

# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Director



*Mayor Timothy M. Keller*

August 21, 2023

Rick Bennett, R.A  
RBA Architecture  
1104 Park Ave. SW  
Albuquerque, NM 87102

**Re: Del Taco**  
**1500 Gibson Blvd. SE**  
**30-Day Temporary Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Architect's Stamp dated 10-12-21 (L15-D049)  
Certification dated 08-10-23

Dear Mr. Bennett,

Based upon the information provided in your submittal received 08-11-23, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Per the approved site plan, 10 parking spaces are required. Per site visit, only nine parking spaces have been provided. Please address this concern.
  - The pavement marking "MC" should be shown in the opposite direction for motorcycles entering the parking space.
- Tripping hazard, please fix the installation of the truncated domes at the west side of site access.



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Once these corrections are complete, email pictures to [malnajira@cabq.gov](mailto:malnajira@cabq.gov) for release of Final CO.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

*Marwa Al-najjar*

Marwa Al-najjar  
Associate Engineer, Planning Dept.  
Development Review Services

Ma      via: email

C:      CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **City Drainage #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Engineering Firm:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Architect:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

Check all that Apply:

**DEPARTMENT:**

- ☐ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

**TYPE OF SUBMITTAL:**

- ☐ ENGINEER/ ARCHITECT CERTIFICATION  
  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
  
☐ OTHER (SPECIFY) \_\_\_\_\_

**CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- ☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
  
☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_



August 10, 2023

**Re: Del Taco**  
**1500 Gibson Blvd. SE**  
**Project # BP-2021-53946**  
**Approved TCL Architect's Stamp 10-12-2021 (L15D049)**

### TRAFFIC CERTIFICATION

I, **Rick Bennett**, NMRA #1240, of the firm of RBA Architecture, PC hereby certify that this project is in substantial compliance with and in accordance with the design intent of the TCL approved Site Plan dated 12/20/21 and with Architect's stamp dated 10/12/21.

The record information was edited on the original design document has been obtained by **Rick Bennett | Architect**, of the firm. I further certify that I have personally visited the project site on August 9, 2023 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy (Permanent) for Del Taco at 1500 Gibson Blvd SE, TR B-2-A and B-2-B Gibson and Milearea Subdivision Cont. 5524 AC of Bernalillo County in Albuquerque, New Mexico.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Sincerely,

A handwritten signature in blue ink, appearing to read "Rick Bennett", written over a light blue horizontal line.

