

**L-15-Z**

#### CONSTRUCTION NOTES:

- 1.) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- 2.) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- 3.) ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- 4.) ALL CONSTRUCTION WITHIN CITY RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

#### EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT FOR STORM RUN-OFF DURING CONSTRUCTION; HE SHALL INSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- 1.) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTIES.
- 2.) ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREETS.
- 3.) THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT WITHIN PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SITE AND DEPOSITED THERE.

#### LEGAL DESCRIPTION:

LOTS NUMBERED FOUR (4) AND FIVE (5), IN BLOCK LETTERED "K", OF THE SUNSHINE TERRACE ADDITION, TO THE CITY OF ALBUQUERQUE, NEW MEXICO, (PLAT FILED: MARCH 17, 1950).

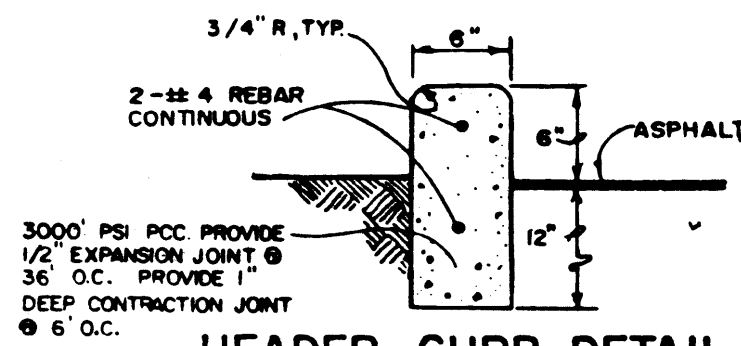
#### BENCH MARK REFERENCE:

ACS STATION "7-L15", LOCATED AT THE INTERSECTION OF YALE BLVD. S.E. AND KATHRYN S.E., M.S.L.D. ELEVATION = 5161.480; PROJECT BENCH MARK AS SHOWN ON THE PLAN HEREON.

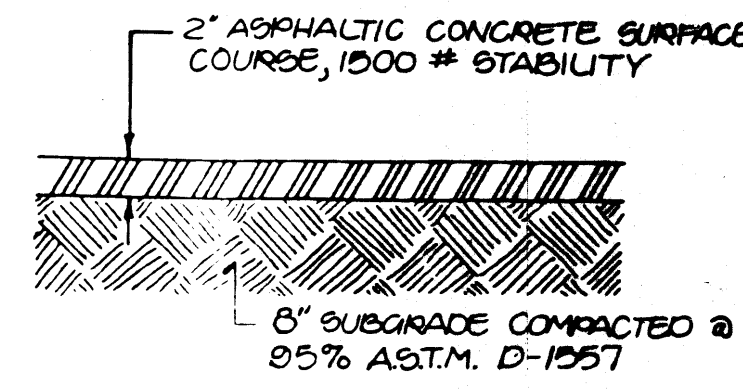
#### LEGEND:

EXISTING CONTOUR = --- 26.0 ---  
 EXISTING SPOT ELEVATION = 25.2  
 PROPOSED CONTOUR = --- 27.0 ---  
 PROPOSED SPOT ELEVATION = 25.2  
 TOP OF CURB ELEVATION = TC = 24.75  
 CURB FLOWLINE ELEVATION = R = 24.10

- (A) = CONCRETE HEADER CURB (SEE DETAIL)  
 (B) = PARKING SPACE PAINT STRIPE  
 (C) = CONCRETE PARKING BUMPER (ANCHOR IN PLACE WITH REBAR)



**HEADER CURB DETAIL**  
SCALE: 1" = 1'-0"



**TYPICAL PAVEMENT SECTION**  
SCALE: 1" = 1'-0"

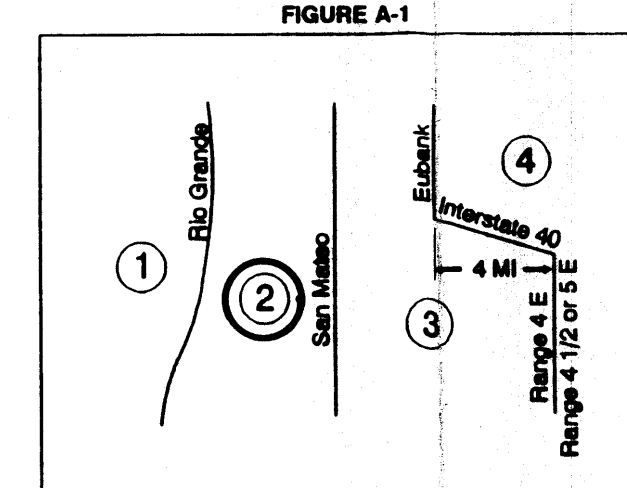
Zone	Treatment			
	A	B	C	D
1	1.29 [0.00, 0.24]	2.05 [0.05, 0.78]	2.87 [0.47, 1.49]	4.37 [1.89, 2.89]
2	1.56 [0.00, 0.38]	2.28 [0.06, 0.95]	3.14 [0.60, 1.71]	4.70 [1.86, 3.14]
3	1.87 [0.00, 0.58]	2.60 [0.21, 1.19]	3.45 [0.78, 2.00]	5.02 [2.04, 3.39]
4	2.20 [0.05, 0.87]	2.92 [0.38, 1.46]	3.73 [1.00, 2.26]	5.25 [2.17, 3.57]

