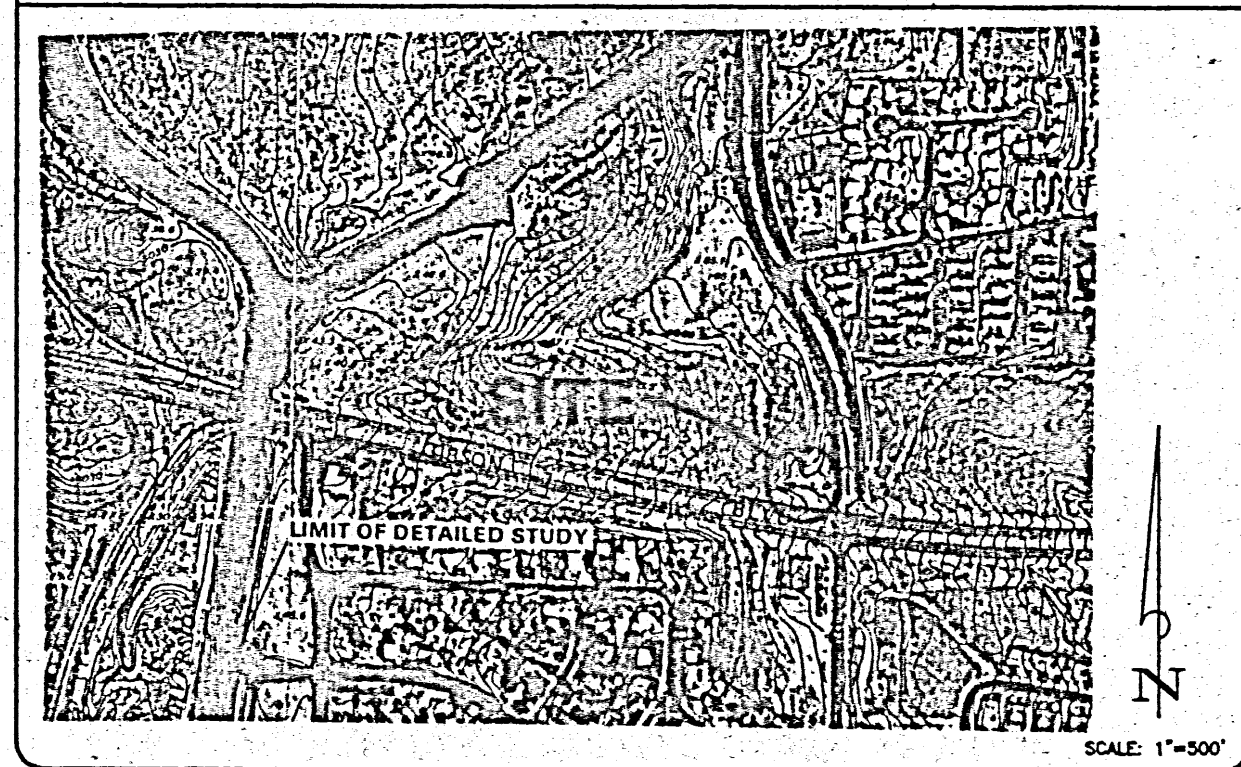
CITY OF ALBUQUERQUE SURVEY MONUMENT G-9A
ELEVATION = 5143.07

SURVEYOR

SOUTHWEST SURVEYING CO. INC.
333 LOMAS N.E.
ALBUQUERQUE, N.M. 87102



FLOOD HAZARD MAP
FEMA MAP NO. 35



LEGEND

DESCRIPTION	NEW	EXISTING
CONTOURS (5 FT)	5135	5135
CONTOURS (1 FT)	5131	
PROPOSED OFFSITE CONTOURS		
SPOT ELEVATION	+ 34.52	
DIRECTION OF RUNOFF		
FLOWLINE		
PROPERTY LINE		
TOP OF CURB ELEVATION	TC=XX.XX	11.57
FLOWLINE ELEVATION	FL=XX.XX	11.73
TOP OF SIDEWALK ELEVATION	TSW=XX.XX	
CURB		
OVERHEAD ELECTRIC CABLE		
POWER POLE		OPP
STREET LIGHT		LP
CONCRETE		

ALBUQUERQUE, NEW MEXICO

COA HYD. No. L15-

ROBERTS OIL
GRADING & DRAINAGE PLAN

GIBSON BLVD. & UNIVERSITY BLVD. S.E.

L-15

Sheet 1

of 1

© COPYRIGHT