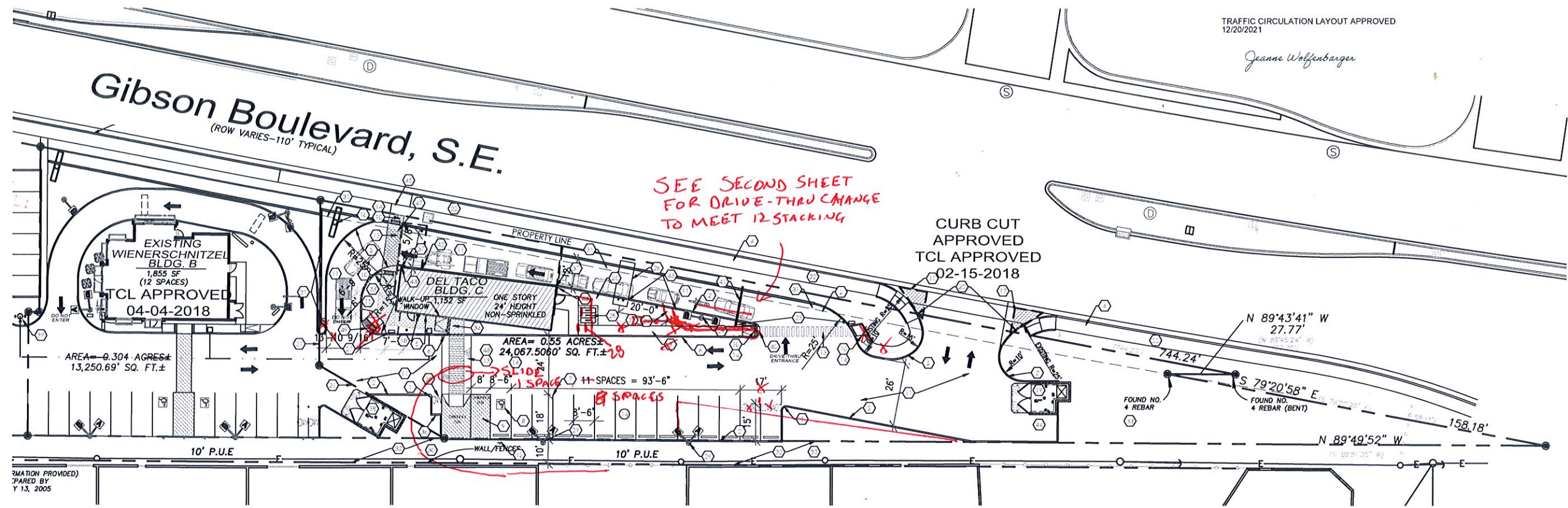
Rick Bennett, Architect

TRAFFIC CIRCULATION LAYOUT APPROVED  
12/20/2021

Jeanne Wolfenbarger

# Gibson Boulevard, S.E.

(ROW VARIES-110' TYPICAL)

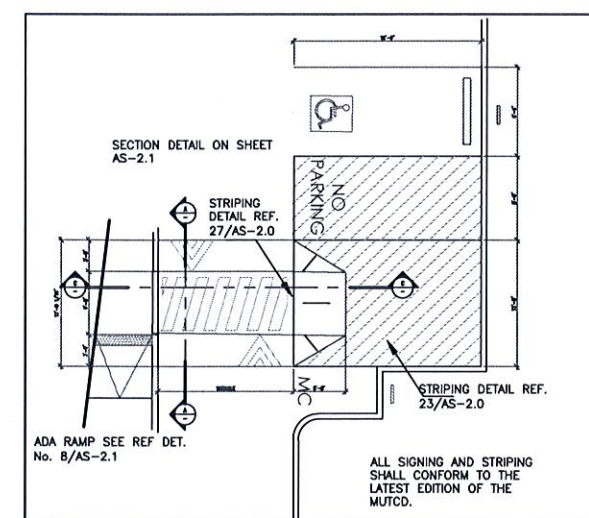


INFORMATION PROVIDED)  
PREPARED BY  
JY 13, 2005

PARKING REQUIREMENTS	
DEL TACO 1,152 S.F.	= 8/1,000 S.F.
REQUIRED	= 10 SPACES
PROVIDED	= 14 SPACES (1 HC)
	= 8 DRIVE-THRU
	= 1 MOTORCYCLE

## ENLARGED SITE PLAN

1"=20'-0"

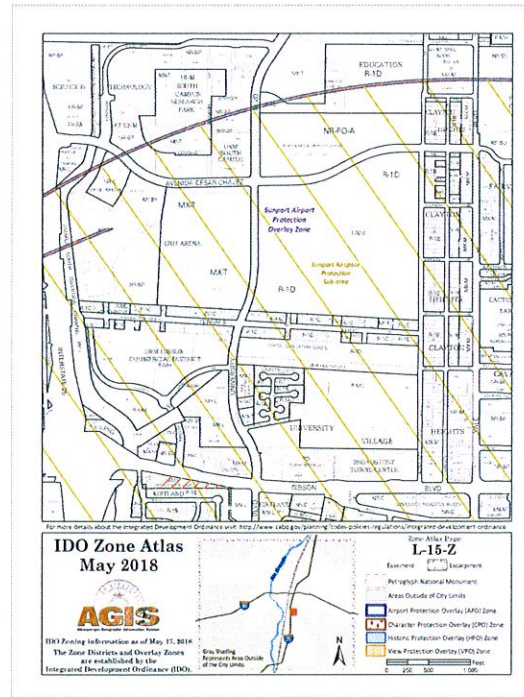


## ADA PARKING SPEED TABLE

1/8"=1'-0"