Zone	Intensity	
	100-YR	100-YR
1	4.70 [1.84, 3.14]	
2	5.05 [2.04, 3.41]	
3	5.38 [2.21, 3.85]	
4	5.81 [2.34, 3.83]	

#### A.1 PRECIPITATION ZONES

Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

Zone	Location
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Eubank, North of Interstate 40, and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of Eubank, North of Interstate 40, and East of the East boundary of Range 4 East, South of Interstate 40



Where a watershed extends across a zone boundary, use the zone which contains the largest portion of the watershed.

DPM SECTION 22.2 - HYDROLOGY  
January, 1993 Page A-4

Treatment	Land Condition
A	Soil uncompacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent and less than 20 percent. Croplands. Unlined arroyos.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent and less than 20 percent. Desert landscaping. Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
C	Impervious areas, pavement and roofs.
D	Most watersheds contain a mix of land treatments. To determine proportional treatments, measure respective subareas. In lieu of specific measurement for treatment D, the areal percentages in TABLE A-5 may be employed.

#### DRAINAGE COMMENTS:

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED ON THE SOUTH SIDE OF SUNSHINE TERRACE AVENUE S.E., BETWEEN UNIVERSITY BLVD. S.E. AND BUENA VISTA DRIVE S.E., IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, (CITY ZONE ATLAS MAP NO. "L-15-Z").

THE SUBJECT SITE IS PRESENTLY A VACANT UNDEVELOPED PROPERTY THAT IS TO BE UTILIZED AS AN ASPHALT PAVED PARKING AREA FOR THE ADJACENT CHURCH OF CHRIST BUILDING.

THE SUBJECT SITE, 1.) DOES NOT LIE WITHIN OR ADJACENT TO A DESIGNATED FLOOD-PLAIN (REFERENCE F.B.M.A. PANEL MAP NO. 35 OF 50), 2.) DOES NOT CONTRIBUTE TO THE OFFSITE FLOWS OF ADJACENT PROPERTIES, 3.) DOES NOT LIE ADJACENT TO A NATURAL OR ARTIFICIAL WATER COURSE, 4.) DOES NOT ACCEPT OFFSITE FLOWS FROM ADJACENT PROPERTIES (PROPERTY THAT LIES EAST OF AND ADJACENT TO THE SUBJECT SITE HAS AN EARTHEN BERM PREVENTING FLOWS FROM ENTERING SAID SITE).

#### CALCULATIONS:

PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2., DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, JANUARY 1993, AND PER BERNALILLO COUNTY STORM DRAINAGE ORDINANCE NO. 90-6.

SITE AREA: 0.34 ACRE

PRECIPITATION ZONE: TWO (2)

PEAK INTENSITY: IN./HR. AT T<sub>c</sub> = TWELVE (12) MINUTES, 100-YR. = 5.05

LAND TREATMENT METHOD FOR CALCULATION OF "Q<sub>p</sub>", TABLES A-8 & A-9.

"LAND TREATMENT FACTORS", TABLE A-4.