SEE SECTIONS ON SHEET AS-2.1

- KEYED NOTES**
- 2'-0" RADIUS.
  - CONSTRUCT NEW 6" RAISED CONCRETE CURB AND GUTTER PER CABQ STANDARDS 2415A, REF: DET. 10/AS-2.1
  - CONSTRUCT NEW 4'6" CONCRETE SIDEWALK PER CABQ STANDARD DWG. 2430, REF: 7/AS-2.1 AND 5/AS-2.0. REF: PLAN FOR SIDEWALK WIDTH, TIE INTO EXISTING SIDEWALKS AS NEEDED (FOR EMPLOYEE ENTRANCE ONLY).
  - EXISTING CONCRETE CURB WITH SIDEWALK 6" WIDE.
  - NEW CONCRETE SIDEWALK, SLOPE SIDEWALK 1/4"/FT. AWAY FROM BUILDING.
  - FIRE LANE, PAINT CONC. CURB RED AND ADD SIGNAGE TO CURBS 5" HIGH WHITE LETTER "NO PARKING, FIRE LANE", TYP. EVERY 15' OVER 6" WIDE RED STRIP, REF: FIRE ORD. 50303.1
  - 4" WIDE PAINTED PARKING STRIPE PER CABQ STANDARDS
  - HANDICAP SYMBOL PER CITY OF ALBUQUERQUE STANDARDS, TYPICAL (1) PLACE, REF: DETAIL 20/AS-2.0
  - PAINTED STRIPE HANDICAP ACCESSIBLE AISLE WITH "NO PARKING" IN CAPITAL LETTERS 12" HIGHx2" WIDE, LOCATED SIGN (68-1-4.1.8 NMSA 1978), REF: DETAIL 22/AS-2.0
  - ACCESSIBLE CURB RAMP PER CABQ STANDARDS 2443 DETAIL-C, REF: DETAIL 23/AS-2.0
  - ASPHALT PAVING OVER BASE COURSE, (FIRE APPARATUS ROADS SHALL HAVE ASPHALT OR OTHER DRIVING SURFACE SUPPORTING AT LEAST 75,000 LBS.)
  - ACCESSIBLE SIGNAGE PER CABQ REQUIREMENTS, REF. 18/AS-2.0 FOR DETAILS LOCATED 2' AWAY FROM CURB EDGE
  - 6" WIDE ADA ACCESSIBLE PEDESTRIAN PATH PAINTED PER CABQ REQUIREMENTS, TYP. REF: 27/AS-2.0
  - 24" TRUNCATED DOWNS, TYP. REF: 13/AS-2.0
  - PAINTED 12" HIGH "DO NOT ENTER" - WHITE ON PAVEMENT REF DETAIL 13/AS-2.1
  - PROPOSED SIGNAGE, UNDER SEPARATE PERMIT, (PROPOSED SIGN WILL NEED TO BE LOCATED ON PRIVATE PROPERTY WHICH INCLUDES AIR SPACE)
  - CLEAR SIGHT TRIANGLE, LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH THE CLEAR SIGHT REQUIREMENTS. ALL SIGNS, WALL, TREES AND SHRUBBERY BETWEEN 3 FEET AND 8' TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
  - G.C. TO PROVIDE AND INSTALL RECESSED "KNOX BOX" WITH KEY FOR FIRE DEPARTMENT ACCESS, MOUNT BOX 4'-0" TO 6'-0" HIGH A.F.F. TYP.
  - DUMPSTER ENCLOSURE WITH CONC. APRON PER CAB REQUIREMENTS WITH DUMPSTER GREASE INTERCEPTOR, REF: 1/AS-2.1
  - EXISTING 30" CURB CUT ENTRY PER CABQ. STANDARD DRAWING 2425 WITH HANDICAP RAMPS PER CABQ.
  - LEASE LINE.
  - ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER, REFERRING TO THE APPROPRIATE CITY STANDARD DRAWING (2430 & 2415A).
  - "ONE WAY" SIGN AT DRIVE-THRU ENTRANCE PER CABQ REQUIREMENTS
  - PREVIEW BOARD, REFER TO 15/AS-2.0.
  - DRIVE THRU MENU MAIN BOARD, REFER TO 09/AS-2.0.
  - DRIVE-THRU CANOPY W/ SPEAKER BOX, REFER TO 09/AS-2.0.
  - TWO SIDED "THANK YOU" REF DETAIL 12/AS2.1. FOR THE "DO NOT ENTER" SIGN 6.5' TALL, PER MUTCD GUIDE RS-1.
  - BICYCLE RACK FOR (3) BICYCLES, SPACES SHALL BE 6'-0" LONG x 2'-0" WIDE FOR EACH BIKE. (REF: 24/AS-2.0)  