#### EXISTING CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.34	X 3.14	= 1.07
"Q <sub>p</sub> "			= 1.07 CFS

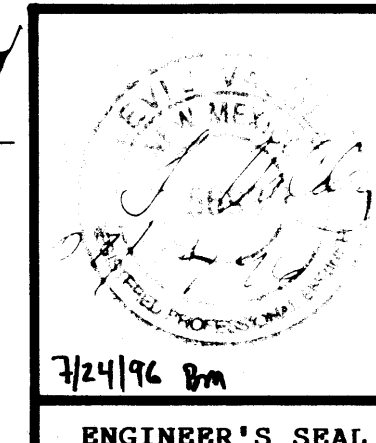
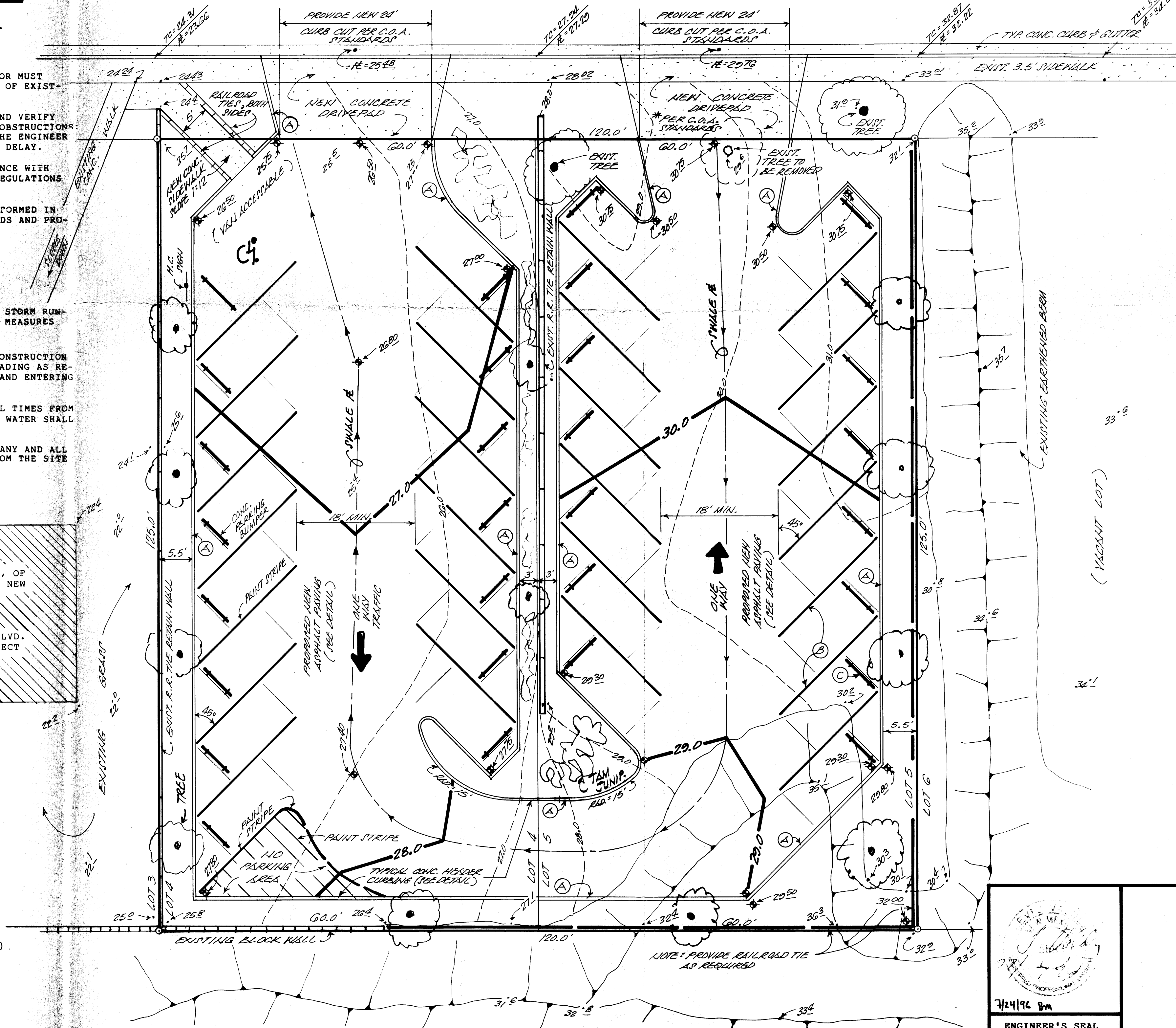
#### PROPOSED CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.08	X 3.14	= 0.25
D	0.26	X 4.70	= 1.22
"Q <sub>p</sub> "			= 1.47 CFS

\*\*\* INCREASE = 0.04 CFS

#### GENERAL NOTES:

- 1.) PERIMETER BOUNDARY CORNERS ARE AS SHOWN ON THE PLAN HEREON.
- 2.) NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD WITHIN THE SUBJECT PROPERTY OTHER THAN THOSE SHOWN ON THE PLAN HEREON.
- 3.) TOPOGRAPHY SURVEY INFORMATION SHOWN HEREON WAS PROVIDED BY TORRES SURVEYING COMPANY, ALBUQUERQUE, NEW MEXICO.
- 4.) LANDSCAPED AREA'S ARE TO BE IRRIGATED BY HAND HELD HOSE-BIB UNLESS OTHERWISE INDICATED.
- 5.) THE PROPOSED LANDSCAPED AREA'S ARE TO BE 100% LOW WATER USE.



A PROPOSED PAVING PLAN  
FOR  
A PARKING LOT FOR THE  
CHURCH OF CHRIST  
ALBUQUERQUE, NEW MEXICO  
JULY, 1996

JUL 25 1996