NOTE: A 1'-0" CLEAR ZONE AROUND THE BIKE PARKING SPACE, REF. DETAIL 1/AS-2.0  
A. 30" TALL x 18" WIDE.  
B. BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES. COMB/TOASTER RACKS ARE NOT ALLOWED.  
C. THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION. SEE THE IDO FOR ADDITIONAL INFORMATION  
D. THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED.  
E. EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE.  
F. EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER VEHICLE.  
G. THE RACKS SHOULD BE STURDY AND ANCHORED TO A CONC. PAD.  
29. PARKING LIGHT POLE - SEE 8/AS-2.0, NOT TO EXCEED 16' OR PER CABQ STANDARDS.
  - 10' LANDSCAPE BUFFER REFERENCE ZONING CODE 14-16-3-10 E-7 (LANDSCAPING APPROVED WITHIN ADJACENT PUBLIC RIGHT-OF-WAY MAYBE COUNTED TOWARD THIS REQUIREMENT IF THERE IS NO EXISTING OR PLANNED PUBLIC SIDEWALK BETWEEN SUCH LANDSCAPING AND THE PREMISES, BUT IN NO CASE SHALL THE WIDTH OF THE ON-SITE LANDSCAPE BUFFER BE LESS THAN FIVE FEET.)
  - 3 FOOT HIGH CMU SCREEN WALL REF: ZONING CODE 14-16-3-18 D-5 DRIVE-UP SERVICE WINDOWS.
  - 10' PUBLIC UTILITY EASEMENT.
  - LANDSCAPING AREA, REF: LANDSCAPE PLAN.
  - ACCESSIBLE CURB RAMP PER CABQ STANDARDS 2443 DETAIL-B, REF. DETAIL: 8/AS-2.1.
  - 4'x8' MOTORCYCLE PARKING SPACE BY CABQ STANDARDS WITH PAINTED "MC" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE AT MOTORCYCLE PARKING SPACE - WHITE ON PAVEMENT PER CABQ STANDARDS.
  - MOTOR CYCLE PARKING SIGNAGE PER CABQ STANDARDS, REF DETAIL 14/AS-2.1.
  - 6" HIGH CONC. CURB AT BUILDING REF: AS-2.0
  - EXISTING DUMPSTER ENCLOSURE.
  - EXISTING FIRE HYDRANT.
  - 3' RADIUS.
  - CLEARANCE BAR, REFER TO 12/AS-2.0.
  - DRIVE-THRU WINDOW, REFER TO 10/AS-2.0.
  - CONCRETE FILLED PIPE BOLLARD, WITH PLASTIC SLEEVE, REFER TO 1/AS-2.0.
  - OWNER WILL HANDLE THEIR OWN RECYCLING.
  - HATCH DENOTES, 6FT. WIDE ADA ACCESSIBLE PEDESTRIAN PATHWAY TO THE BUILDING ENTRANCES.
  - PARKING BUMPERS TYP. PER 14/AS-2.0.
  - DRIVE THRU SPEED TABLE, REF DET. 15/AS2.1
  - ADA PARKING SPEED TABLE.
  - ACCESSIBLE RAMP PLACEMENT ON PERPENDICULAR CURB RAMPS WITH FLARED SIDE SLOPES. PER CABQ. STANDARDS DETAIL, DWG 2446.



- LEGEND**
- PRC
  - PRC
  - PRC

GENERAL CONTRACTOR TO  
FIELD VERIFY ALL EXIST.  
CONSTRUCTION AND  
DIMENSIONS PRIOR TO  
CONSTRUCTION

DO NOT SCALE DRAWINGS  
CONTRACTOR TO VERIFY  
ALL EXISTING CONDITIONS AND  
DIMENSIONS-NOTIFY ARCHITECT  
OF ANY DISCREPANCIES PRIOR  
TO BEGINNING CONSTRUCTION

FRESH FLEX PROTO  
2021-Q1.0

DEL TACO STORE  
ENLARGED SITE PLAN  
1500 GIBSON BLVD  
ALBUQUERQUE, NM  
PROJECT #2107

REVISION DATE

DATE  
10-12-2021

SHEET NUMBER  
AS-1.1

S.E.

CURB CUT  
APPROVED  
TCL APPROVED  
02-15-2018

